

CITY OF BALTIMORE
 DEPARTMENT OF GENERAL SERVICES
 DESIGN AND CONSTRUCTION DIVISION



CONTRACT NO. GS 21822

LOWER PARK HEIGHTS COMMUNITY CENTER
 ROOF REPLACEMENT/WALL REPAIR/ENTRY

BID DOCUMENTS

3939 REISTERSTOWN RD.
 BALTIMORE, MD 21215

LOWER PARK HEIGHTS COMMUNITY CENTER
 ROOF REPLACEMENT/WALL REPAIR/ENTRY
 CONTRACT NO. GS 21822

FOR
 THE MAYOR AND CITY COUNCIL
 BRANDON M. SCOTT, MAYOR

REVISIONS		
NO.	DATE	DESCRIPTION

CONSULTANTS 5521 Research Park Drive, Suite 300, Baltimore, MD 21228 410 654 3790	SEAL <i>Robert A. Kelly</i>	PROFESSIONAL CERTIFICATION	USER AGENCY USER AGENCY NAME BALTIMORE FIRE DEPARTMENT DEPARTMENT OF GENERAL SERVICES 200 HOLLIDAY ST. BALTIMORE, MD 21202 (410) 545-6071	06/27/2023 PROJECT MANAGER DESIGN SECTION	Robert Mooney 6/27/2023 CONSTRUCTION MANAGER CONSTRUCTION SECTION	 06/28/2023 SECTION CHIEF, DESIGN SECTION	 Signed on behalf of Division Chief: Marwan Al Karajat DIVISION CHIEF, DESIGN & CONSTRUCTION DIVISION	 6/30/23 DIRECTOR, DEPARTMENT OF GENERAL SERVICES	8/03/2022 TITLE SHEET G-000 SHEET 1 OF 30

SCOPE OF WORK

THE WORK OF THE PROJECT IS DEFINED BY THE CONTRACT DOCUMENTS AND INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

A. ROOF REPLACEMENT

- REMOVAL OF THE EXISTING ROOF SYSTEM (WHICH INCLUDES THE MOST RECENT BEING INSTALLED OVER THE ORIGINAL ROOF AND THE AREAS OF THE MOST RECENT REPAIRS USING A MODIFIED SYSTEM), ALONG W/ ASSOCIATED FLASHINGS AND WATERPROOFING, AND WOOD BLOCKING/COPING AT PARAPET WALLS.
- INSTALLATION OF A 60 MIL PVC MEMBRANE SYSTEM OVER COVER BOARD AND TAPERED INSTALLATION AT THE MAIN ROOF AND TERRACE ROOF, INCLUDING ALL FLASHINGS, WALKWAY PADS AND PARAPET CAPS - ROOFING INSTALLATION WILL INCLUDE THE STAIR TOWER AND ELEVATOR CAP.
- REPLACEMENT OF ALL EQUIPMENT CURBS (RAISING EQUIPMENT WHERE NECESSARY TO ACCOMMODATE CODE COMPLIANT ROOF INSULATION THICKNESS).
- PREPARATION AND PAINTING OF ALL EXISTING MECHANICAL EQUIPMENT AND SUPPORTS.
- REMOVAL AND REPLACEMENT OF ALL ROOF DRAINS/SCUPPERS. ENLARGE TWO SCUPPER OPENINGS AT TERRACE ROOF.
- PROBE/SCOPING OF ALL EXISTING ROOF DRAIN CONDUCTORS FROM ROOF DRAINS TO THE CONNECTION WITH THE COLLECTION SYSTEM AT GRADE TO CONFIRM CONDUCTION CAPABILITY.
- INSTALL NEW SERVICE LINE HOUSINGS AT EACH ROOF TOP UNIT (RTU) TO ACCOMMODATE ALL CABLING TO EACH UNIT.
- INSTALL NEW GAS PIPING SUPPORTS FOR EXISTING GAS LINE. CLEAN/REPAINT GAS LINE.
- INSTALL NEW CONDENSATE PIPING SUPPORTS FROM UNITS TO NEAREST ROOF DRAIN.

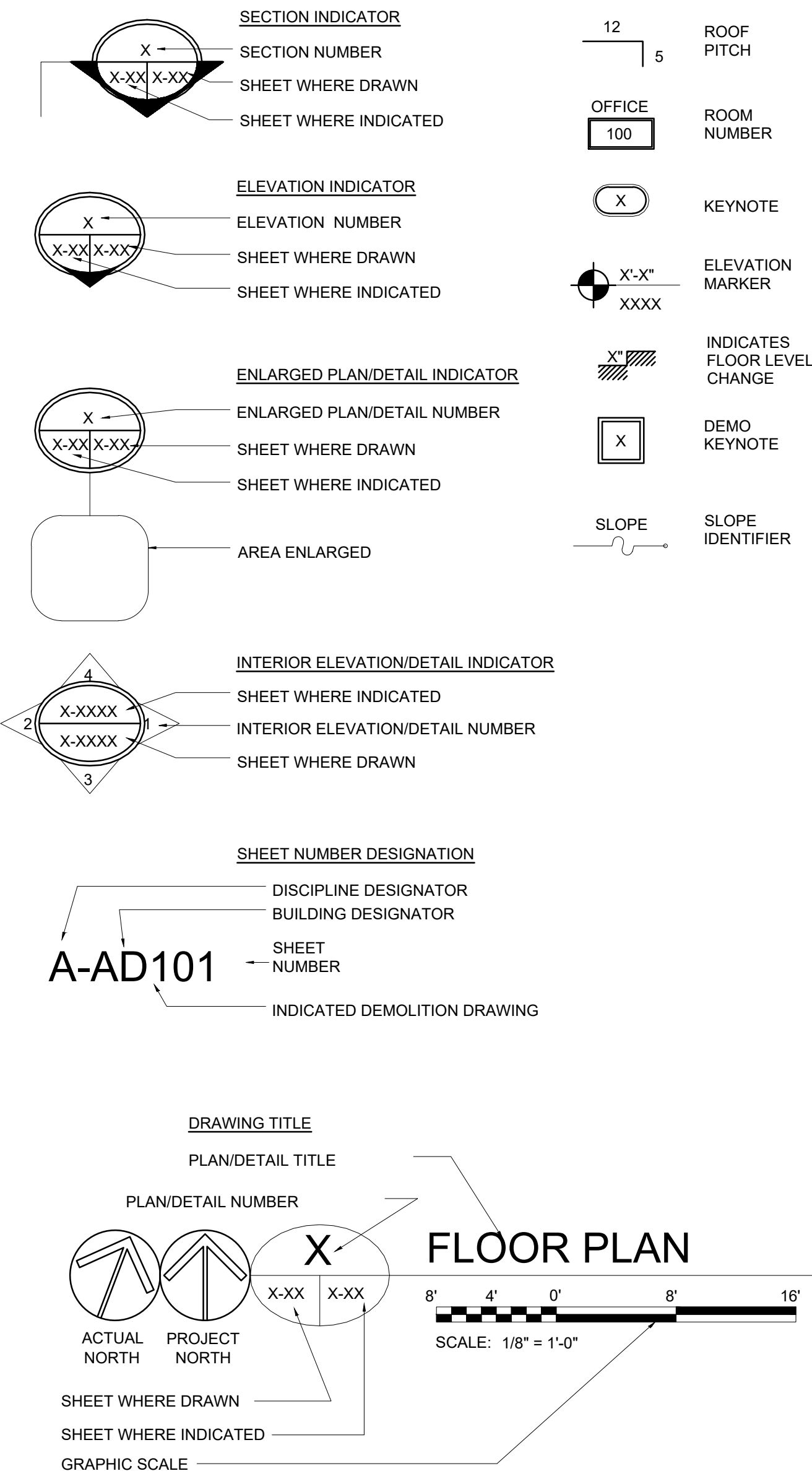
B. BUILDING ENVELOPE

- REMOVAL OF THE EXISTING EIFS SYSTEM ON THE MAIN ROOF STAIR TOWER AND REPLACEMENT WITH NEW EIFS FINISH SYSTEM AND LIGHT FIXTURE AFTER THE NEW ROOF FLASHINGS HAVE BEEN INSTALLED AT THE BASE OF THE STAIR TOWER WALLS.
- REMOVAL AND REINSTALLATION OF THE EXISTING FENCE AROUND THE TERRACE ROOF. FENCE SHALL BE INSTALLED AT THE SAME HEIGHT AS THE CURRENT CONDITION.
- REMOVAL AND REPLACEMENT OF A PORTION OF THE CONCRETE SIDEWALK AT THE MAIN ENTRY.
- REMOVAL AND REPLACEMENT OF THE STOREFRONT VESTIBULE SYSTEM, INCLUDING BOTH WALL ASSEMBLIES AND THE FRAMED AND GLAZED CEILING COMPONENT.
- REMOVAL OF PLEXIGLASS PANELS OVER THE EXISTING WINDOWS TO ALLOW REPAIR WORK. PANELS SHALL BE REINSTALLED AFTER WINDOW REPAIR WORK IS COMPLETED.
- REMOVAL AND REPLACEMENT OF ALL WINDOW PERIMETER BACKER RODS AND SEALANT, INCLUDING GLAZING BEADS.
- REMOVAL AND REPLACEMENT OF ALL STOREFRONT SYSTEM BACKER RODS AND SEALANT.
- REMOVAL AND REPLACEMENT OF ALL SEALANTS ON THE EXISTING SKYLIGHTS.
- REMOVAL AND REPLACEMENT OF ALL WINDOW ASSEMBLY GLAZING BEADS.
- CLEANING OF ALL EXTERIOR MASONRY SURFACES, INCLUDING ALL WINDOW SILLS.
- APPLICATION OF WATER REPELLANT TO ALL EXTERIOR MASONRY SURFACES.
- REMOVAL AND REPLACEMENT OF ALL EXISTING BACKER RODS AND SEALANT FROM MASONRY CONTROL JOINTS (FULL HEIGHT).
- REMOVAL AND REPLACEMENT OF EXISTING STEEL LINTELS ABOVE DOORS WHERE INDICATED ON DRAWINGS.
- REMOVAL AND REPLACEMENT OF EXISTING DOWNSPOUT AT MAIN ENTRANCE. PROVIDE CAST IRON BOOT AND TIE IN TO EXISTING STORM DRAIN SYSTEM AT GRADE.
- REMOVAL AND REPLACEMENT OF EXISTING STEP FLASHING AT EXISTING STANDING SEAM METAL PANEL ROOF (TO REMAIN), ABOVE MAIN ENTRANCE.

C. HAZARDOUS WASTE REMOVAL (REFERENCE SPECIFICATIONS FOR HAZARDOUS MATERIAL REPORT BY ARIA. SEE SPEC 02 82 00 FOR SPECIFIC LOCATIONS).

- REMOVAL AND DISPOSAL OF ASBESTOS-CONTAINING ROOFING TAR, BLACK ROOF CAULK, SHINGLED DRAIN PAD ON ROOF, BLACK FLOOR MASTIC IN THE LOBBY, AND TAN WALL CAULK IN THE LOBBY.
- REMOVAL AND DISPOSAL OF ASSUMED ASBESTOS-CONTAINING FIRE DOORS.
- REMOVAL AND DISPOSAL OF BATTERY CONTAINING LIGHTED EXIT SIGNS / EMERGENCY LIGHTS AS UNIVERSAL WASTE.
- REMOVAL AND DISPOSAL OF ALL OIL-CONTAINING AUTOMATIC DOOR CLOSERS AS OIL CONTAINING WASTE.
- REMOVAL AND DISPOSAL OF HALOGEN LIGHTS AND LED LIGHTS AND POSSIBLE MERCURY CONTAINING WASTE.

GRAPHIC LEGEND



SELECTIVE DEMOLITION:

- USER WILL OCCUPY THE BUILDING DURING CONSTRUCTION. CONDUCT ALL OPERATIONS, INCLUDING DEMOLITION, SO USER'S OPERATIONS WILL NOT BE DISRUPTED.
- COORDINATE DEMOLITION WORK WITH ALL DISCIPLINES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE NO WATER AND MOISTURE PENETRATES THE ENVELOPE OF THE FACILITY AT ANY TIME DURING DEMOLITION AND NEW CONSTRUCTION. PROTECT ALL AREAS OF WORK FROM WATER INTRUSION.
- ALL EXISTING EQUIPMENT AND FINISHES TO REMAIN SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL REMOVE, HAUL AWAY AND DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES, INCLUDING HAZARDOUS MATERIALS.
- AREAS AND LOCATION OF DEMOLITION ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER. NEATLY AND ACCURATELY CUT EXISTING CONSTRUCTION TO LIMITS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE THE OWNER'S REPRESENTATIVE WITH PHOTOS OF THE EXISTING CEILING PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF UNEXPECTED CORRODED OR DETERIORATED CONDITIONS EXPOSED DURING DEMOLITION. REPAIR OF UNEXPECTED CONCEALED CONDITIONS ARE NOT INCLUDED IN THE RENOVATION SCOPE OF WORK UNLESS SPECIFICALLY NOTED.
- NO HAZARDOUS WASTE SHALL BE STORED ON SITE. UNUSED WASTE SHALL BE DISPOSED OF BY THE CONTRACTOR.
- DEMOLISH ALL FLASHINGS AND COPINGS, PREPARE ALL SURFACES TO ACCEPT NEW CONSTRUCTION.

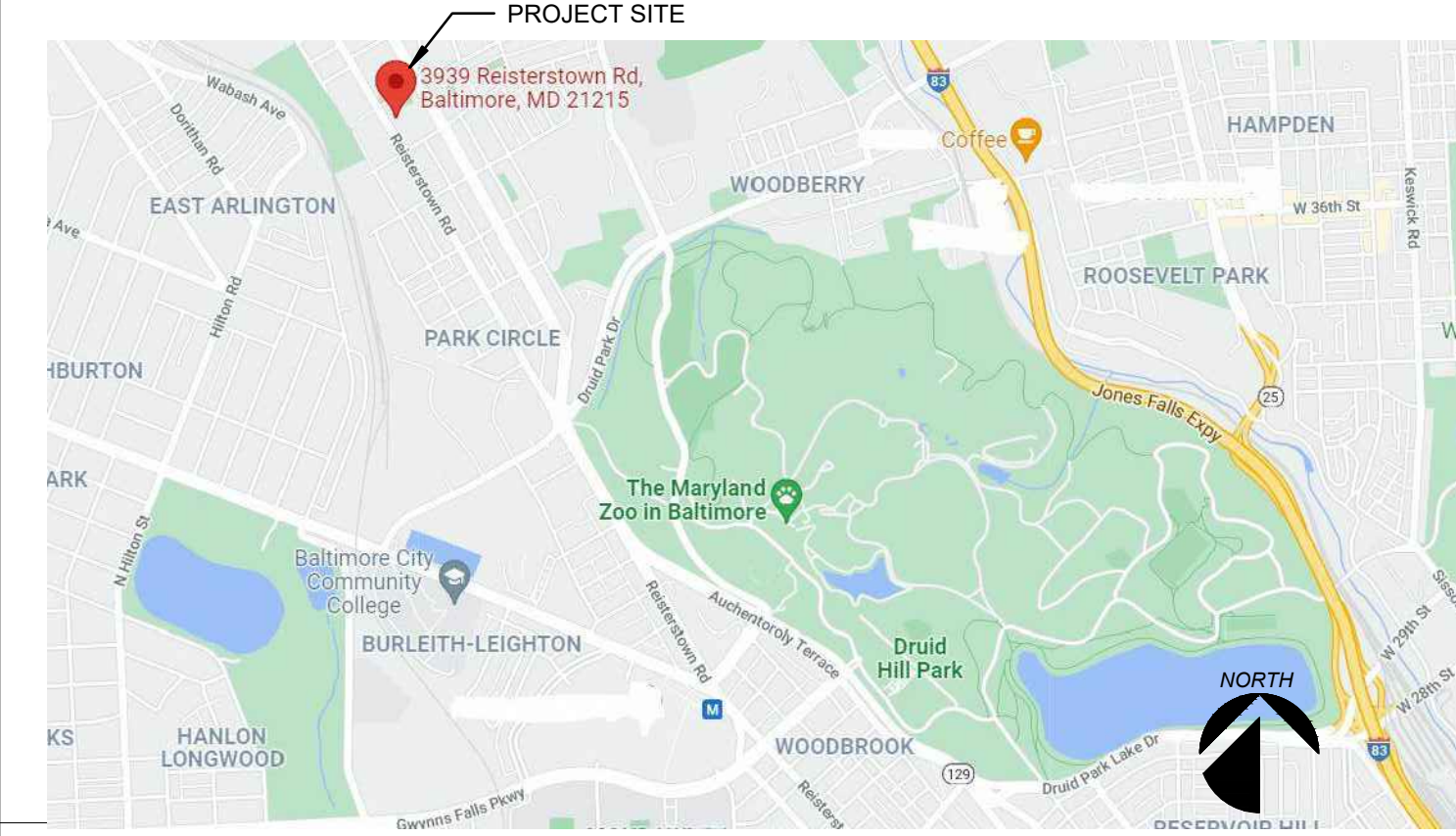
ABBREVIATIONS

@	AT	PL	PROPERTY LINE
A/E	ARCHITECT/ENGINEER	PLYWD	PLYWOOD
AL	ALUMINUM	POP	PANEL OPERABLE PARTITION
ACOUS	ACOUSTICAL	PR	PAIR
ALUM	ALUMINUM	PS	PROJECTION SCREEN
ANO	ANODIZED	PT	PAINT
AFF	ABOVE FINISHED FLOOR	PTW	PRESSURE TREATED WOOD
BD	BOARD	R	RADIUS
BLDG	BUILDING	RAD	RADIATOR
BUR	BUILT UP ROOF	REINF	REINFORCED/REINFORCING
CL	CENTERLINE	REQD	REQUIRED
CLG	CEILING	RDL	ROOF DRAIN LEADER
CLR	CLEAR	RD	ROOF DRAIN
CO	CONTRACTING OFFICER	RM	ROOM
COL	COLUMN	RV	RIDGE VENT/ROOF VENT
CONC	CONCRETE	SCHED	SCHEDULE
CONT	CONTINUOUS	SC	SCALE
CJ	CONTROL JOINT	SCJ	SCORED JOINT
CMU	CONCRETE MASONRY UNIT	SHTG	SHEETING
DET/DTL	DETAIL	SHT	SHEET
DIA	DIAMETER	SIM	SIMILAR
DWGS	DRAWINGS	SL	SLOPE
DF	DRINKING FOUNTAIN	SJ	SCORED JOINT
DN	DOWN	SMH	SEWER MANHOLE
DS	DOWNSPOUT	SQ	SQUARE
EA	EACH	SSMH	STORM SEWER MANHOLE
EF	EXHAUST FAN	SST	STAINLESS STEEL
EIFS	EXTERIOR INSULATION FINISH SYSTEM	STD	STANDARD
ELEC	ELECTRICAL/ELECTRIC	STL	STEEL
EL	ELEVATION	STRUC	STRUCTURAL
ELEV	ELEVATOR	SUSP	SUSPENDED
EMH	ELECTRICAL MANHOLE	SYM	SYMMETRICAL
EQUIP	EQUIPMENT	THK	THICK
EJ	EXPANSION JOINT	TRTD	TREATED
EQ	EQUAL	TYP	TYPICAL
EXH	EXHAUST	TOC	TOP OF CONCRETE
EXT	EXTERIOR	TOP	TOP OF PARAPET
F.E.C.	FIRE EXTINGUISHER CABINET	TS	TUBE STEEL
FFE	FINISHED FLOOR ELEVATION	UNO	UNLESS NOTED OTHERWISE
FRT	FIRE RETARDANT TREATED	US	UTILITY SHELF
GA	GAUGE	VB	VAPOR BARRIER
GALV	GALVANIZED	VERT	VERTICAL
GEN	GENERAL	VIF	VERIFY IN FIELD
GR	GUARDRAIL	VTR	VENT THRU ROOF
GWB	GYPSUM WALLBOARD	WD	WOOD
HBF	HEAVY BROOM FINISH	WF	WIDE FLANGE
HORIZ	HORIZONTAL	WP	WATERPROOF
HT	HEIGHT	WR	WATER RESISTANT
HM	HOLLOW METAL	W/	WITH
HR	HANDRAIL		
HVAC	HEATING, VENTILATION & AIR CONDITIONING		
INSUL	INSULATION		
JT	JOINT		
LAM	LAMINATE		
LAV	LAVATORY		
LBF	LIGHT BROOM FINISH		
LGA	LIGHT GAUGE		
MAX	MAXIMUM		
MFR	MANUFACTURER		
MECH	MECHANICAL		
MIN	MINIMUM		
MT	METAL THRESHOLD		
MTD	MOUNTED		
MTL	METAL		
MO	MASONRY OPENING		
NO	NUMBER		
NA	NOT APPLICABLE		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
OPNG	OPENING		
OC	ON CENTER		
OHA	ROOF OVERHANG ABOVE		
OS	OUTSIDE		

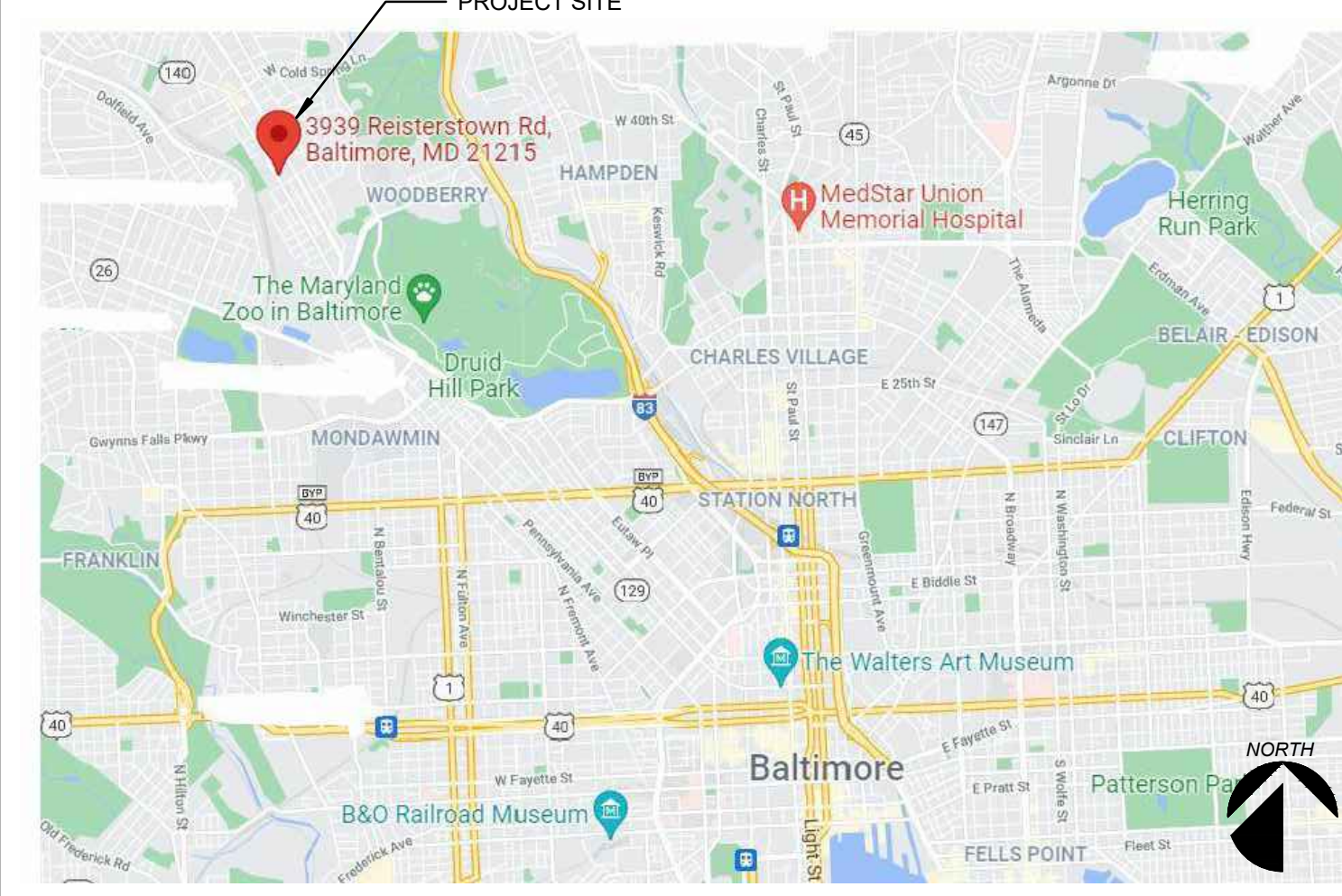
INDEX OF DRAWINGS

SHEET REF.	SHEET TITLE	DRAWING #
G-000	TITLE SHEET	1
G-001	PROJECT NOTES	2
G-002	PROJECT NOTES	3
G-003	OVERALL ROOF PLAN WIND LOAD DIAGRAM	4
G-004	PHOTO LOCATION KEY PLAN	5
G-005	PHOTO SHEET	6
G-006	PHOTO SHEET	7
G-007	PHOTO SHEET	8
C1.00	EXISTING CONDITIONS PLAN	9
C2.00	ADA COMPLIANCE EXHIBIT	10
AD-101	FIRST FLOOR PLAN - DEMOLITION	11
AD-141	ROOF PLAN - DEMOLITION	12
AD-201	EXTERIOR ELEVATIONS - DEMOLITION	13
AD-202	EXTERIOR ELEVATIONS - DEMOLITION	14
AD-203	DEMOLITION ELEVATIONS - DEMOLITION	15
A-101	FIRST FLOOR PLAN - NEW WORK	16
A-141	ROOF PLAN - NEW WORK	17
A-142	ROOF PLAN - WALKWAY LAYOUT	18
A-201	EXTERIOR ELEVATIONS - NEW WORK	19
A-202	EXTERIOR ELEVATIONS - NEW WORK	20
A-203	EXTERIOR ELEVATIONS - NEW WORK	21
A-500	TYPICAL DETAILS	22
A-501	TYPICAL DETAILS	23
A-502	TYPICAL DETAILS	24
A-503	TYPICAL DETAILS	25
A-504	TYPICAL DETAILS	26
A-505	TYPICAL DETAILS	27
A-506	TYPICAL DETAILS	28
A-601	DOOR DETAILS	29
S-101	PLAN, GENERAL NOTES, TYPICAL DETAIL AND SECTION	30

PROJECT SITE



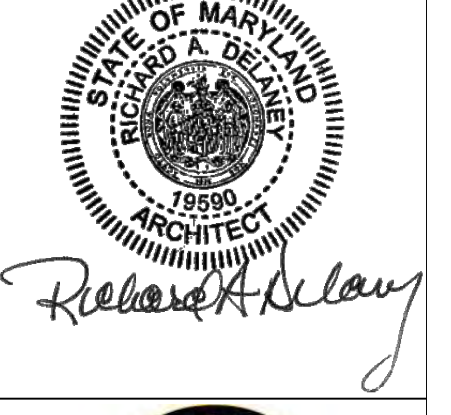
LOCATION MAP



CONSULTANTS



SEAL



REVISIONS

NO.	DATE	DESCRIPTION

LOWER PARK HEIGHTS COMMUNITY CENTER ROOF REPLACEMENT / WALL REPAIR / ENTRY
 3939 REISTERSTOWN RD., BALTIMORE, MD 21215
 CONTRACT NO. GS 21822

SHEET NAME

PROJECT NOTES

8/03/2022

SHEET G-001

GENERAL NOTES:

- MANY OF THE DETAILS CONTAINED HERE-IN ARE DEVELOPED BASED UPON DESIGN PERFORMANCE CRITERIA. MANY DETAILS ARE GENERIC IN NATURE AND DEPENDANT ON THE ACTUAL PRODUCT SELECTION MADE BY THE CONTRACTOR DURING BIDDING AND CONSTRUCTION. WHEN REQUESTED OR REQUIRED BY THE MANUFACTURER DUE TO THE CONFIGURATION OF THEIR PRODUCT(S), MINOR VARIATIONS FROM THE DETAILS SHOWN WILL BE CONSIDERED WHEN THEY MEET THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS. THE ARCHITECT WILL DETERMINE THE EQUIVALENCY OF ANY SUCH VARIATION. THE CONTRACTOR WILL SUBMIT AS A MINIMUM THE DETAILS SHOWN WITH ANY VARIATION TO THE DETAILS CONTAINED IN THE CONTRACT DOCUMENTS. IF PROPOSED VARIATIONS TO THE DETAILS ARE NOT ACCEPTED, THE CONTRACTOR WILL EITHER INSTALL THE MATERIAL AS INDICATED ON THE CONTRACT DRAWINGS AND SPECIFICATIONS OR REVISE THE PROPOSED DETAILS AS DIRECTED BY THE ARCHITECT.
- IF THE CONTRACTOR ENCOUNTERS ANY UNFORESEEN SITE CONDITIONS DURING THE PERFORMANCE OF THE CONTRACT, INCLUDING BUT NOT LIMITED TO SUSPECTED ASBESTOS CONTAINING MATERIAL (ACM) OR LEAD-BASED PAINT, THE CONTRACTOR SHALL CEASE EXECUTION OF WORK/OPERATIONS IN THE SUSPECT AREA, IMMEDIATELY EVACUATE ALL PERSONNEL AND NOTIFY THE OWNER'S REPRESENTATIVE. VERIFICATION OF THE SUSPECT MATERIAL WILL COMMENCE THROUGH SAMPLE AND ANALYSIS BY A CONTRACTOR QUALIFIED FOR, SUCH AS DIRECTED.
- AT THE COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL RESTORE STAGING AREAS, GRASS AND OTHER DISTURBED LANDSCAPING AFFECTED BY CONSTRUCTION, LAY DOWN AND STAGING ACTIVITIES TO ORIGINAL CONSTRUCTION.
- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION CONTACT THE ARCHITECT.
- PROVIDE SAFETY FENCE AROUND MATERIAL STORAGE AREA.
- COORDINATE WITH OWNER'S REPRESENTATIVE FOR STAGING AND CONTRACTOR PARKING AREAS.
- CONTRACTOR SHALL PROVIDE COMPLETE AS-BUILT INFORMATION AS PART OF THE PROJECT CLOSE-OUT SUBMITTAL.
- WHERE ROOFING AND FLASHING DETAILS ARE NOT PROVIDED THE CONTRACTOR WILL PROVIDE DETAILS UTILIZING SMACNA AND NRCA AS MINIMUM STANDARDS FOR DEVELOPMENT OF THE DETAIL; HOWEVER IN ALL CASES ALL SYSTEMS MUST MEET CURRENT CODES.
- CONTRACTOR WILL COORDINATE ALL ACTIVITIES THAT GENERATE NOXIOUS ODORS OR EXCESSIVE NOISE WITH CONTRACTING OFFICER'S REPRESENTATIVE. MINIMIZE THE NEGATIVE EFFECTS OF FUMES AND NOISE.
- ALL FASTENERS TO BE HOT DIPPED GALV. (MINIMUM G185) OR STAINLESS STEEL UNLESS OTHERWISE SPECIFICALLY NOTED (PROPERLY COATED FASTENERS WILL BE CONSIDERED WHEN NOT IN CONTACT WITH PRESERVED TREATED WOOD).
- SECURE CONSTRUCTION LOCATIONS AT ALL TIMES.
- IN NO CASE WILL LENGTHS OF FLASHING UNDER 20 INCHES BE ALLOWED. IN ALL CASES FASTENERS WILL BE PLACED STARTING WITHIN 2 INCHES OF THE EDGE OF EACH PIECE OF FLASHING.
- THE CONTRACTOR WILL MAINTAIN A CLEAN, SAFE AND SECURE SITE AND PROVIDE DAILY CLEAN UP.
- THE BUILDING MAY BE FULLY OCCUPIED THROUGHOUT THE DURATION OF CONSTRUCTION. THE CONTRACTOR WILL PROVIDE SAFETY FENCING & OTHER SAFETY MEASURES AS REQUIRED TO PROTECT THE OCCUPANTS & VISITORS TO THE BUILDINGS. THE CONTRACTOR MAINTAINS THE SOLE RESPONSIBILITY & LIABILITY FOR IMPLEMENTATION, DESIGN & MAINTENANCE OF ALL SAFETY FEATURES, INCLUDING BARRICADES, COVERED WALKWAYS & FENCES.
- CONTRACTOR WILL DRY-IN WEATHER TIGHT ALL AREAS OF WORK DAILY IN ORDER TO PROTECT THE EXISTING FACILITY & EQUIPMENT. MAINTAIN A SECURE AND WATERTIGHT FACILITY THROUGHOUT CONSTRUCTION.
- CONTRACTOR ASSUMES FINANCIAL RESPONSIBILITY FOR ALL DAMAGE AS A RESULT OF LEAKS/WATER INTRUSION FROM CONSTRUCTION ACTIVITIES.
- SHOP DRAWINGS PRODUCED FOR THIS PROJECT WILL INCLUDE PRODUCT DATA & INSTRUCTIONS FOR INSTALLATION OF ALL FASTENERS, AS WELL AS FASTENER SPACING, PULL OUT DATA, DIAMETER EMBEDMENT & MATERIAL. DEVELOP SHOP DRAWINGS FOR ALL FASTENER CONDITIONS AND SUBMIT FOR REVIEW. ANY INSTALLATION PRIOR TO THE RECEIPT OF APPROVED SHOP DRAWINGS IS AT THE SOLE RISK OF THE CONTRACTOR.
- ALL FLASHINGS SHALL BE DESIGNED TO WITHSTAND THE WIND LOADS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL LIMIT ROOF LOADING TO THE MAXIMUM EXTENT POSSIBLE. MAX LOAD OF CONSTRUCTION MATERIALS NOT TO EXCEED A 20 PSF LIVE LOAD.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO DEVELOPMENT OF SHOP DRAWINGS AND CONSTRUCTION. INVESTIGATION PRIOR TO SHOP DRAWINGS INCLUDES, BUT IS NOT LIMITED TO: VERIFICATION OF ROOF SLOPES, DECK CONDITION ASSESSMENT, FIELD MEASUREMENTS, PARAPET HEIGHT ADJUSTMENT VERIFICATION, FASTENER PULL TESTS, DRAIN BOWL CONDITION ASSESSMENT, SUBMIT FINDINGS REPORT TO ARCHITECT; IDENTIFY ALL FINDINGS AND DISCREPANCIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFE USE OF PRODUCTS ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS TO PRODUCE THE WORK INCLUDING ALL SAFETY MEASURES TO PROTECT HIS STAFF AND FACILITY OCCUPANTS. THE CONTRACTOR WILL FURNISH TO THE CONTRACTING OFFICER MSDS SHEETS ON MATERIAL KNOWN OR THAT MIGHT BE CONSIDERED NOXIOUS OR HAZARDOUS TO BE USED IN THE CONSTRUCTION WORK. THE PROJECT MAY INCLUDE THE REQUIREMENT TO PROVIDE DUST AND FUME CONTROL MEASURES. THESE MEASURES AND THEIR EFFECTIVENESS ARE SOLELY UNDER THE CONTROL OF THE CONTRACTOR.
- ALL DIMENSIONS DEPICTED IN THE CONTRACT DOCUMENTS ARE TO BE CONSIDERED APPROXIMATE AND ARE GIVEN FOR PRICING PURPOSES ONLY. THE DIMENSIONS DEPICTED ARE NOT TO BE CONSIDERED "ACTUAL" FOR MANUFACTURING PURPOSES. DUE TO THE NATURE OF RENOVATING EXISTING CONDITIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS AND REQUIREMENTS, WHERE WORK IS TO BE EXECUTED, PRIOR TO THE COMMENCEMENT OF WORK; FIELD VERIFICATION SHALL BE REQUIRED FOR ANY DEMOLITION OF EXISTING CONDITIONS, AS WELL AS, BEFORE ORDERING MATERIALS AND INSTALLATION OF PRODUCT.

- WHEN CONDUCTING DECK REPLACEMENT WORK AT THE ROOF HATCH, THE CONTRACTOR SHALL:
 - PERFORM DAILY CLEAN UP.
 - COORDINATE ACTIVITIES WITH THE BUILDING OCCUPANT/USER SO AS TO MINIMIZE DISRUPTION OF ONGOING ACTIVITIES.
 - SCHEDULE ACTIVITIES TO MAXIMIZE OFF DUTY WORK HOURS AND/OR TIMES THE BUILDING IS NOT OCCUPIED.
 - PROVIDE 48 HOUR ADVANCE NOTICE IN WRITING REQUESTING PERMISSION FOR OFF HOUR WORK.
 - PROVIDE FULL-TIME (INTERIOR) SAFETY OBSERVER DURING ALL TIMES WHERE THE ROOF DECK IS OPEN TO THE INTERIOR.

- WORK OCCURRING IN OR ABOVE OCCUPIED AREAS IS REQUIRED. AREAS BELOW DECK TO BE REPLACED WILL BE VACATED BY PERSONNEL DURING THE DURATION OF THE DECK REPLACEMENT. PROTECT EQUIPMENT TO REMAIN. PROVIDE DAILY CLEANUP AND PROTECTIONS. AVOID ACTIVITIES ON THE ROOF THAT CAUSE DUST AND DEBRIS FROM FALLING ONTO UNPROTECTED PERSONNEL OR EQUIPMENT. PROVIDE TEMPORARY DRY IN CONCURRENT WITH ROOF DECK REPLACEMENT AND DEMOLITION OF EXISTING ROOFING SYSTEM. PROVIDE DUST AND DEBRIS PROTECTION AS REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD. PROVIDE SAFETY MONITORS AS NEEDED TO PROTECT OCCUPANTS DURING STRUCTURAL REPAIR OR ROOFING WORK. PROVIDE SAFETY FENCES AND BARRIERS AS NEEDED.

- THE CONTRACTOR WILL PROVIDE A PHASING PLAN THAT DESCRIBES ALL ACTIVITIES RELATED TO LIFE SAFETY, DUST PROTECTION, AS WELL AS REQUIRED ACTIVITIES TO MAINTAIN THE FACILITY IN A WATER-TIGHT CONDITION. THE CONTRACTOR WILL PROVIDE AS A PART OF HIS SCHEDULE A DETAILED PHASING PLAN DESCRIBING IN DETAIL THE ACTIVITIES AND SEQUENCES REQUIRED. MINIMUM REQUIREMENTS INCLUDE PERSONNEL RESPONSIBLE FOR IMPLEMENTATION; MATERIALS TO BE USED; APPROACH TO WATERPROOFING AND DUST PROTECTION; APPROACH TO PROTECTING OCCUPANTS, FURNISHINGS AND EQUIPMENT; INFORMATION ON ANY TEMPORARY CONSTRUCTION; AND THE SEQUENCE TIED TO DEMOLITION AND NEW WORK. INCLUDE SHOP DRAWINGS AND SUPPLEMENTAL SKETCHED TO DESCRIBE ALL ACTIVITIES AND INSTALLATIONS. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS TO BE USED FOR PROTECTION OF WORK TO REMAIN AS WELL AS PERSONNEL, EQUIPMENT AND FURNISHINGS. THE PHASING PLAN WILL BE KEPT CURRENT THROUGHOUT THE PROJECT; PRESENT AND REVIEW THE UPDATED PLAN AT EACH PROJECT MEETING.

- CONTRACTOR SHALL MINIMIZE THE IMPACT OF CONSTRUCTION ACTIVITY ON ONGOING OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL INTERIOR WORK WITH OWNER'S REPRESENTATIVE. COORDINATE ALL ACTIVITIES AT EACH PROJECT MEETING. IDENTIFY ANY POTENTIAL DISRUPTION TO ONGOING OPERATIONS; WRITTEN APPROVAL IS REQUIRED FOR ALL DISRUPTIONS. IDENTIFY ACCESS AREAS, POTENTIALLY DISTURBING NOISE AND/OR FUMES, WORK TIMES, DATES AND DURATIONS. PROVIDE ALTERNATIVE METHODS AND TIMES TO COMPLETE THE WORK AS NEEDED TO AVOID DISRUPTION TO ONGOING ACTIVITIES. PROVIDE WRITTEN DOCUMENTATION OF DISCUSSION HELD IN MEETINGS.

MATCH EXISTING BOTTOM ELEVATION



- ROOF DRAINS: PROVIDE NEW CLAMPING RING AND SCREWS (BRASS OR SST). PROVIDE EXTENSION RINGS TO ALLOW FOR REQUIRED INSULATION. FASTEN EACH LAYER OF SOLID WOOD BLOCKING AT 12" STAGGERED - MIN. 16P NAILS. ADJUST ROOF DRAIN SUMP SIZES AND VALLEY SLOPE LINES TO PROVIDE CLEAR DRAINAGE TO ROOF DRAINS. REFER TO DETAIL 1/A500.

- NEW WOOD BLOCKING AT THE COPING IS TO BE SECURED AS DESCRIBED BELOW EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED IN THE DETAILS.

PERIMETER BLOCKING TO RESIST 200 LBS OF VERTICAL FORCE (PCF)
 MINIMUM BLOCKING SIZE IS 2x6
 FASTENERS SHALL BE LOCATED WITHIN 3" OF EACH END OF THE BLOCKING WITH COUNTERSUNK HEADS. WHEN MASONRY BLOCK IS CAST WITH LIGHT WEIGHT AGGREGATE, ANCHOR BOLTS (WEDGE TYPE OR EPOXY SET) SHOULD:
 BE 1/2" DIAMETER, EMBEDDED 8" MIN. DEPTH.
 SPACE BOLTS AT 2' O.C. STAGGERED WITHIN 8' OF CORNERS.
 FASTEN EACH LAYER OF SOLID WOOD BLOCKING AT 12" STAGGERED - MIN. 16P NAILS.

- PROVIDE MINIMUM 1/4" PER FOOT POSITIVE SLOPE AT ALL CRICKETS.

PAINT NOTES (METALS)

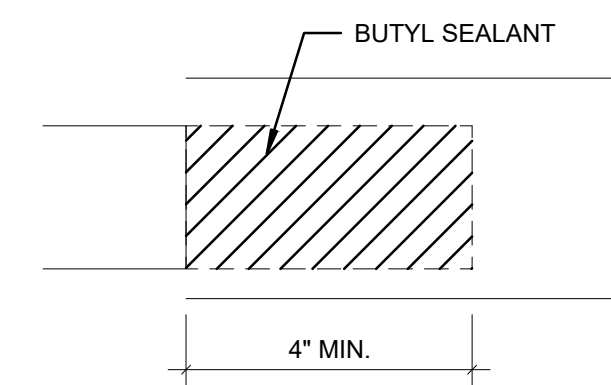
COATING FOR METALS AND RUSTED STEEL DECKS:

BASIS OF DESIGN: MASTER PAINT INSTITUTE MPI 20 - SHERWIN WILLIAMS - ZINC CLAD IV: A TWO-COMPONENT, POLYAMIDE EPOXY, ZINC RICH COATING. MINIMUM 4 MIL DRY MIL PER COAT. APPLY 1 COAT AT RUSTED / CORRODED METAL DECKS. ZINC CLAD® IV CONTAINS 85%, BY WEIGHT, OF ZINC DUST PIGMENT IN THE DRIED FILM. PREPARE DECK SURFACE TO SSPC-SP 2 OR 3. APPLY IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTION.

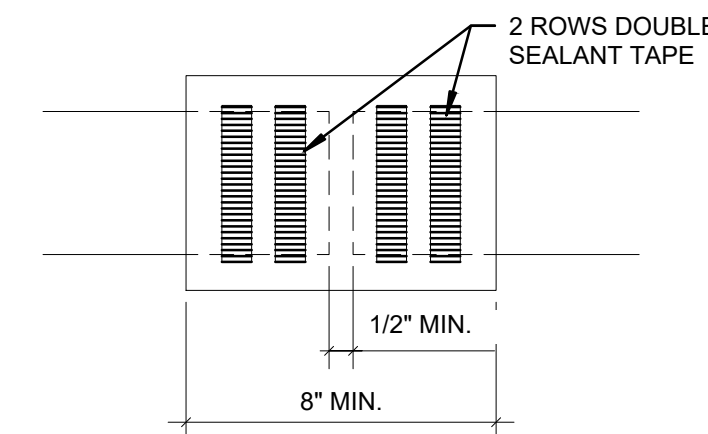
NOTE: CONTRACTOR HAS THE OPTION TO USE "KEM KROMIC" (SHERWIN WILLIAMS) ON EXISTING CORRODED METAL DECKS.

JOINT DIAGRAMS

SHEET METAL JOINT DIAGRAMS
(NON-SOLDERED) LAP JOINT



COPING LAP JOINT



CONSULTANTS



5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com

SEAL



CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION

REVISIONS

NO.	DATE	DESCRIPTION

LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY
9939 REISTERSTOWN RD. BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

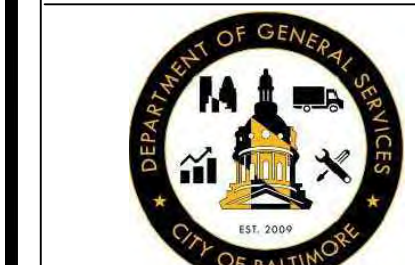
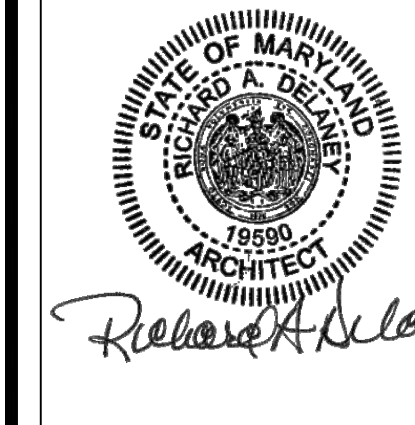
**PROJECT
NOTES**

8/03/2022

**SHEET
G-002**

3 OF 30

SEAL



CITY OF BALTIMORE
DEPARTMENT OF GENERAL SERVICES
DESIGN AND CONSTRUCTION DIVISION

REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**
3999 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME
**ROOF PLAN
WIND LOAD
DIAGRAM**

8/03/2022

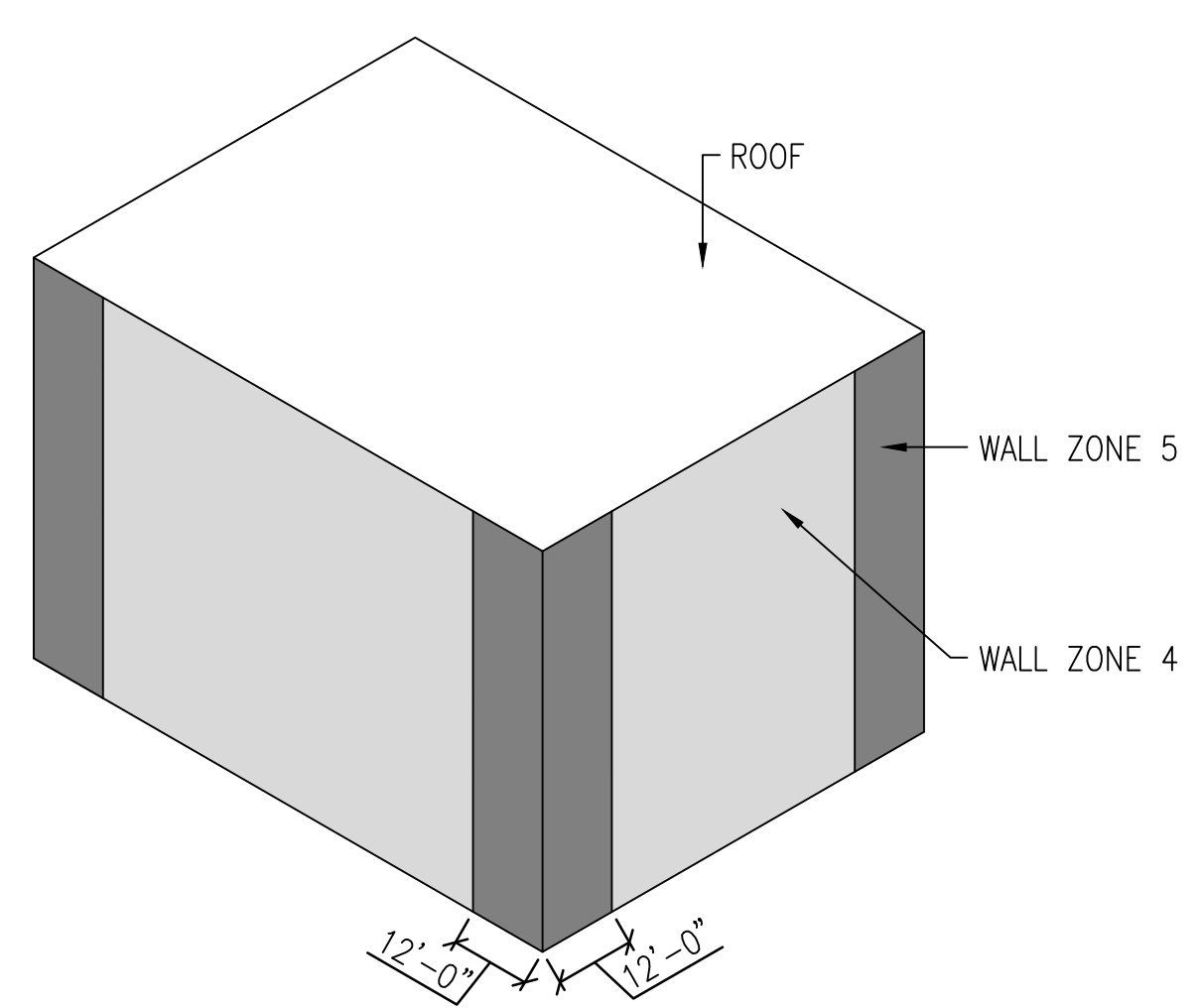
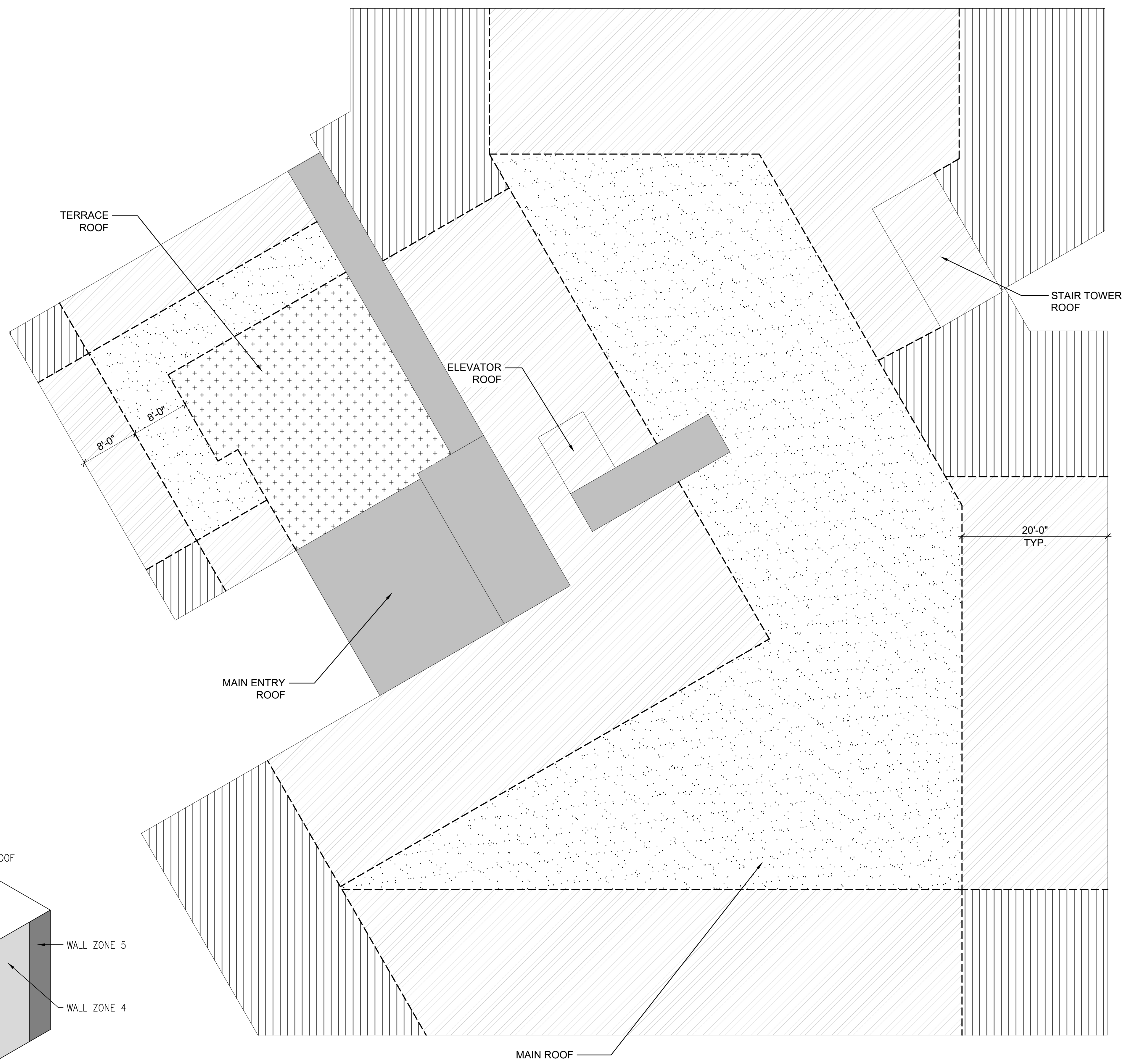
**SHEET
G-003**

WIND LOADS

AT A MINIMUM USE UPLIFT LOADS SHOWN. LOADS INCLUDE A 2x SAFETY FACTOR ADDED TO ASF LOADS.

ZONE	PRESSURE(PSF)
1'	-29
1	-50
2	-66
3	-89
4	-34
5	-42

ZONE 1' (FIELD)
 ZONE 1 (FIELD)
 ZONE 2 (PERIMETER)
 ZONE 3 (CORNER)
 SLOPED ROOF OR SKYLIGHT NOT INCLUDED IN UPLIFT DIAGRAM



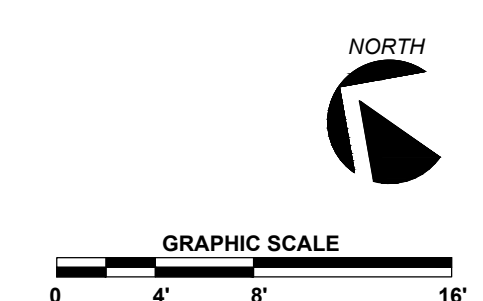
GENERIC WALL ZONE ISOMETRIC AT STAIR TOWER

- NOTES:
1. PERIMETER EDGE METALS TO RESIST CLADDING PRESSURE LOADS DEFINED ON THIS SHEET.
 2. EDGE METAL TO INCLUDE 2x SAFETY FACTOR DEFINED ON THIS SHEET.

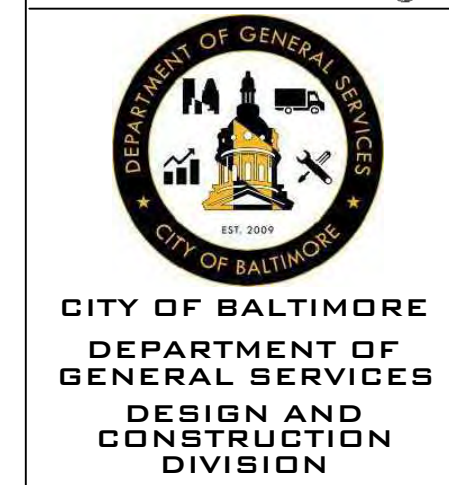
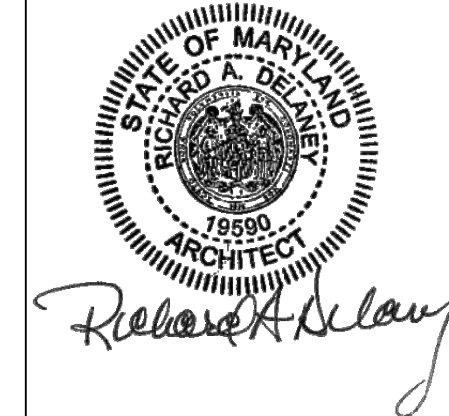
WIND LOAD DETERMINATION ASSUMPTIONS					
WIND VELOCITY (MPH)	EXPOSURE CATEGORY	RISK CATEGORY	MEAN ROOF HEIGHT (FT.)	ROOF SLOPE	ENCLOSURE CATEGORY
ULTIMATE 120 ALLOWABLE 93	B	III	28'	FLAT	ENCLOSED

APPLICABLE CODES:
2018 INTERNATIONAL BUILDING CODE
ASCE 7-16

1 WIND LOAD DIAGRAM
SCALE: 1/8" = 1'-0"



SEAL



REVISIONS

NO.	DATE	DESCRIPTION

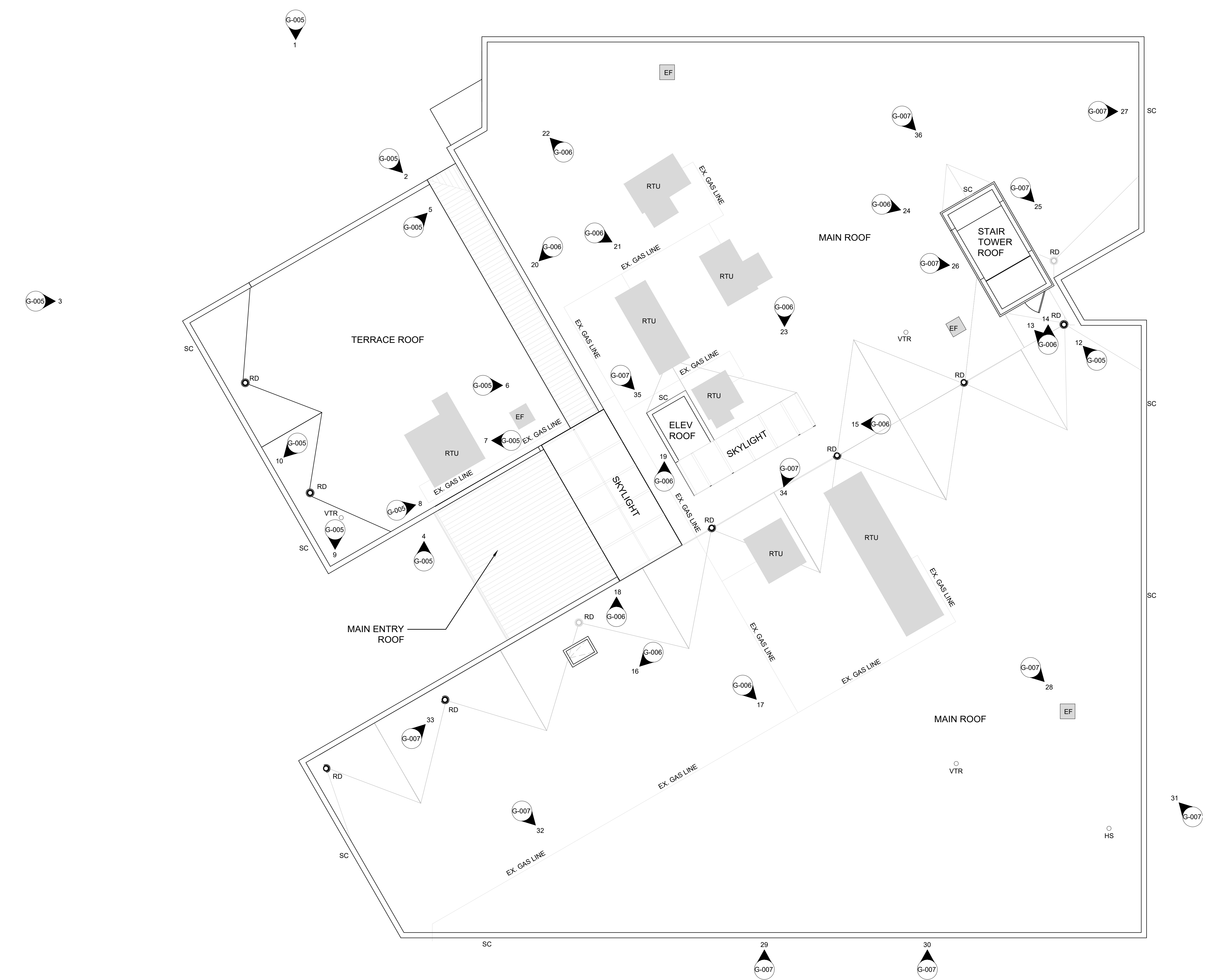
LOWER PARK HEIGHTS COMMUNITY CENTER / WALL REPAIR REPLACEMENT / ENTRY / ENTRY
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

PHOTO LOCATION KEY PLAN

8/03/2022

SHEET G-004

5 OF 30



1 ROOF PLAN - PHOTOS
A-201 G-004 SCALE: 1/8" = 1'-0"

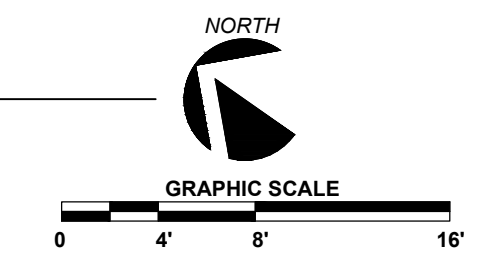




PHOTO # 13 - STAIR TOWER DOOR



PHOTO # 14 - STAIR TOWER / PARAPET WALL



PHOTO # 15 - SKYLIGHT AT MAIN ROOF



PHOTO # 16 - MAIN ROOF



PHOTO # 17 - GAS LINE AT MAIN ROOF



PHOTO # 18 - PARAPET/SKYLIGHT TRANSITION



PHOTO # 19 - ELEVATOR ROOF



PHOTO # 20 - TERRACE ROOF



PHOTO # 21 - ROOF TOP UNIT ON DUNNAGE AND CONDUIT PENETRATION



PHOTO # 22 - MAIN ROOF PARAPET AT FENCE



PHOTO # 23 - ROOFTOP EQUIPMENT



PHOTO # 24 - STAIR TOWER ROOF

CONSULTANTS



5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com

SEAL



CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION

REVISIONS

...	DATE	DESCRIPTION

LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21822

SHEET NAME

PHOTO
SHEET

8/03/2022

SHEET
G-006



PHOTO # 25 - ROOF DRAIN NEAR STAIR TOWER



PHOTO # 26 - STAIR TOWER



PHOTO # 27 - THROUGH WALL SCUPPER



PHOTO # 28 - EXHAUST FAN



PHOTO # 29 - SEALANT JOINT AT FLUTED BLOCK



PHOTO # 30 - OPEN SEALANT JOINT



PHOTO # 31 - SPLIT FACE FLUTED BLOCK AT WALL



PHOTO # 32 - GAS LINE AT MAIN ROOF



PHOTO # 33 - ROOF DRAIN ON MAIN ROOF



PHOTO # 34 - ROOF TOP UNIT ON DUNNAGE SUPPORTS



PHOTO # 35 - ELEVATOR ROOF



PHOTO # 36 - STAIR TOWER ROOF

CONSULTANTS



5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
p (410) 654-3790
www.primeeng.com

SEAL



CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION

REVISIONS

...	DATE	DESCRIPTION

LOWER PARK HEIGHTS
COMMUNITY CENTER / WALL REPAIR
REPLACEMENT / ENTRY
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

PHOTO SHEET

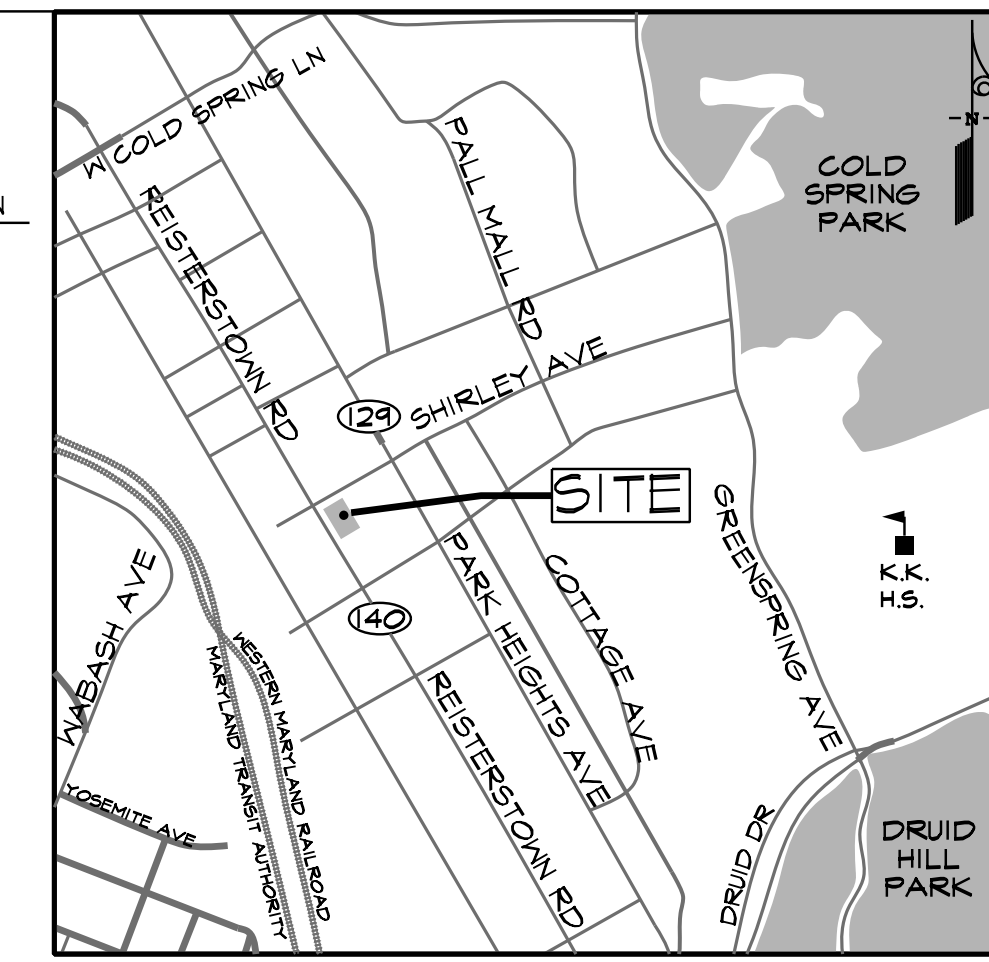
8/03/2022

SHEET G-007

BENCHMARK DATA

THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAV83/NA2011 EPOCH 2010) & NAV88 FOR VERTICAL:

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
10	607346.08	1407420.90	379.44	MAG NAIL
11	607309.67	1407291.41	371.04	MAG NAIL



VICINITY MAP
SCALE: 1" = 1,000'

CONSULTANTS
PRIME
5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p:(410) 654-3790
www.primeeng.com

mk
Consulting Engineers, LLC
3300 Clipper Mill Road
Suite 201
Baltimore, MD 21211
(667)210-2479



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A STATE LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 50686 EXP. 06/01/2025



CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION

SITE DATA

SITE ADDRESS: 3939 REISTERSTOWN ROAD BALTIMORE, MD 21215
OWNER: MAYOR & CITY COUNCIL 3939 REISTERSTOWN ROAD BALTIMORE, MD 21215
PROPERTY REFERENCE: WARD 15 SECTION 33 BLOCK 3321 LOT 023
TOTAL LOT/SITE AREA: 1.435 AC.
COUNCILMANIC DISTRICT: 2ND DISTRICT
EXISTING / PROPOSED USE: COMMUNITY CENTER
ZONING: R-6
SETBACKS: FRONT 20 FEET SIDE 15 FEET REAR 25 FEET CORNER 20 FEET

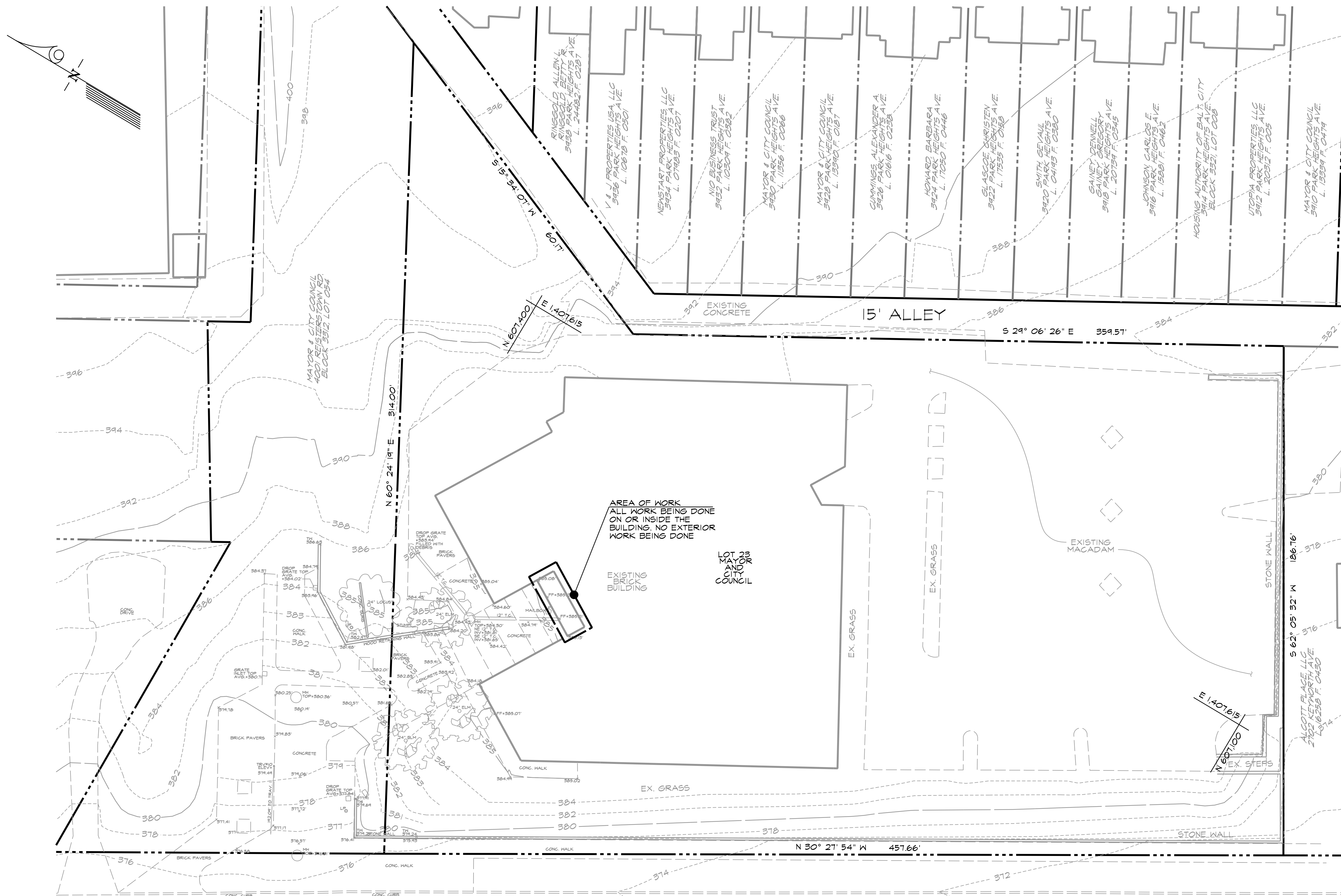
EARTHWORK

TOTAL CUT = 0 CY
TOTAL FILL = 0 CY
SPOIL / BORROW = 0 CY
CUT / FILL RATION = N/A

NOTE: THIS PROJECT DISTURBED LESS THAN 5,000 SF AND GENERATES EARTHWORK THAT IS LESS THAN 100 CY. THEREFORE, THIS PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT AND SEDIMENT CONTROL

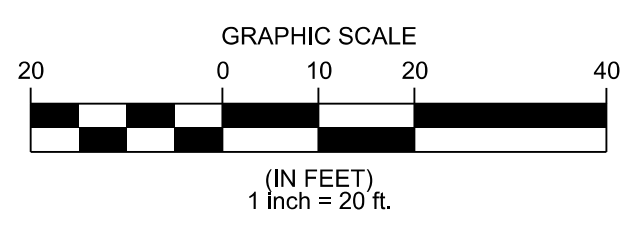
LEGEND

- PROPERTY LINE
- - - - - EX. INDEX CONTOUR
- · - · - EX. INTERMEDIATE CONTOUR
- ==== EX. CURB AND GUTTER
- EX. STORM DRAIN
- EX. STORM DRAIN MANHOLE
- EX. CLEANOUT
- EX. SIGN
- EX. LIGHT POLE
- EX. TREE / BUSH



REISTERSTOWN ROAD
VARIABLE WIDTH R/W

PLOT PLAN
SCALE: 1" = 20'



REVISIONS

NO.	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
MPC RENOVATIONS**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

PLOT PLAN

06/10/2022

**SHEET
C1.00**

BENCHMARK DATA

THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAV83/NA2011 EPOCH 2010) & NAV88 FOR VERTICAL:

POINT#	NORTHING	EASTING	ELEVATION	DESCRIPTION
10	607346.08	1,407,420.90	379.44	MAG NAIL
11	607309.67	1,407,291.41	371.04	MAG NAIL

REAR ENTRANCE DOOR W/ PUSH BAR (NOT SHOWN IN THIS SKETCH) IS 42-1/2" WIDE BY 83" HIGH, OPEN/CLOSED OKAY, POURED CONCRETE SECTION IS UNEVEN (HEAVING/SETTLING) BELOW DOOR SILL AND PRESENTS A POTENTIAL TRIPPING HAZARD.

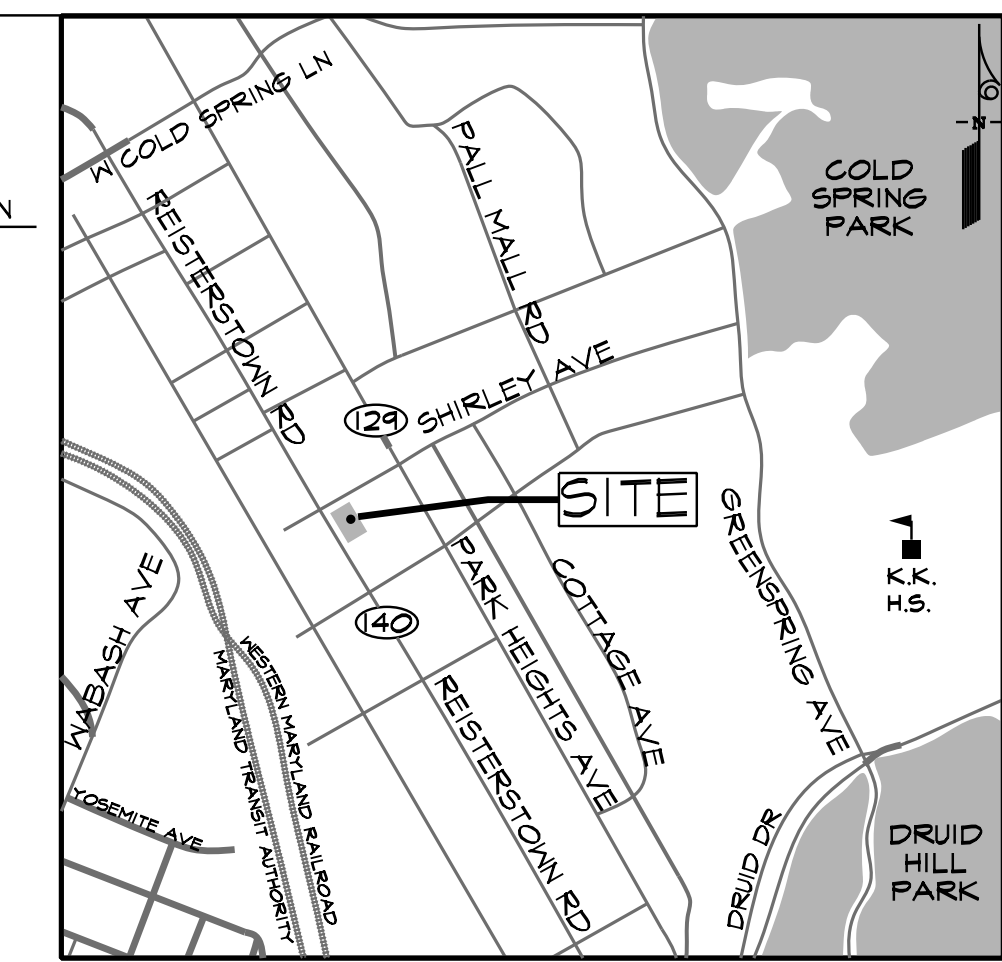
REAR ENTRYWAY IS COMPOSED OF CONCRETE SIDEWALK BISECTED BY CONTROL JOINTS. WALKWAY SLOPE OF APPROX 1/2%, CROSS SLOPE IS APPROX 1% MAX - BOTH ARE WITHIN ADA STANDARDS. 2-3 MAJOR CRACK LOCATIONS (1/8" WIDE) W/ A FEW MINOR SPALLS SHOULD BE REPAIRED. OTHER MINOR CRACKS, BOUNDARY BETWEEN ASPHALT PARKING LOT AND CONCRETE ENTRYWAY IS A BEVELED TRANSITION AND SOMEWHAT EVEN - MAY REQUIRE AN EXPANSION JOINT.

FRONT ENTRANCE INTERIOR DOORS ARE COMPOSED OF A PAIR OF DOUBLE SWING DOORS, 82" WIDE BY 96" HIGH, DOOR OPERATIONAL (MOST WERE LOCKED), NO TRIPPING HAZARDS

FRONT ENTRANCE EXTERIOR DOORS ARE COMPOSED OF A PAIR OF DOUBLE SWING DOORS, 72" WIDE BY 83" HIGH, APPEAR OPERATIONAL, DOOR OPERATIONAL (OTHERS LOCKED) CONCRETE SLAB MAY NEED LEVELING TO REMEDIATE POTENTIAL TRIPPING HAZARDS

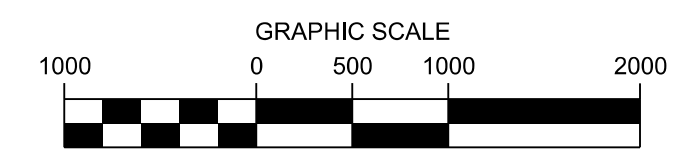
WALKWAY SLOPE (APPROX 2-4% MAX) AND CROSS SLOPES (APPROX 1-2%) AT CONCRETE SIDEWALK APPEAR TO BE COMPLIANT W/ ADA STANDARDS

DROP GRATE TOP AVG. = 383.94' FILLED WITH DEBRIS



VICINITY MAP

SCALE: 1" = 1,000'



(IN FEET)
1 inch = 1,000 ft.

LEGEND

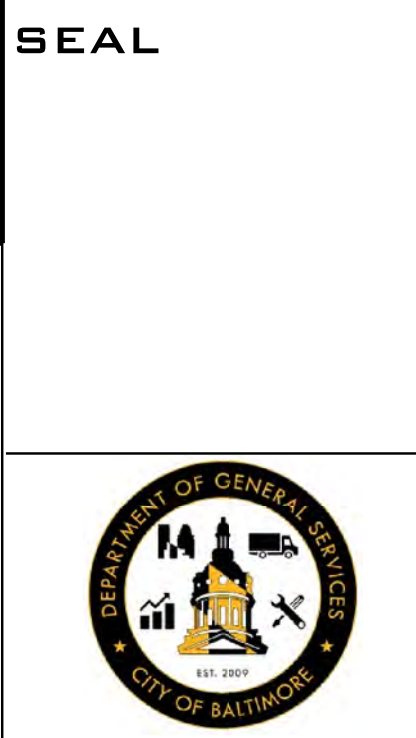
- PROPERTY LINE
- 384- EX. INDEX CONTOUR
- 383- EX. INTERMEDIATE CONTOUR
- == EX. CURB AND GUTTER
- 15" R.C.P. EX. STORM DRAIN
- MH EX. STORM DRAIN MANHOLE
- EX. CLEANOUT
- EX. SIGN
- EX. LIGHT POLE
- EX. TREE / BUSH

ADA KEY

- ① APPROX. 2% WALKWAY SLOPE. NOT PER ADA GUIDELINES.
- ② RECESSED MANHOLE (1" BELOW GRADE) PRESENTS TRIPPING HAZARD
- ③ POTENTIAL TRIPPING HAZARD AT CONTROL JOINT
- ④ SPALLED BRICK PAVERS
- ⑤ POTENTIAL TRIPPING HAZARD AT EXPANSION JOINT BETWEEN TRIPPING CONCRETE SIDEWALK AND BRICK PAVERS - ALONG LENGTH OF JOINT
- ⑥ SPALLED CONCRETE

CONSULTANTS
PRIME
5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p:(410) 654-3790
www.primeeng.com

mk
Consulting Engineers, LLC
3300 Clipper Mill Road
Suite 201
Baltimore, MD 21211
(667)210-2479



CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION

REVISIONS

NO.	DATE	DESCRIPTION

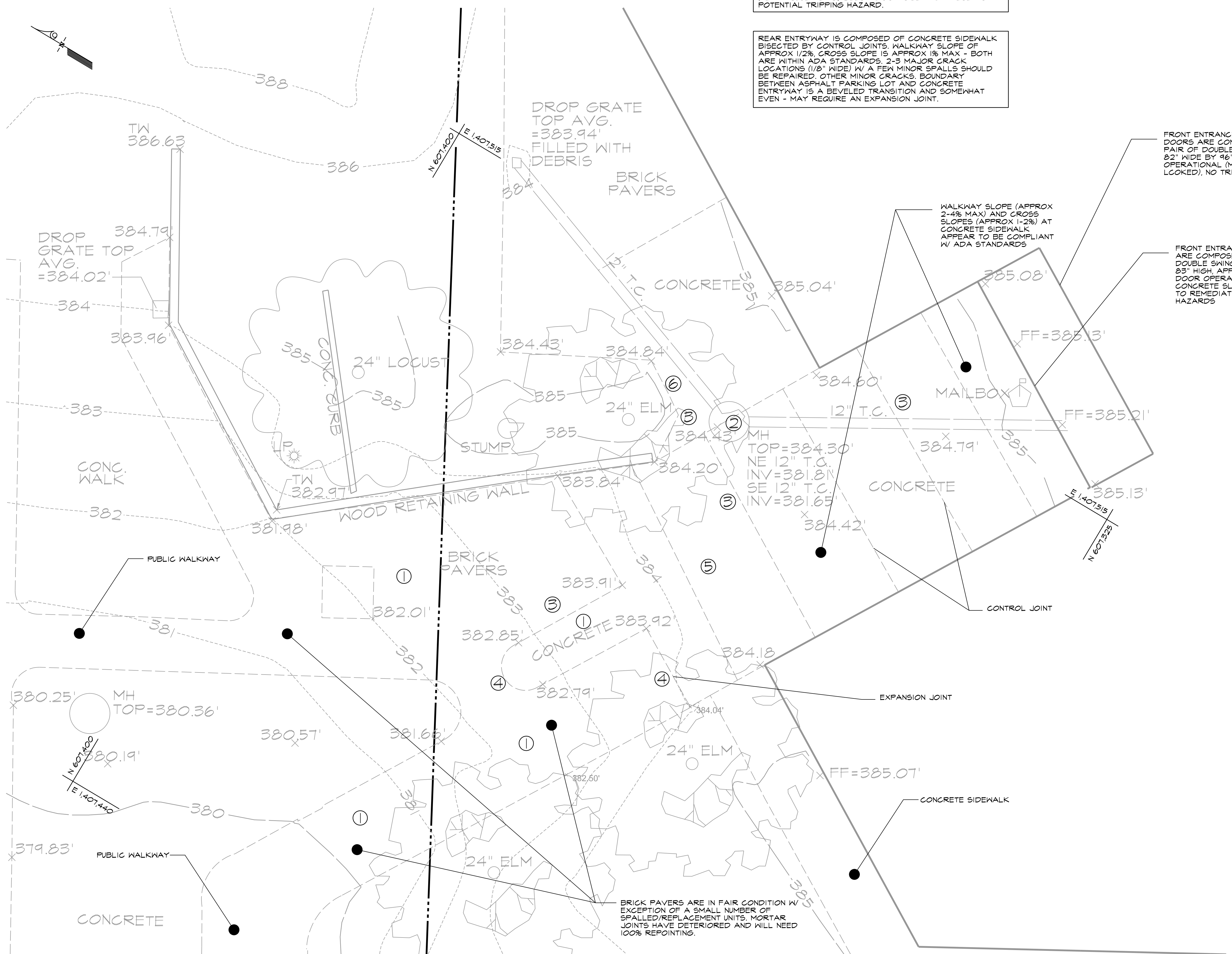
LOWER PARK HEIGHTS
MPC RENOVATIONS
3959 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

ADA
COMPLIANCE
EXHIBIT

SHEET
C2.00

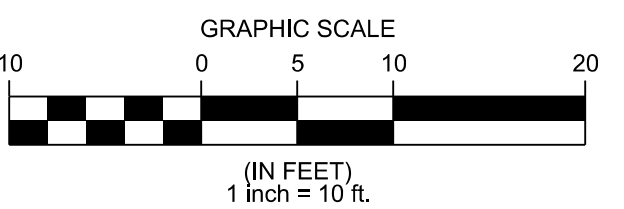
BID DOCUMENTS

10 OF 30



ADA EXHIBIT
SCALE: 1" = 5'

BRICK PAVERS ARE IN FAIR CONDITION W/ EXCEPTION OF A SMALL NUMBER OF SPALLED/REPLACEMENT UNITS. MORTAR JOINTS HAVE DETERIORATED AND WILL NEED 100% REPOINTING.



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.



GENERAL NOTES

REMOVE HAZARDOUS MATERIAL AT FIRST AND SECOND FLOORS. REFER TO SPECIFICATIONS / HAZARDOUS MATERIALS SURVEY REPORT (CONCLUSIONS SECTION) BY ARIA ENVIRONMENTAL FOR LOCATION AND DESCRIPTION OF MATERIALS TO BE REMOVED.

SCHEDULE OF DEMOLITION NOTES

- (D-12) DEMOLISH STOREFRONT SYSTEM INCLUDING DOORS AND THRESHOLDS
- (D-13) DEMOLISH FLOORING
- (D-14) REFER TO STRUCTURAL DRAWINGS FOR CONCRETE WORK
- (D-18) DEMOLISH DOWNSPOUT BETWEEN GUTTER AND EXTERIOR WALL (SEE PHOTO 4 ON SHEET G-005). DEMOLISH SEALANT AROUND PENETRATION. INFILL MASONRY - MATCH EXISTING.

NOTE

PLEXIGLASS PANELS HAVE BEEN INSTALLED AT THE EXTERIOR OVER THE EXISTING WINDOWS.

PLEXIGLASS PANELS ARE TO BE SALVAGED AND REINSTALLED IN THEIR PRESENT LOCATIONS AFTER REPAIR WORK HAS BEEN COMPLETED.

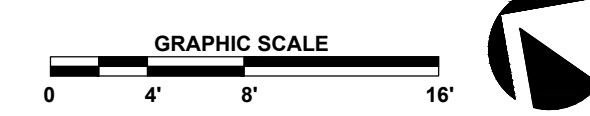
NOTE

SEE STRUCTURAL DRAWING(S) FOR REMOVAL OF EXISTING CONCRETE SLAB(S) AT MAIN ENTRY AND IN VESTIBULE.

SCOPE OF WORK
SEE DEMO NOTES
ON THIS SHEET

1
AD-101

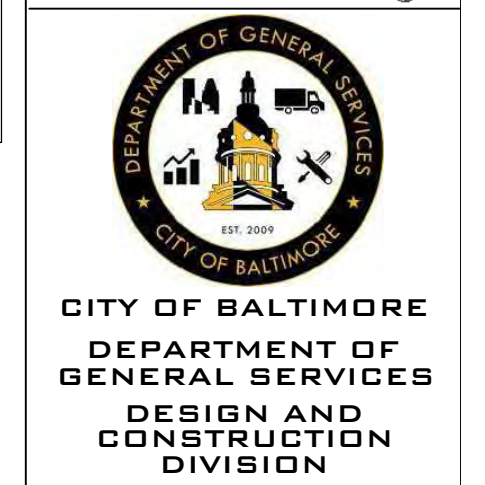
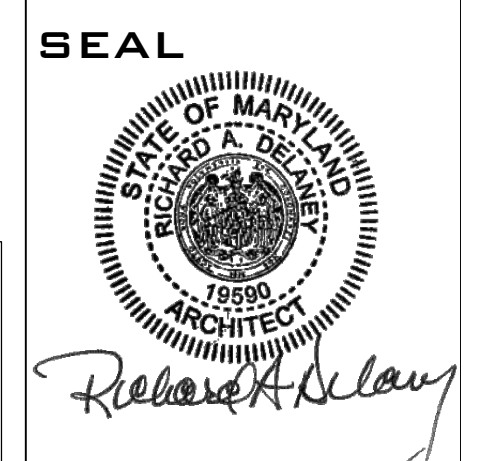
FIRST FLOOR PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"



CONSULTANTS

PRIME AE

5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
p (410) 654-3790
www.primeeng.com



REVISIONS

...	DATE	DESCRIPTION

LOWER PARK HEIGHTS COMMUNITY CENTER ROOF REPLACEMENT / WALL REPAIR / ENTRY

3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME
FIRST FLOOR DEMOLITION

8/03/2022

SHEET AD-101

REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**

3999 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 2-1822

SHEET NAME

**ROOF PLAN
DEMOLITION**

8/03/2022

**SHEET
AD-141**

GENERAL NOTES

DEMOLISH EXISTING BUILT-UP ROOF ASSEMBLY DOWN TO STRUCTURAL STEEL DECK. APPROX. 7" THICK AT ALL CORES. THE ORIGINAL ASSEMBLY APPROX. 3" THICK WITH THE CURRENT ASSEMBLY APPROX. 4" THICK.

- ASSEMBLY COMPOSITION:
- 1 1/2" METAL ROOF DECKING
 - 2" PERLITE INSULATION MECHANICALLY ATTACHED TO THE ROOF DECK
 - 2 PLIES OF ORIGINAL BUILT-UP ROOF (BUR) ASPHALT MEMBRANE GRAVEL SURFACE
 - 2 PLIES OF BUILT-UP ROOF (BUR) ASPHALT MEMBRANE
 - 2" POLYISOCYANURATE INSULATION
 - PERLITE INSULATION HOT MOPPED TO INSULATION
 - 3 PLIES OF BUILT-UP ROOF (BUR) ASPHALT MEMBRANE
 - GRAVEL SURFACE

REMOVE HAZARDOUS MATERIAL. REFER TO SPECIFICATIONS / HAZARDOUS MATERIALS SURVEY REPORT (CONCLUSIONS SECTION) BY ARIA ENVIRONMENTAL FOR LOCATION AND DESCRIPTION OF MATERIALS TO BE REMOVED.

- EXISTING STANDING SEAM ROOF TO REMAIN (OUT OF SCOPE)
- EXISTING SADDLES AND CRICKETS TO BE DEMOLISHED
- X" : 12" SLOPE INDICATES ROOF SLOPE ON THE STRUCTURAL DECK

ABBREVIATIONS

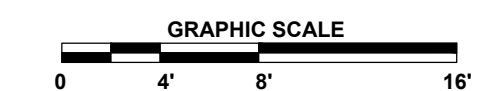
- EF EXHAUST FAN
- HS HOT STACK
- RD ROOF DRAIN
- RTU ROOF TOP UNIT
- SC SCUPPER
- VTR VENT THRU ROOF

SCHEDULE OF DEMOLITION NOTES

- D-1** REMOVE CHAIN-LINK FENCING - SALVAGE FOR REINSTALLATION AFTER NEW ROOF IS INSTALLED.
- D-2** DEMOLISH EXISTING METAL COPING AND WOOD BLOCKING BENEATH.
- D-3** DEMOLISH EXISTING THROUGH-WALL SCUPPER FLASHINGS.
- D-4** DEMOLISH STEP FLASHING AND SEALANT.
- D-7** DEMOLISH EXISTING ROOF DRAIN AND COMPONENTS DOWN TO THE DECK (TYP).
- D-9** TEMPORARILY REMOVE GAS LINE FOR NEW ROOF SYSTEM INSTALLATION (TYP). DISPOSE OF WOOD BLOCKING SUPPORTS.
- D-10** DEMOLISH EXISTING SEALANT AT SKYLIGHT.
- D-11** DEMOLISH EXISTING ROOF HATCH AND LADDER - PENETRATION TO BE PATCHED WITH STEEL DECKING.
- D-15** ROOF TOP UNIT TO REMAIN. DEMOLISH ALL EXISTING WATERPROOFING AND ROOFING COMPONENTS FROM STEEL SUPPORTS DOWN TO THE DECK. EXISTING STEEL SUPPORTS TO REMAIN. CLEAN AND PREP FOR PAINT.
- D-16** COORDINATE TEMPORARY SHUTDOWN OF MECHANICAL EQUIPMENT WITH THE OWNER (TYP).
- D-17** DEMOLISH EXISTING THROUGH-WALL SCUPPER FLASHINGS. REMOVE MASONRY AS NECESSARY TO PROVIDE 8" HT X 16" W OPENING.
- D-18** DEMOLISH EXISTING SERVICE LINE PENETRATION AND ROOF FLASHINGS. DISCONNECT SERVICE LINES AS REQUIRED TO ALLOW SPECIFIED WORK. PATCH PENETRATIONS W/ STEEL DECKING.



1
AD-141
ROOF PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"



GENERAL NOTES

CLEAN ALL EXTERIOR CONCRETE MASONRY TO REMOVE DIRT, STAINING, AND EFFLORESCENCE.

□ □ □ INDICATES ITEM TO BE DEMOLISHED

ABBREVIATION LEGEND:

CJ REMOVE EXISTING SEALANT AND BACKER RODS FROM ALL MASONRY CONTROL JOINTS. CLEAN AND PREP JOINT SUBSTRATES FOR NEW BACKER ROD AND SEALANT.

SCHEDULE OF DEMOLITION NOTES

- (D-6) DEMOLISH GLAZING BEADS, PERIMETER SEALANTS AND BACKER RODS.
- (D-18) DEMOLISH SEALANT AT CONTROL JOINT.

CONSULTANTS



5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com

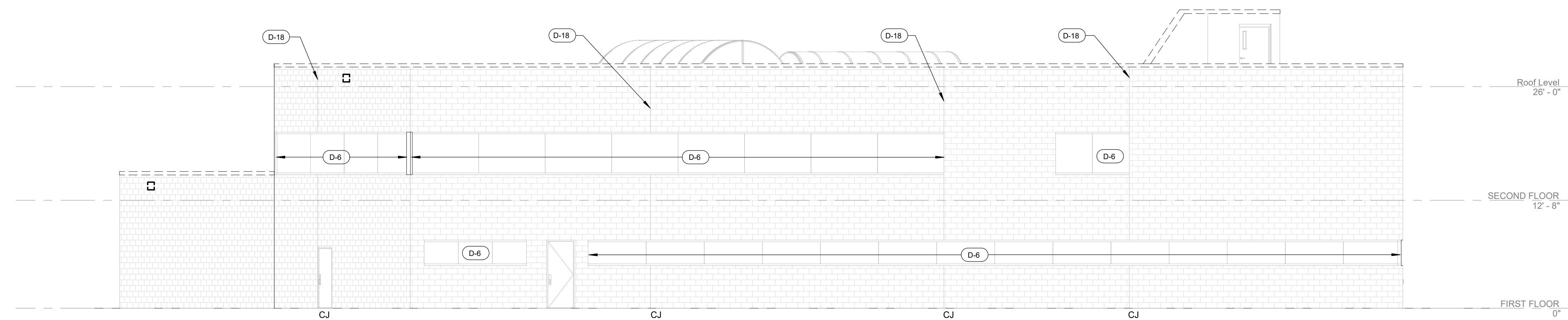
SEAL



Richard A. Slay



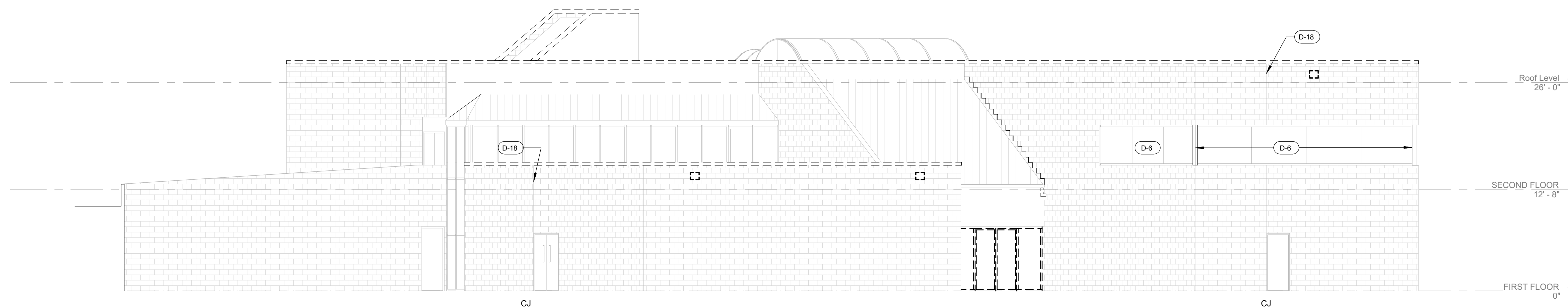
CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION



1 WEST ELEVATION DEMOLITION
AD-201 SCALE: 1/8" = 1'-0"
GRAPHIC SCALE: 0 4' 8' 16'

NOTE

PLEXIGLASS PANELS HAVE BEEN INSTALLED AT THE EXTERIOR OVER THE EXISTING WINDOWS.
PLEXIGLASS PANELS ARE TO BE REUSED AND REINSTALLED IN THEIR PRESENT LOCATIONS AFTER REPAIR WORK HAS BEEN COMPLETED.



2 NORTH ELEVATION DEMOLITION
AD-201 SCALE: 1/8" = 1'-0"
GRAPHIC SCALE: 0 4' 8' 16'

REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

**DEMOLITION
ELEVATIONS**

8/03/2022

**SHEET
AD-201**

GENERAL NOTES

CLEAN ALL EXTERIOR CONCRETE MASONRY TO REMOVE DIRT, STAINING, AND EFFLORESCENCE.

□ □ □ INDICATES ITEM TO BE DEMOLISHED

ABBREVIATION LEGEND:

CJ REMOVE EXISTING SEALANT AND BACKER RODS FROM ALL MASONRY CONTROL JOINTS. CLEAN AND PREP JOINT SUBSTRATES FOR NEW BACKER ROD AND SEALANT.

SCHEDULE OF DEMOLITION NOTES

- (D-5) DEMOLISH LINTEL. PROVIDE TEMPORARY SHORING OF MASONRY ABOVE.
- (D-6) DEMOLISH GLAZING BEADS, PERIMETER SEALANTS AND BACKER RODS.
- (D-18) DEMOLISH SEALANT AT CONTROL JOINT.

CONSULTANTS



5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
p (410) 654-3790
www.primeeng.com

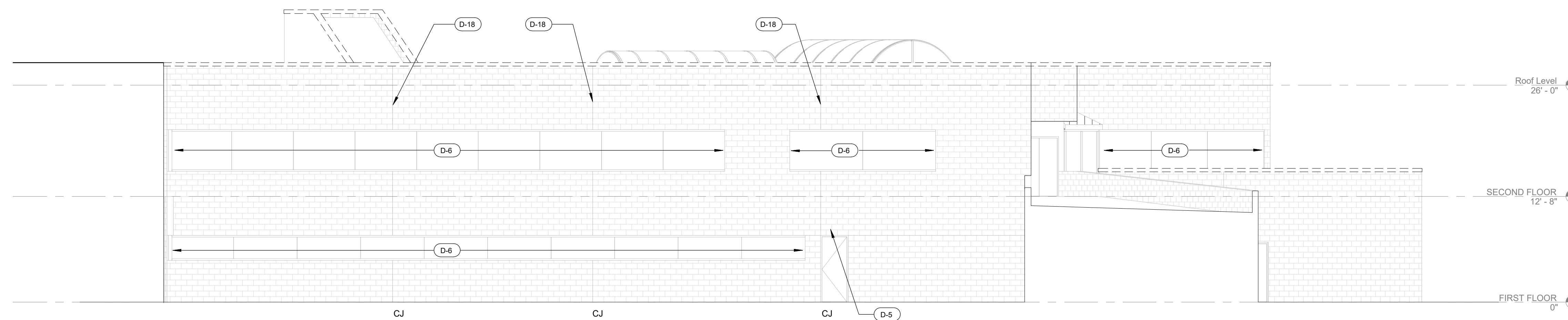
SEAL



Richard A. Slay



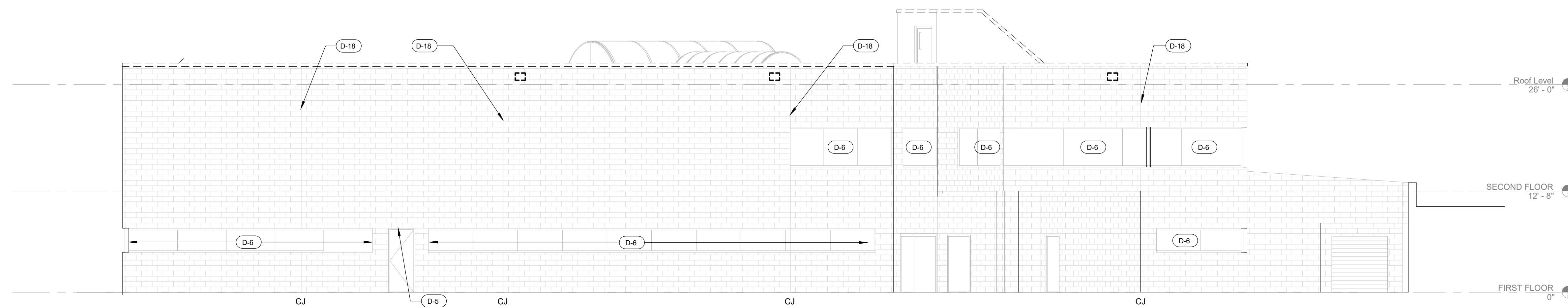
CITY OF BALTIMORE
DEPARTMENT OF GENERAL SERVICES
DESIGN AND CONSTRUCTION DIVISION



1 EAST ELEVATION DEMOLITION
AD-202 SCALE: 1/8" = 1'-0"
GRAPHIC SCALE 0 4' 8' 16'

NOTE

PLEXIGLASS PANELS HAVE BEEN INSTALLED AT THE EXTERIOR OVER THE EXISTING WINDOWS.
PLEXIGLASS PANELS ARE TO BE REUSED AND REINSTALLED IN THEIR PRESENT LOCATIONS AFTER REPAIR WORK HAS BEEN COMPLETED.



2 SOUTH ELEVATION DEMOLITION
AD-202 SCALE: 1/8" = 1'-0"
GRAPHIC SCALE 0 4' 8' 16'

REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

**DEMOLITION
ELEVATIONS**

8/03/2022

**SHEET
AD-202**

GENERAL NOTES

CLEAN ALL EXTERIOR CONCRETE MASONRY TO REMOVE DIRT, STAINING, AND EFFLORESCENCE.

□ □ □ INDICATES ITEM TO BE DEMOLISHED

ABBREVIATION LEGEND:

SC DEMOLISH EXISTING THRU-WALL SCUPPER AND COMPONENTS.

SCHEDULE OF DEMOLITION NOTES

D-2 DEMOLISH METAL COPING AND WOOD BLOCKING BENEATH.
 D-3 DEMOLISH SCUPPER, INFILL OPENING W/ MASONRY TO MATCH EXISTING.
 D-7 DEMOLISH EXISTING EIFS WALL FINISH.
 D-8 DEMOLISH BACKER RODS AND SEALANTS AT TRANSLUCENT WALL PANELS.
 D-10 DEMOLISH SEALANT AT SKYLIGHTS.
 D-12 DEMOLISH STOREFRONT SYSTEM INCLUDING DOORS AND THRESHOLDS.
 D-16 DEMOLISH EXISTING ROOFING AND FLASHINGS AT ACCESS STAIRWAY ROOF.
 D-17 DEMOLISH LIGHT FIXTURE.

CONSULTANTS

PRIME AE

5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
 p (410) 654-3790
 www.primeeng.com

SEAL

Richard A. Slay

CITY OF BALTIMORE
 DEPARTMENT OF GENERAL SERVICES
 DESIGN AND CONSTRUCTION DIVISION

REVISIONS

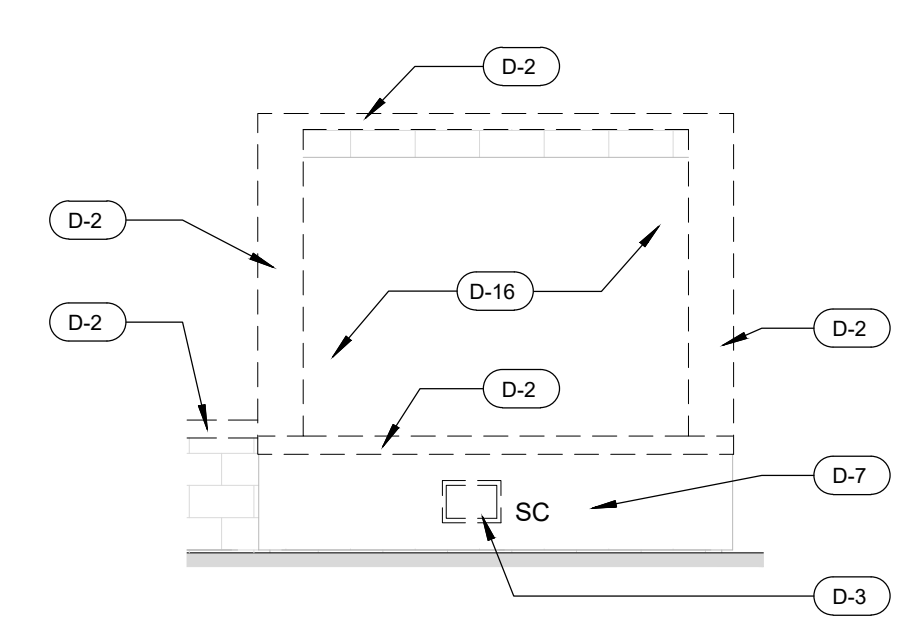
...	DATE	DESCRIPTION

LOWER PARK HEIGHTS COMMUNITY CENTER / WALL REPAIR REPLACEMENT / ENTRY

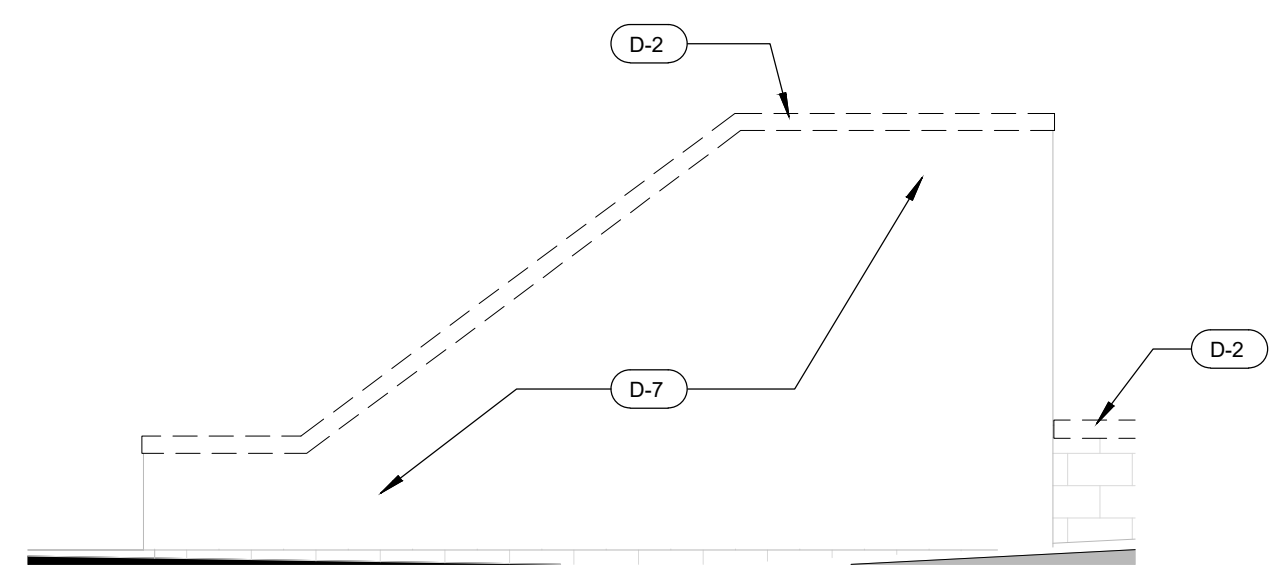
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
 CONTRACT NO. GS 21B22

SHEET NAME
DEMOLITION ELEVATIONS

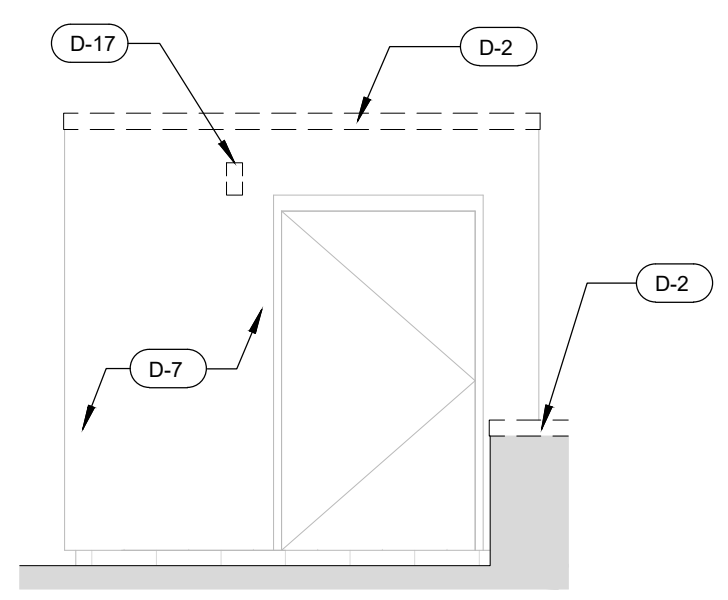
8/03/2022
SHEET AD-203



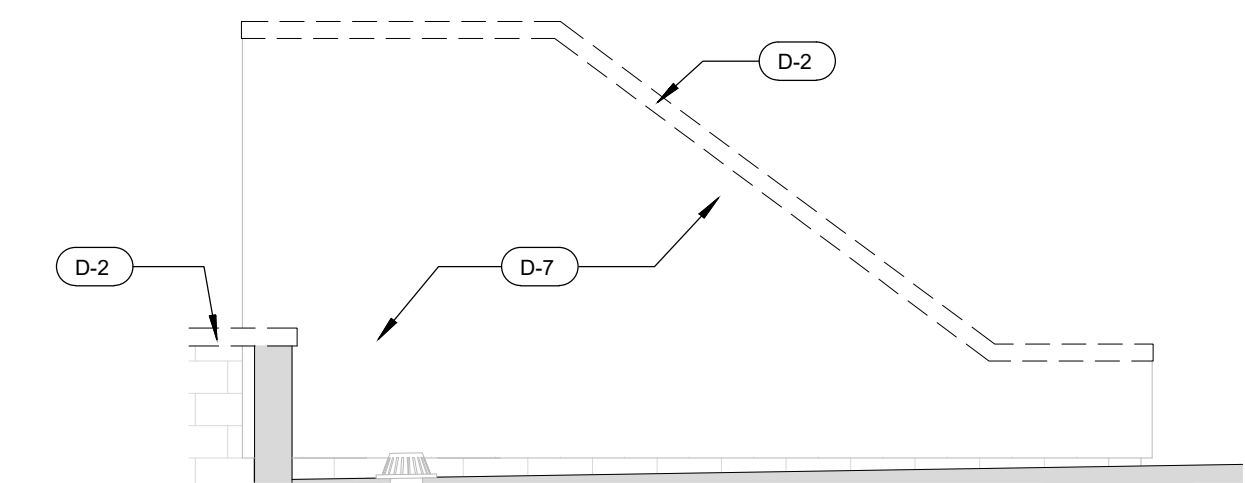
7 STAIR TOWER - EAST
 A-141 AD-203 SCALE: 1/4" = 1'-0"



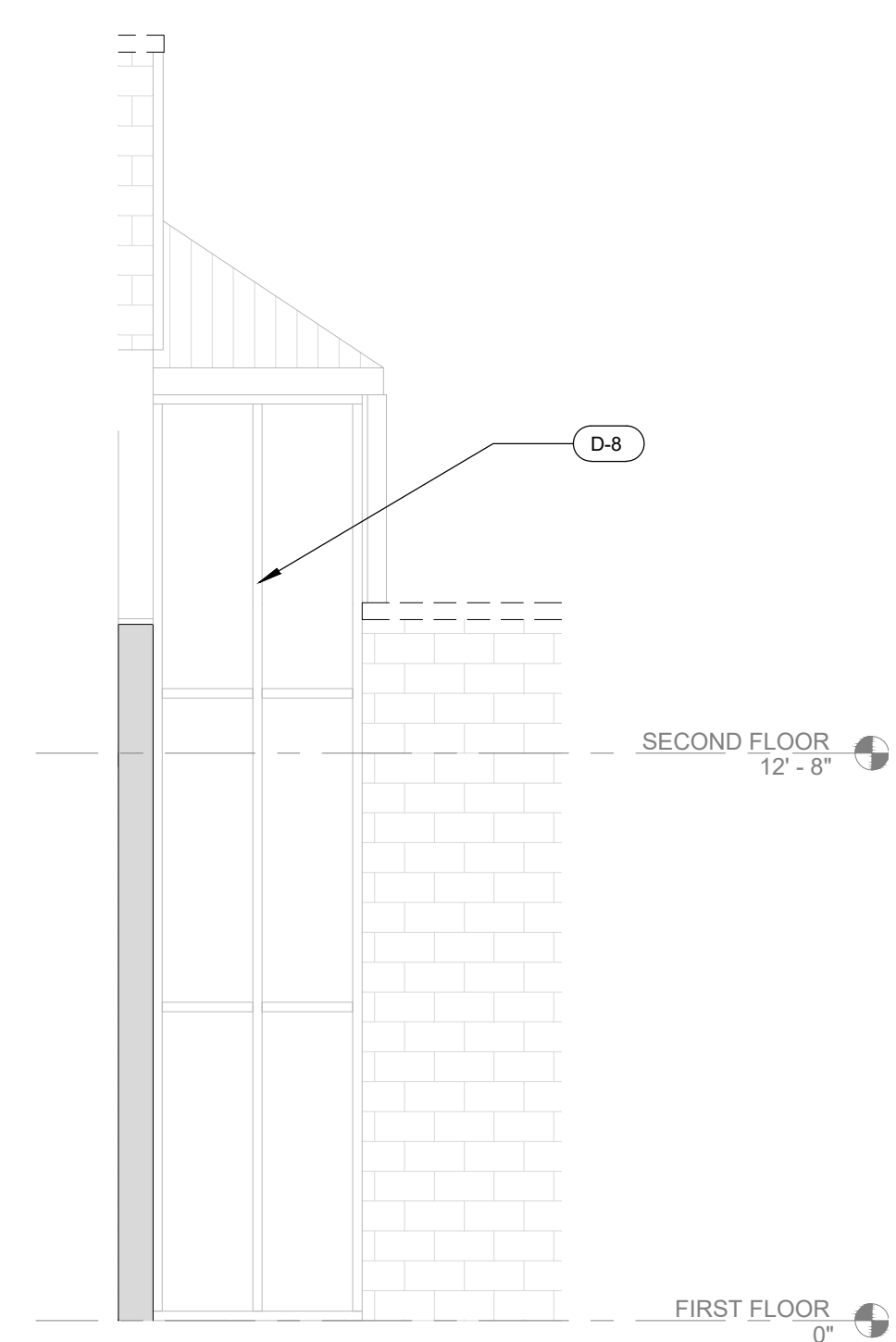
6 STAIR TOWER - NORTH
 A-141 AD-203 SCALE: 1/4" = 1'-0"



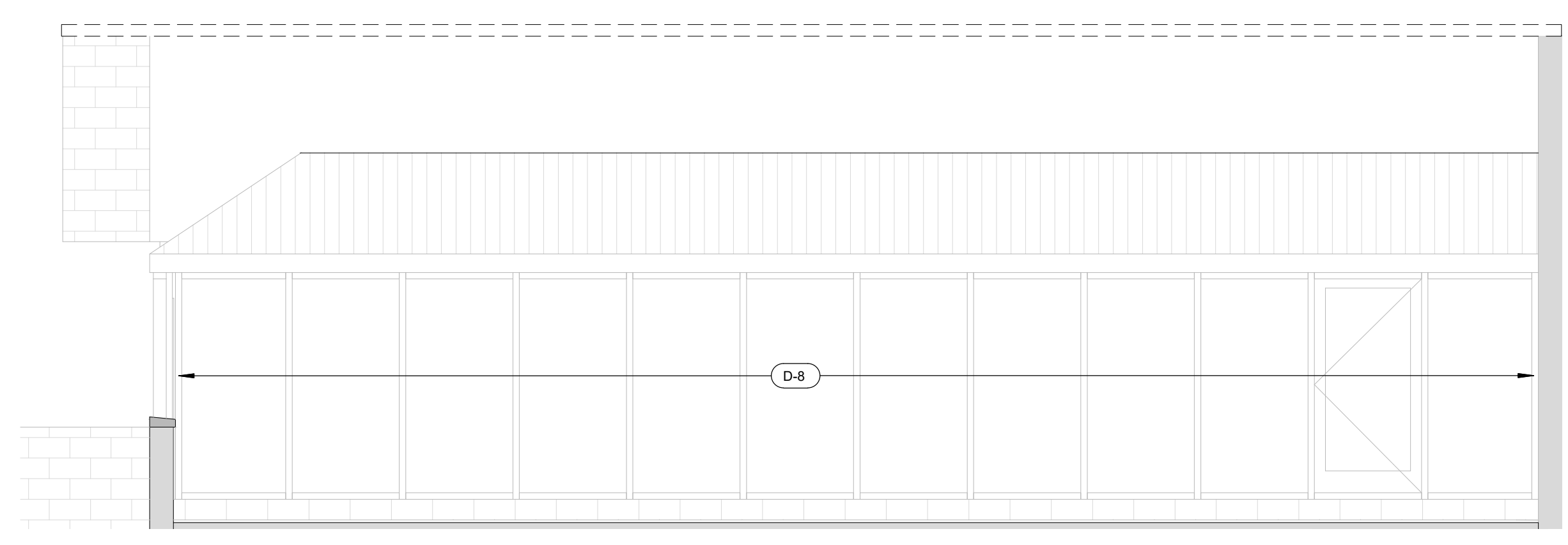
5 STAIR TOWER - WEST
 A-141 AD-203 SCALE: 1/4" = 1'-0"



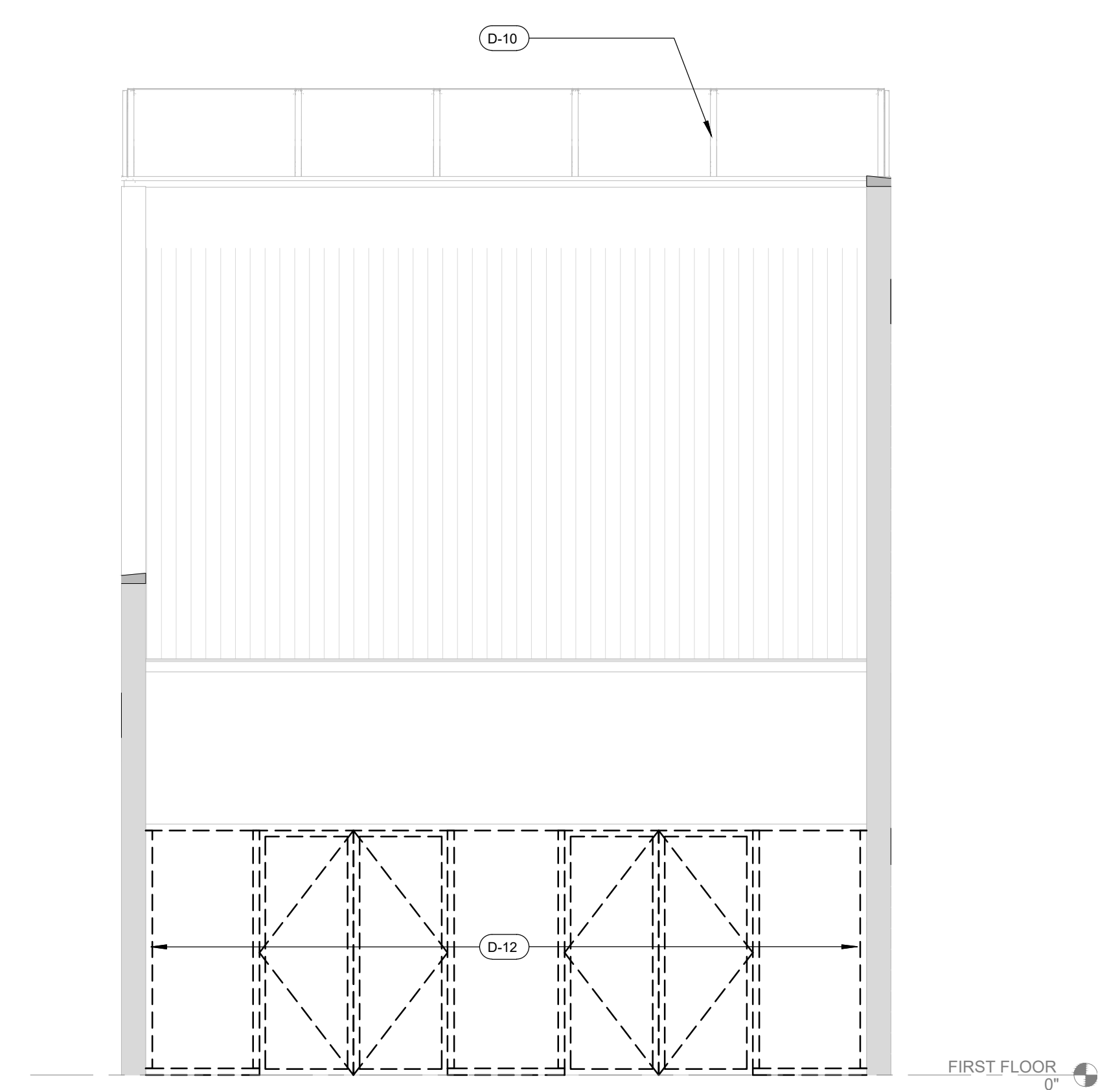
4 STAIR TOWER - SOUTH
 A-141 AD-203 SCALE: 1/4" = 1'-0"



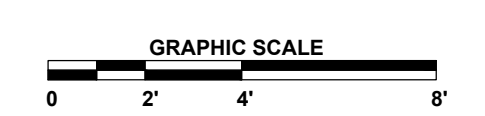
3 PARTIAL EAST ELEVATION
 A-141 AD-203 SCALE: 1/4" = 1'-0"



2 PARTIAL NORTH ELEVATION
 AD-203 SCALE: 1/4" = 1'-0"



1 MAIN ENTRY ELEVATION
 AD-101 AD-203 SCALE: 1/4" = 1'-0"





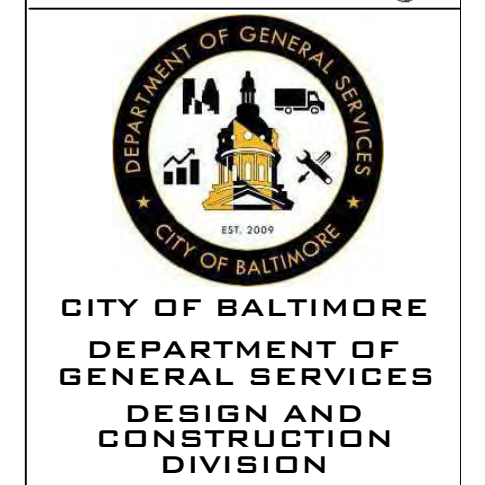
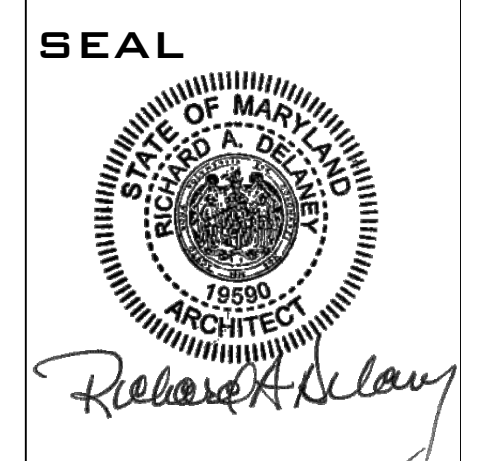
SCHEDULE OF CODED NOTES

- 1 NEW STOREFRONT SYSTEM
- 2 4"H X 6"W CONCRETE CURB
- 3 NEW FLOORING
- 4 VESTIBULE INCLUDES A LID ASSEMBLY - REFER TO A-601
- 5 NEW PVC DOWNSPOUT (MATCH DIAMETER AND CONFIGURATION OF EXISTING DOWNSPOUT) BETWEEN GUTTER AND EXISTING STORM DRAIN SYSTEM BELOW GRADE. PROVIDE WALL FITTINGS AND CAST IRON BOOT. PAINT DOWNSPOUT, OWNER TO CHOOSE COLOR. FIELD VERIFY LOCATION OF STORM DRAIN SYSTEM DURING EXCAVATION OF EXISTING CONCRETE SIDEWALK. REFER TO STRUCTURAL DRAWINGS FOR REPAIR WORK AT SIDEWALK.
- 6 REFER TO STRUCTURAL DRAWINGS FOR CONCRETE WORK

SCOPE OF WORK
SEE CODED NOTES
ON THIS SHEET

1
A-201 A-101
FIRST FLOOR - NEW WORK
SCALE: 1/8" = 1'-0"
GRAPHIC SCALE
0 4' 8' 16'

CONSULTANTS
PRIME AE
5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com



REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME
**FIRST FLOOR
PLAN**
8/03/2022
**SHEET
A-101**



GENERAL NOTES

PROVIDE NEW ROOF SYSTEM CONSISTING OF NEW 60 MIL FULLY ADHERED PVC MEMBRANE OVER COVERBOARD OVER POLYISOCYANURATE INSULATION (R-30) OVER EXISTING STEEL DECK.

EXISTING STRUCTURAL STEEL DECK IS SLOPED 1/4" PER FOOT. NEW ROOF INSULATION SHALL BE MINIMUM 4-1/2" THICKNESS EXCEPT AT CRICKETS, CURBS AND OTHER ROOF PENETRATIONS

EXISTING STANDING SEAM ROOF TO REMAIN (OUT OF SCOPE)

NEW SADDLES AND CRICKETS

NEW DRAIN SUMPS

X" : 12" INDICATES ROOF SLOPE ON THE STRUCTURAL DECK

INDICATES CHAIN LINK FENCE

ABBREVIATION LEGEND:

EF EXHAUST FAN/HOOD
 HS HOT STACK
 RD ROOF DRAIN
 RTU ROOF TOP UNIT
 SC THRU-WALL SCUPPER
 VTR VENT THRU ROOF
 SLH SERVICE LINE HOUSING

SCHEDULE OF CODED NOTES

7 NEW STEP FLASHING AND SEALANT PER DETAIL 3/A506.

8 RESET GAS LINE. CLEAN/REMOVE RUST AND PAINT PER SPECIFICATIONS. PROVIDE NEW PIPE SUPPORTS PER DETAIL 3/A-504.

9 NEW ROOF DECK AT DEMOLISHED ROOF HATCH. SEE DETAIL 3/A-503.

10 FIELD VERIFY CONDUIT THROUGH ROOF LOCATIONS AND INSTALL CURBS AND SERVICE LINE HOUSING ACCORDINGLY. RECONNECT SERVICE LINES AND RESTORE TO WORKING CONDITION. SEE DETAIL 4/A-501.

11 REINSTALL CHAIN-LINK FENCING.

13 NEW SEALANT AT EXISTING SKYLIGHTS.

21 INFILL ABOVE THE STAIR TOWER ROOF FLUSH WITH PERIMETER EDGE WITH NEW ROOF SYSTEM AND INSULATION. SLOPE PER PLAN LAYOUT. SEE DETAIL 2/A-505.

22 INFILL ABOVE THE ELEVATOR ROOF FLUSH WITH PERIMETER EDGE WITH NEW ROOF SYSTEM AND INSULATION. SLOPE PER PLAN LAYOUT. SIMILAR TO DETAIL 1/A-506.

23 INFILL ABANDONED THROUGH-WALL SCUPPER W/ MASONRY (MATCH EXISTING).

24 PLUMB CONDENSATE LINE FROM RTU TO ROOF DRAIN IN CLOSE PROXIMITY - 7 LOCATIONS. PROVIDE PIPE SUPPORT PER DETAIL 3/A-504.

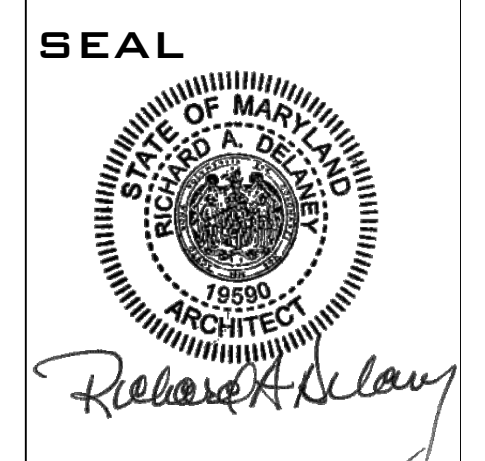
1 ROOF PLAN - NEW WORK
 SCALE: 1/8" = 1'-0"



CONSULTANTS

PRIME AE

5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
 p (410) 654-3790
 www.primeeng.com



CITY OF BALTIMORE
 DEPARTMENT OF GENERAL SERVICES
 DESIGN AND CONSTRUCTION DIVISION

REVISIONS

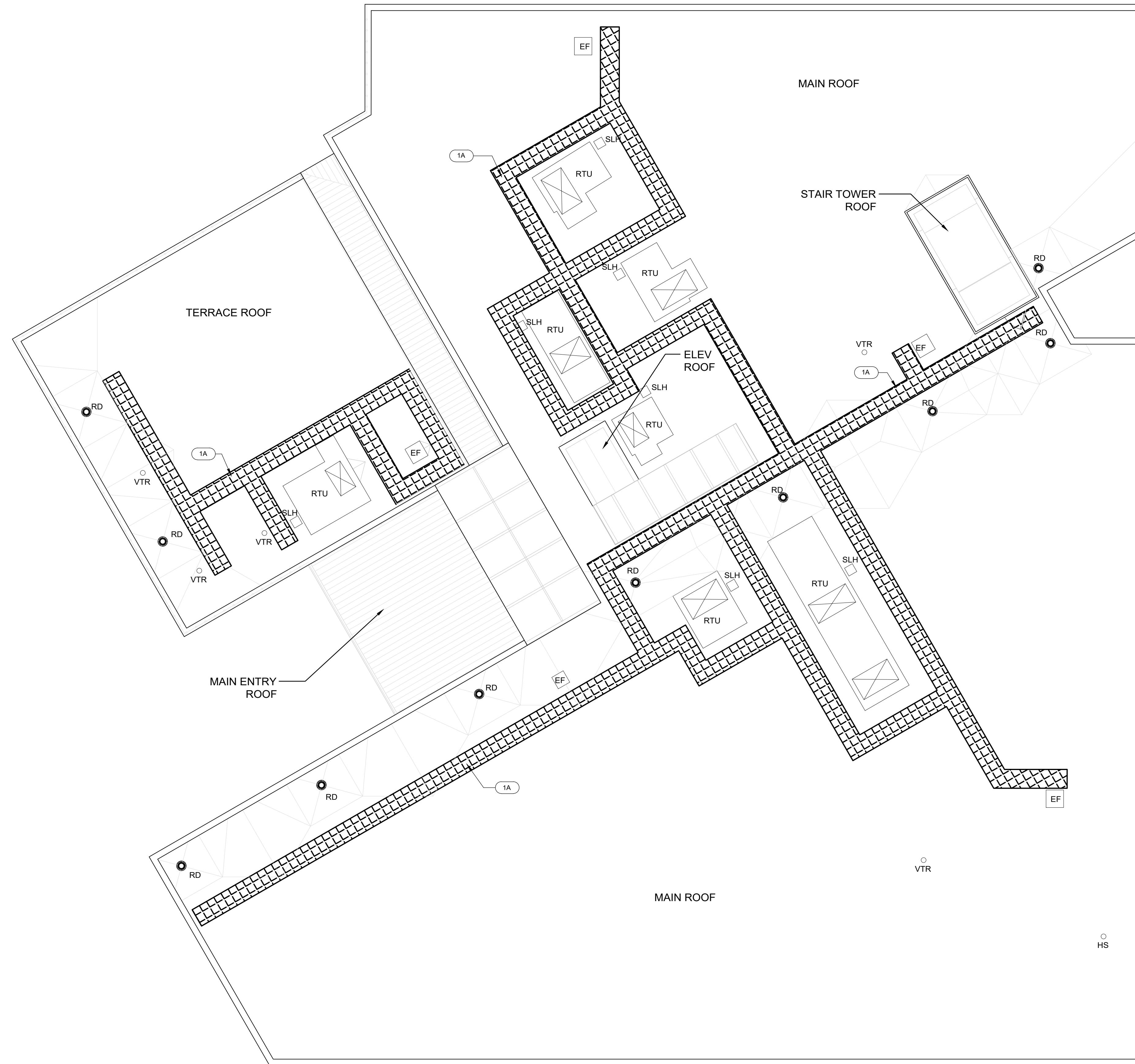
...	DATE	DESCRIPTION

LOWER PARK HEIGHTS COMMUNITY CENTER ROOF REPLACEMENT / WALL REPAIR / ENTRY

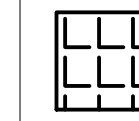
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
 CONTRACT NO. GS 21B22

SHEET NAME
ROOF PLAN NEW WORK

8/03/2022
SHEET A-141



GENERAL NOTES

 WALKWAY PADS

ABBREVIATION LEGEND:

- EF EXHAUST FAN/HOOD
- HS HOT STACK
- RD ROOF DRAIN
- RTU ROOF TOP UNIT
- SC THRU-WALL SCUPPER
- VTR VENT THRU ROOF
- SLH SERVICE LINE HOUSING

SCHEDULE OF CODED NOTES

1A WALKWAY PADS - REFER TO DETAIL 2/A-504.



5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com

SEAL



REVISIONS

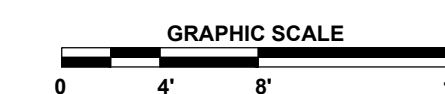
**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**
3939 REISTERSTOWN RD. BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME
**WALKWAY
LAYOUT
PLAN**

8/03/2022

**SHEET
A-142**

1 ROOF PLAN - WALKWAY LAYOUT PLAN
A-201 A-142 SCALE: 1/8" = 1'-0"



GENERAL NOTES

ALL EXTERIOR CONCRETE MASONRY TO RECEIVE SPECIFIED COATS OF WATER REPELLENT.

ABBREVIATION LEGEND:

CJ CLEAN AND PREP JOINT SUBSTRATES FOR NEW BACKER ROD AND SEALANT.

SCHEDULE OF CODED NOTES

14 NEW GLAZING BEADS AND SEALANT (TYP.)


15 NEW BACKER RODS AND SEALANT AT ALL EXISTING MASONRY CONTROL JOINTS.

CONSULTANTS


PRIME AE

5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com

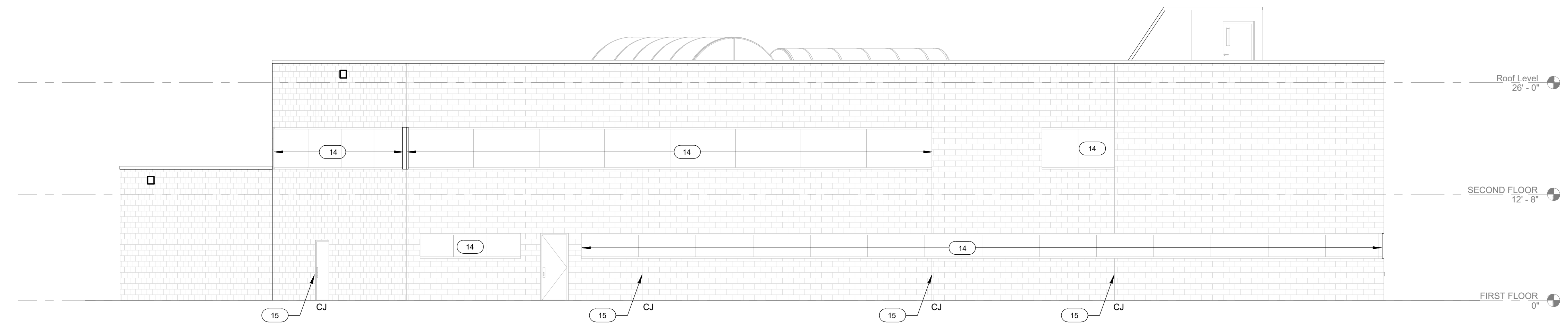
SEAL



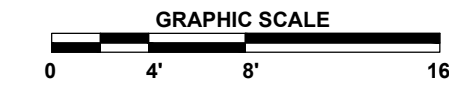
Richard A. Slay



CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION



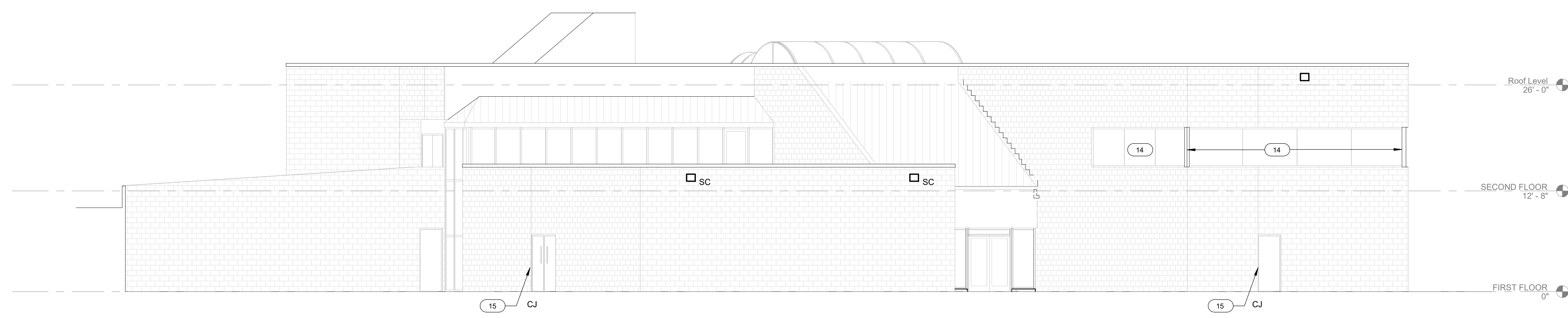
1 WEST ELEVATION NEW WORK
SCALE: 1/8" = 1'-0"
A-201



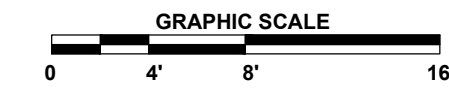
NOTE

PLEXIGLASS PANELS HAVE BEEN INSTALLED AT THE EXTERIOR OVER THE EXISTING WINDOWS.

PLEXIGLASS PANELS ARE TO BE REUSED AND REINSTALLED IN THEIR PRESENT LOCATIONS AFTER REPAIR WORK HAS BEEN COMPLETED.



2 NORTH ELEVATION NEW WORK
SCALE: 1/8" = 1'-0"
A-201



REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**

3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

**ELEVATIONS
NEW WORK**

8/03/2022

**SHEET
A-201**

GENERAL NOTES

ALL EXTERIOR CONCRETE MASONRY TO RECEIVE SPECIFIED COATS OF WATER REPELLENT.

ABBREVIATION LEGEND:

CJ CLEAN AND PREP JOINT SUBSTRATES FOR NEW BACKER ROD AND SEALANT.

SCHEDULE OF CODED NOTES

- 14 NEW GLAZING BEADS AND SEALANT (TYP.)
- 15 NEW BACKER RODS AND SEALANT AT ALL EXISTING MASONRY CONTROL JOINTS
- 16 NEW STEEL LINTEL (ABOVE DOOR) W/ SAME CONFIGURATION/SHAPE AND NEW FLASHINGS. NEW MASONRY TO MATCH REMOVED PORTION.

CONSULTANTS

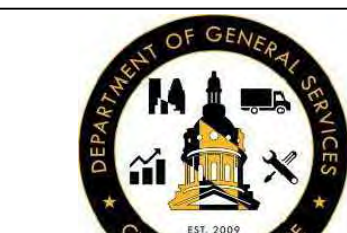


5521 Research Park Drive |
Suite 300 | Baltimore,
Maryland 21228
p (410) 654-3790
www.primeeng.com

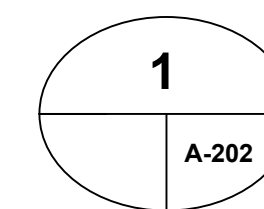
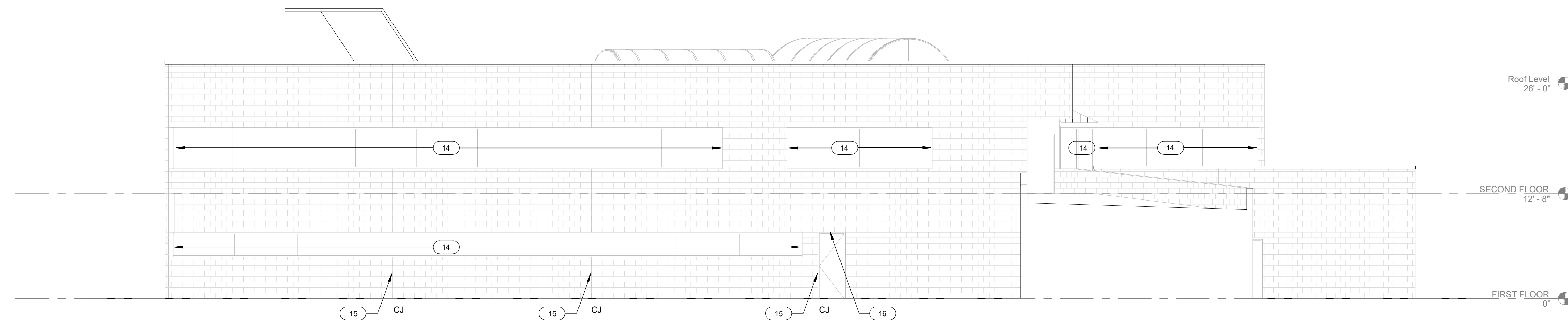
SEAL



Richard A. Slay

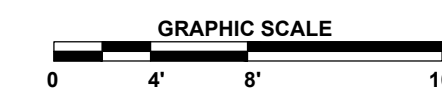


CITY OF BALTIMORE
DEPARTMENT OF
GENERAL SERVICES
DESIGN AND
CONSTRUCTION
DIVISION



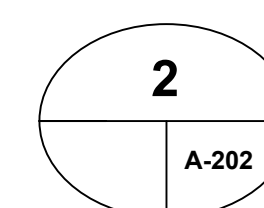
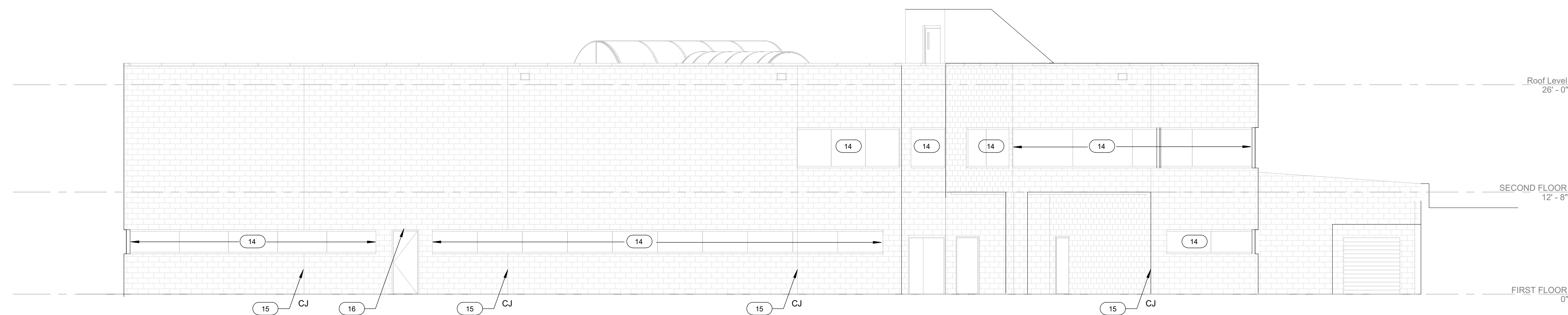
1 EAST ELEVATION NEW WORK

SCALE: 1/8" = 1'-0"



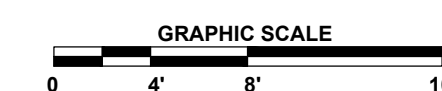
NOTE

PLEXIGLASS PANELS HAVE BEEN INSTALLED AT THE EXTERIOR OVER THE EXISTING WINDOWS.
PLEXIGLASS PANELS ARE TO BE REUSED AND REINSTALLED IN THEIR PRESENT LOCATIONS AFTER REPAIR WORK HAS BEEN COMPLETED.



2 SOUTH ELEVATION NEW WORK

SCALE: 1/8" = 1'-0"



REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

**ELEVATIONS
NEW WORK**

8/03/2022

**SHEET
A-202**

GENERAL NOTES

CLEAN ALL CONCRETE MASONRY TO REMOVE DIRT, STAINING, AND EFFLORESCENCE, EXTERIOR AND INTERIOR.

NEW EIFS AT STAIR TOWER ROOF.

- SCHEDULE OF CODED NOTES**
- 1 NEW STOREFRONT SYSTEM INCLUDING DOORS AND THRESHOLDS. SEE SHEET A/601.
 - 17 NEW DRIP EDGE. SEE DETAIL 2/A-505.
 - 19 NEW EIFS WALL FINISH.
 - 20 NEW BACKER RODS AND SEALANTS AT TRANSLUCENT WALL PANELS.
 - 21 INFILL ABOVE THE STAIR TOWER ROOF FLUSH WITH PERIMETER EDGE WITH NEW ROOF SYSTEM. SEE DETAIL 2/A-505
 - 22 PROVIDE NEW LIGHT FIXTURE. SEE DETAIL 2/A-506.

CONSULTANTS

PRIME AE

5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
p (410) 654-3790
www.primeeng.com

SEAL

Richard A. Slay

CITY OF BALTIMORE
DEPARTMENT OF GENERAL SERVICES
DESIGN AND CONSTRUCTION DIVISION

REVISIONS

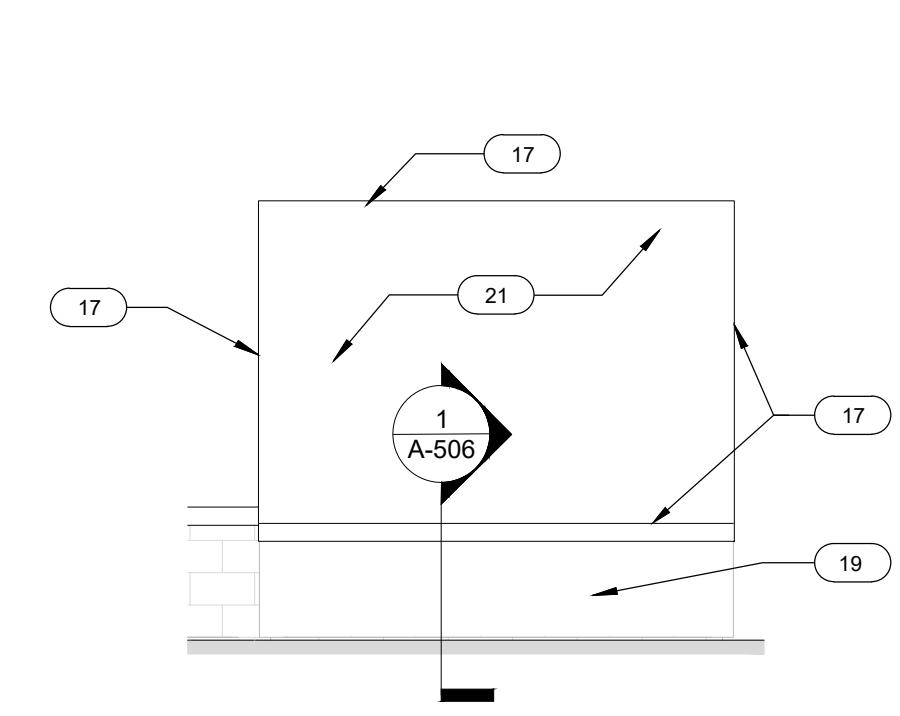
...	DATE	DESCRIPTION

LOWER PARK HEIGHTS COMMUNITY CENTER / WALL REPAIR REPLACEMENT / ENTRY

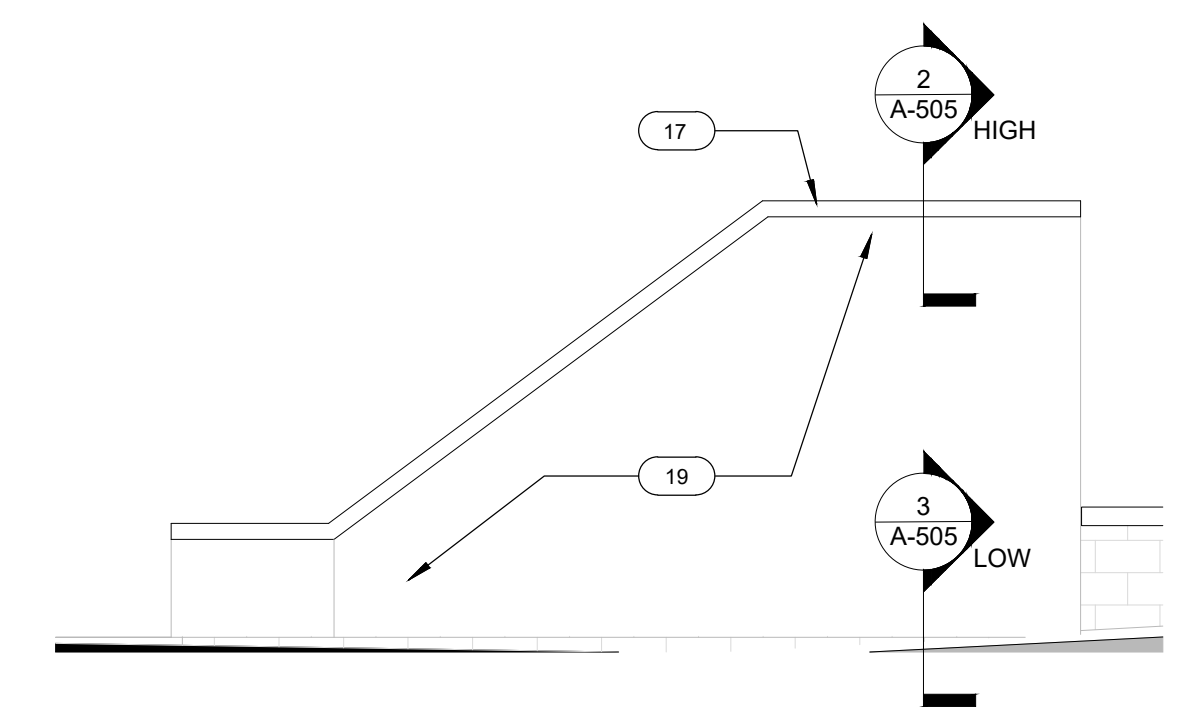
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME
ELEVATIONS NEW WORK

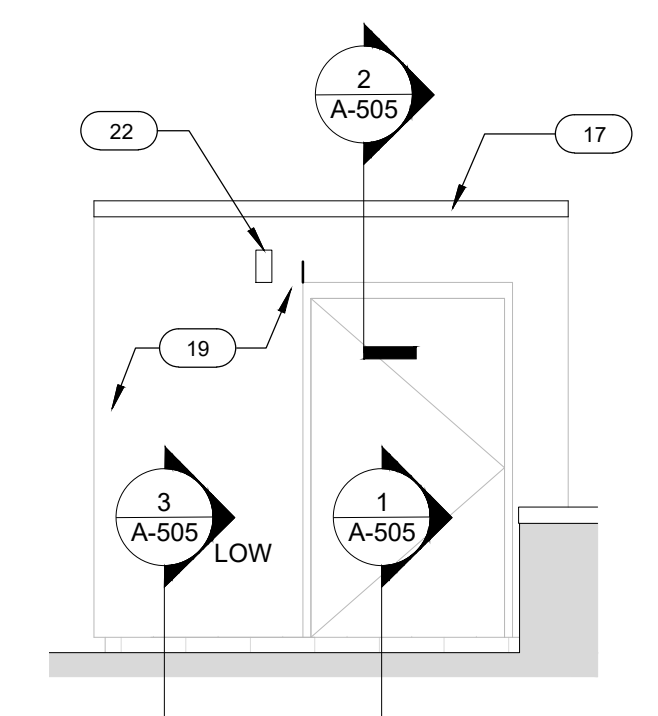
8/03/2022
SHEET A-203



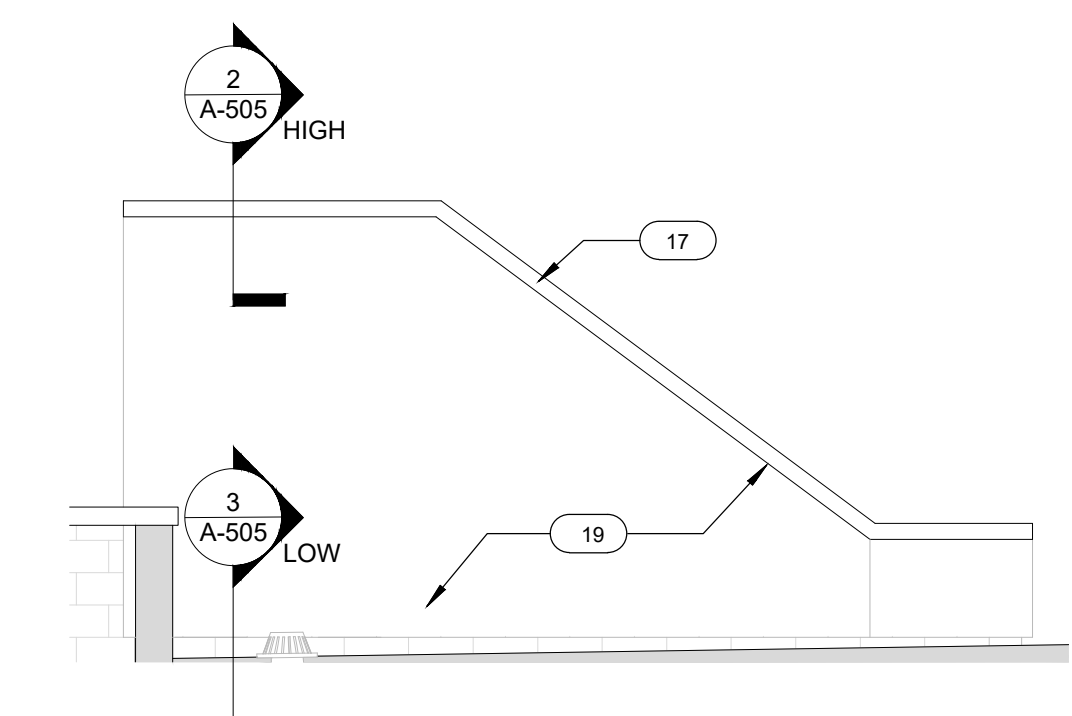
7 STAIR TOWER - EAST
A-141 A-203 SCALE: 1/4" = 1'-0"



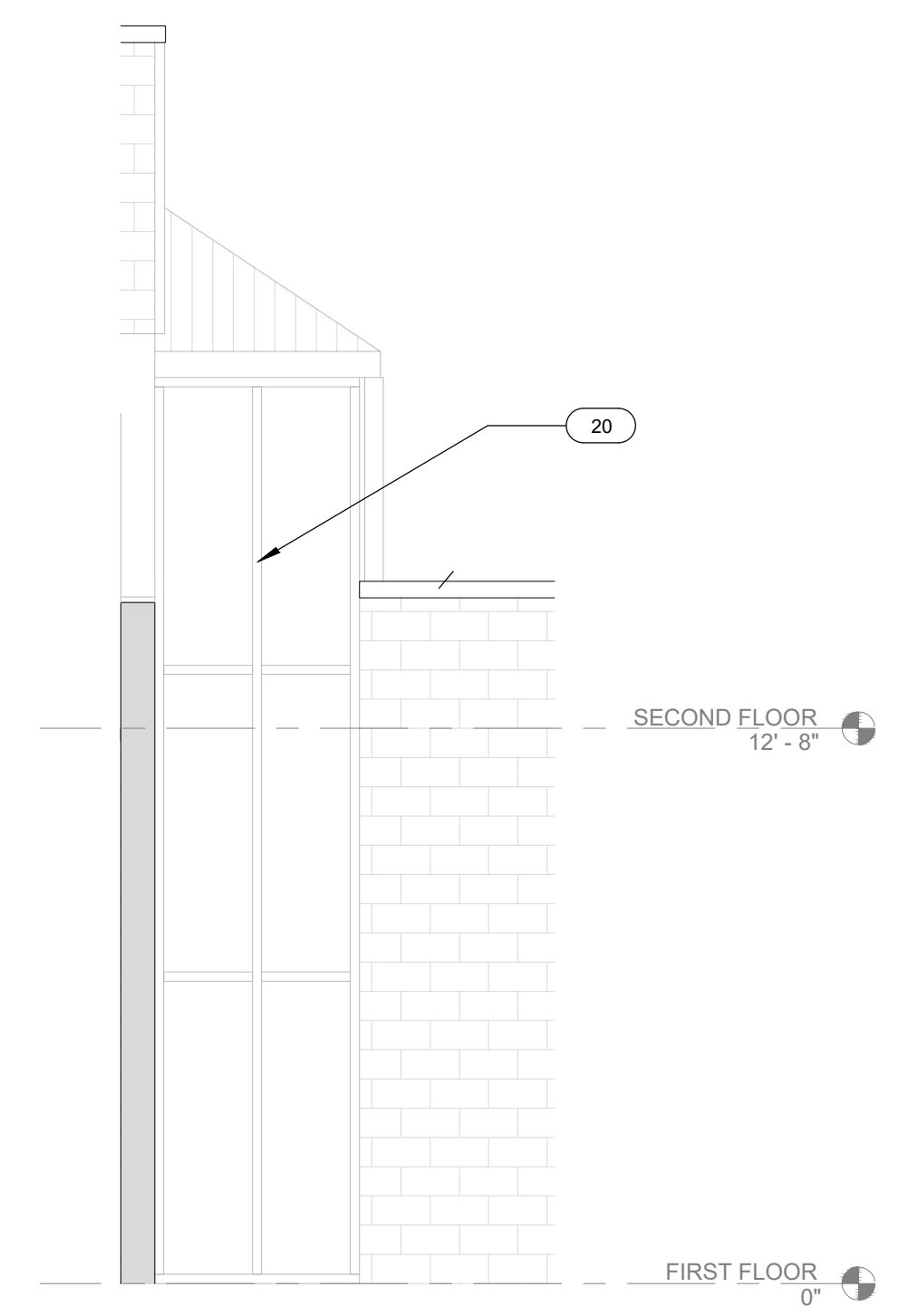
6 STAIR TOWER - NORTH
A-141 A-203 SCALE: 1/4" = 1'-0"



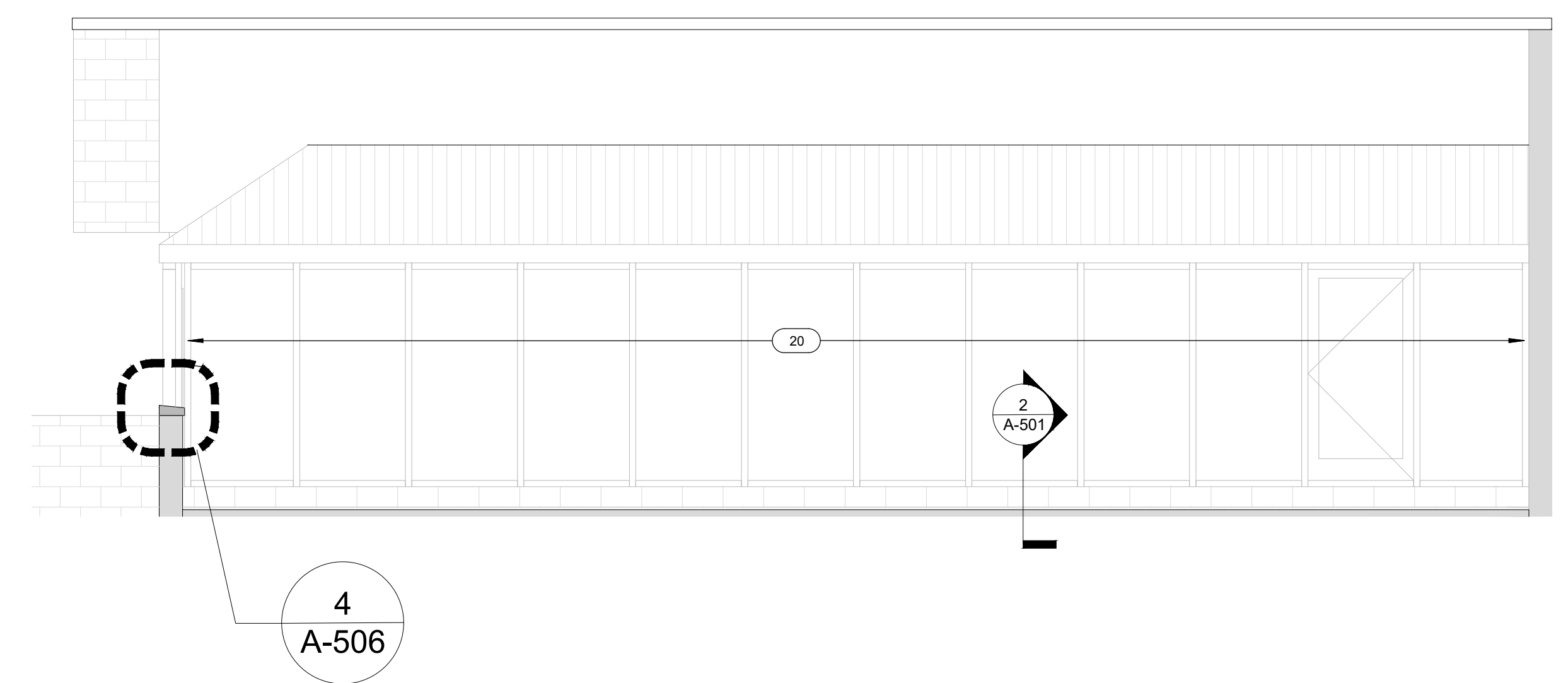
5 STAIR TOWER - WEST
A-141 A-203 SCALE: 1/4" = 1'-0"



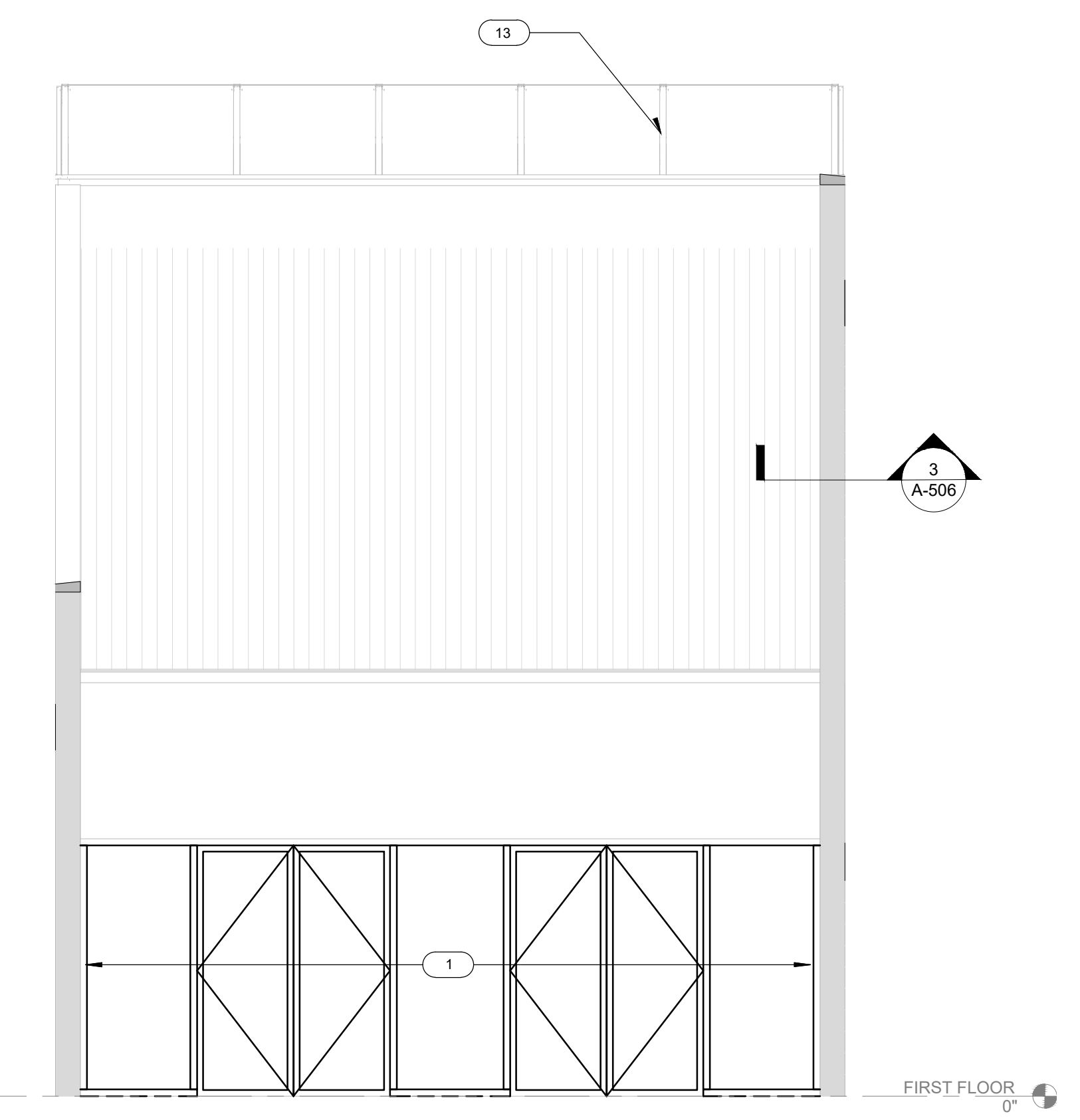
4 STAIR TOWER - SOUTH
A-141 A-203 SCALE: 1/4" = 1'-0"



3 PARTIAL EAST ELEVATION
A-141 A-203 SCALE: 1/4" = 1'-0"



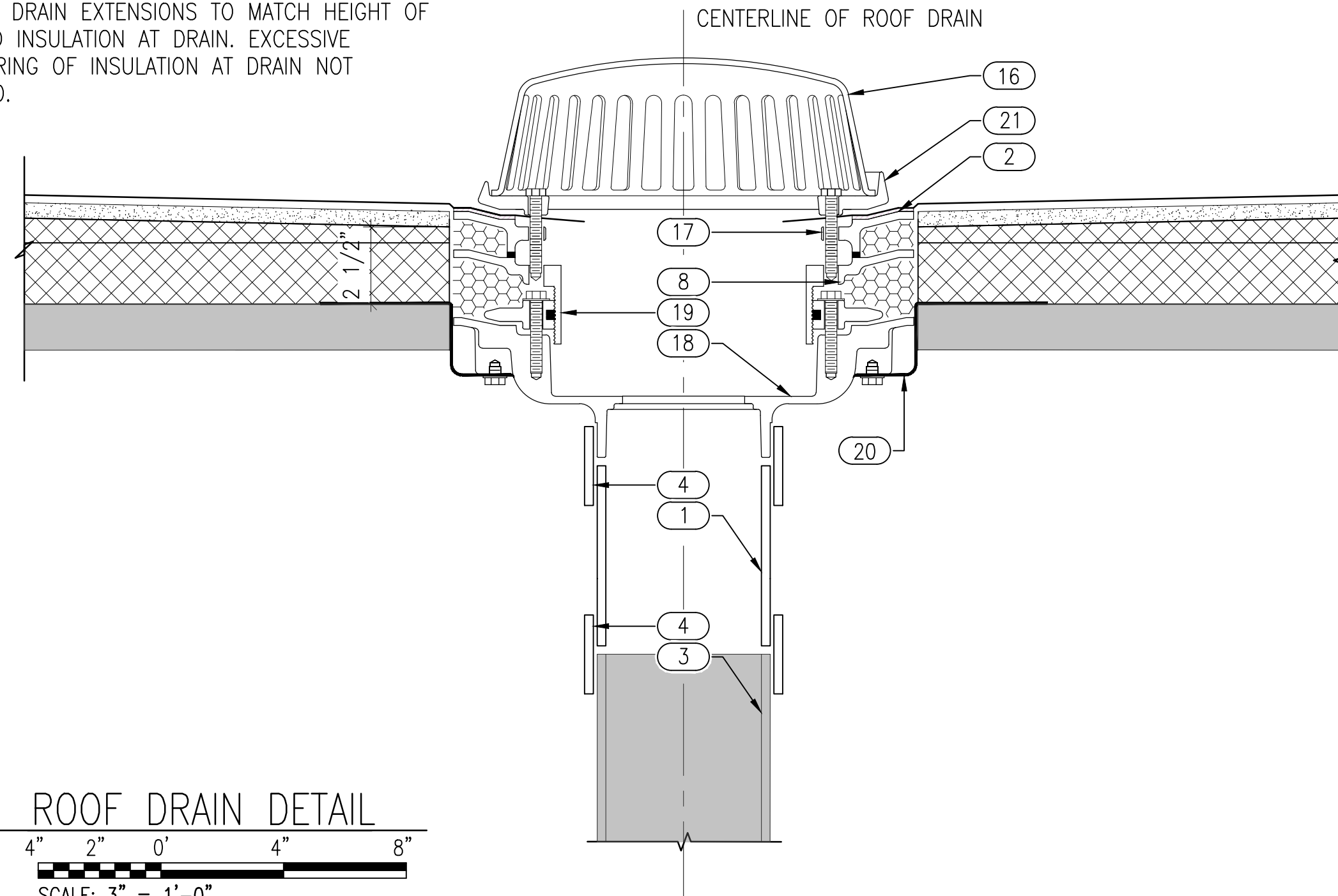
2 PARTIAL NORTH ELEVATION
A-203 SCALE: 1/4" = 1'-0"



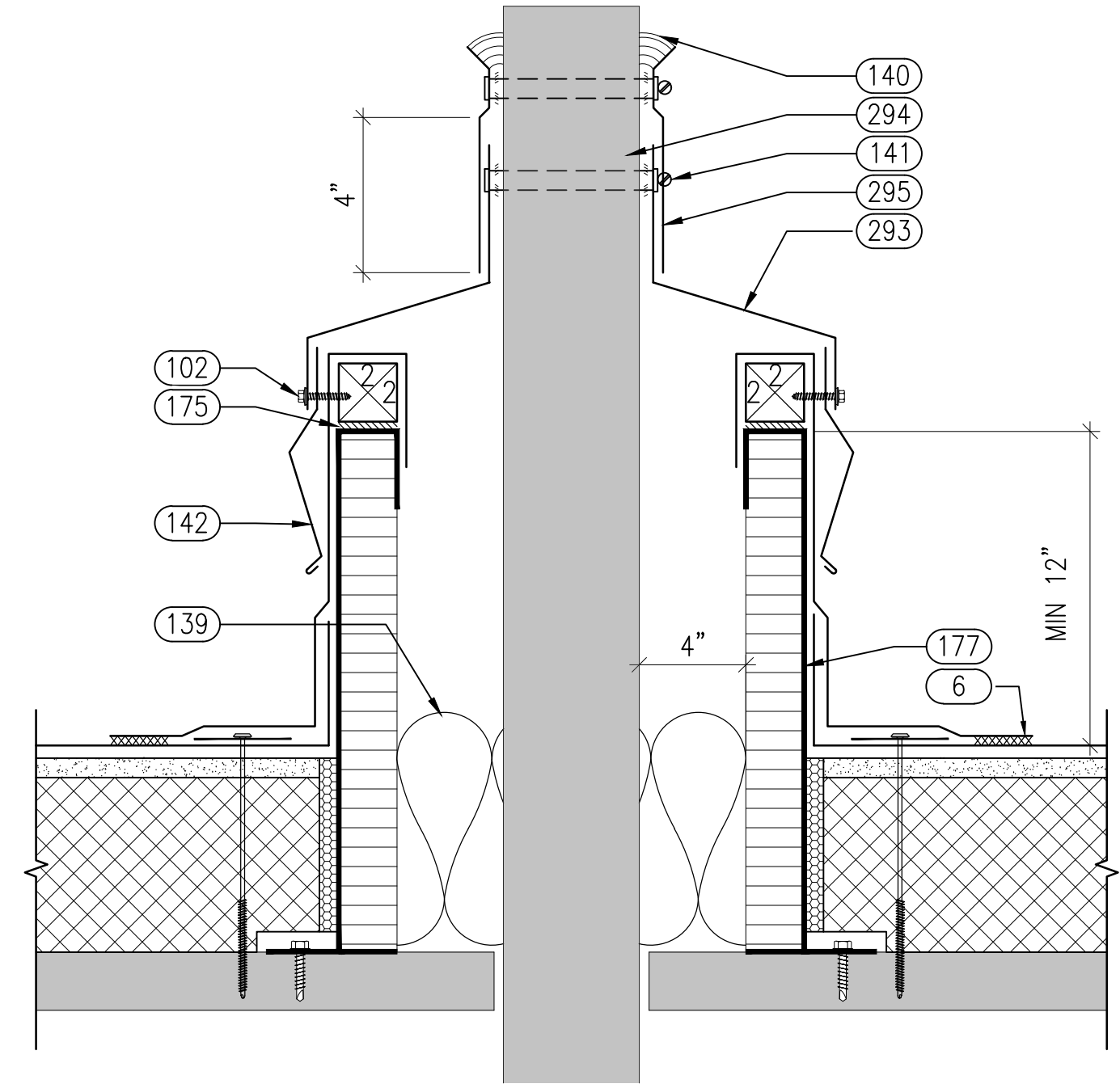
1 MAIN ENTRY ELEVATION
A-203 SCALE: 1/4" = 1'-0"

NOTES:

1. ASSURE THAT DRAIN ASSEMBLY IS SECURELY ANCHORED TO THE STRUCTURAL DECK.
2. FORM FLASHING MEMBRANE TO DRAIN BODY AND INSULATION TAPER.
3. DURING ROOF CONSTRUCTION INSTALL TEMPORARY PLUG AT DRAIN TO PREVENT DEBRIS BUILT-UP DRAIN PIPE. REMOVE DRAIN PLUG AT END OF EACH WORKDAY OR AT WORK STOPPAGE.
4. PROVIDE DRAIN EXTENSIONS TO MATCH HEIGHT OF TAPERED INSULATION AT DRAIN. EXCESSIVE CHAMFERING OF INSULATION AT DRAIN NOT ALLOWED.

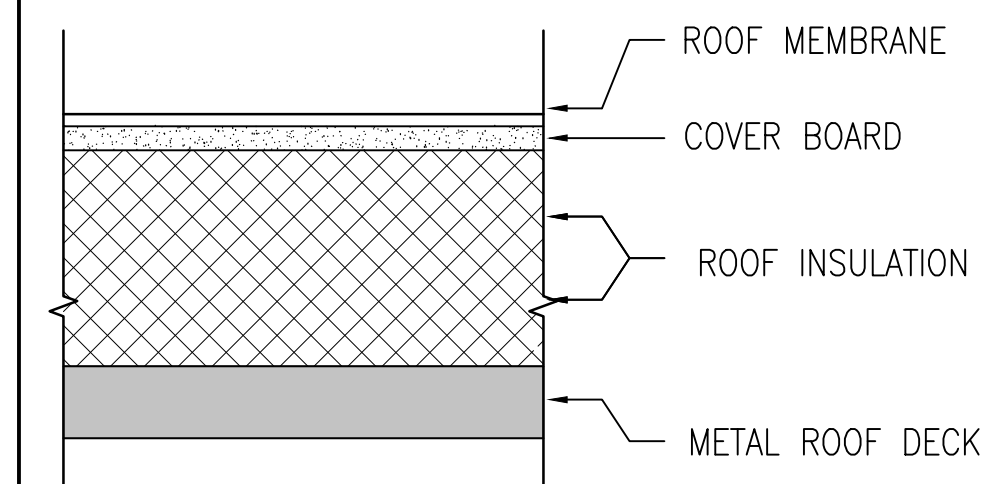


1 ROOF DRAIN DETAIL
A-141 A-500
SCALE: 3" = 1'-0"



2 HOT STACK DETAIL
A-141 A-500
SCALE: 3" = 1'-0"

GRAPHIC LEGEND:



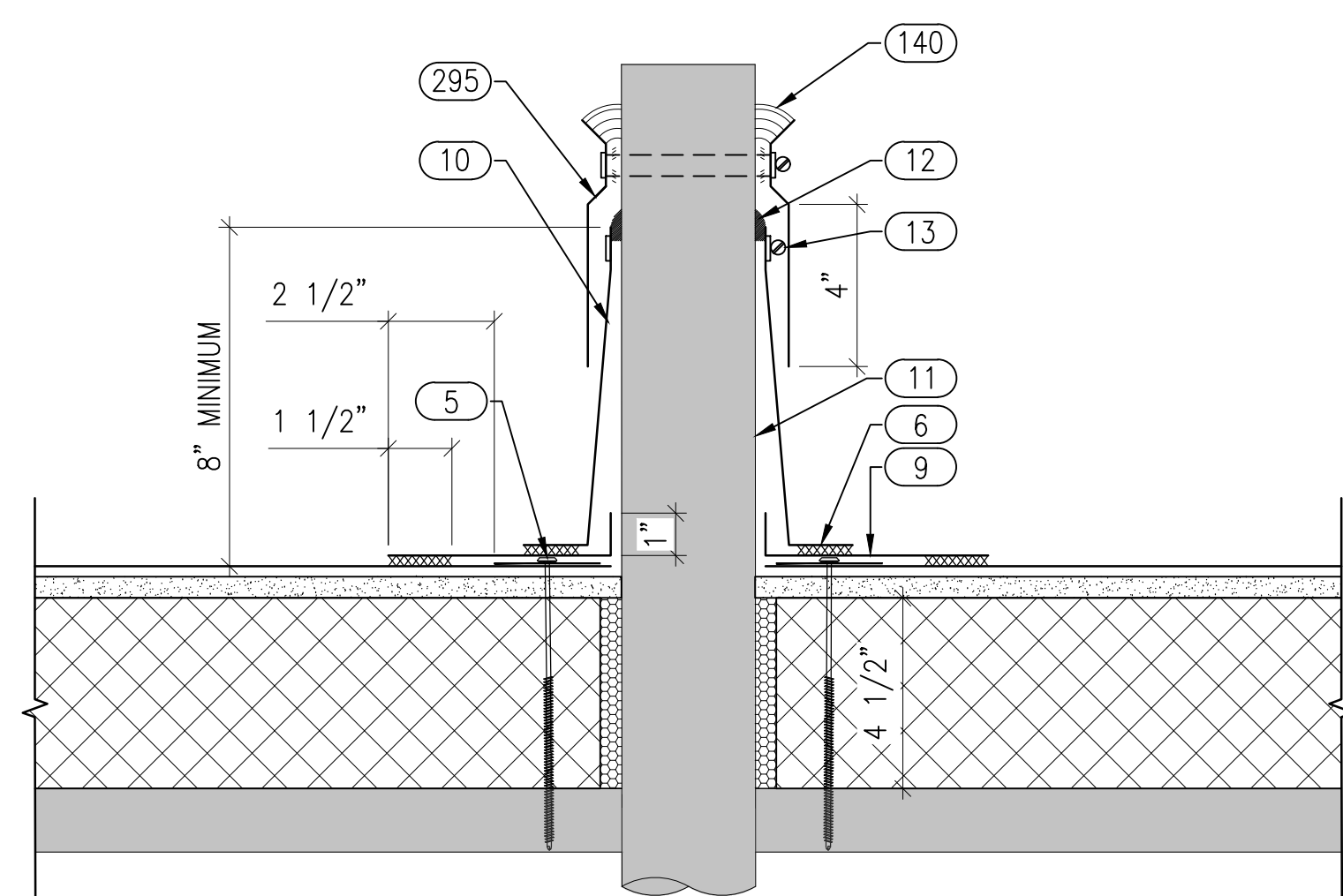
- EXISTING CONSTRUCTION TO REMAIN; INSPECT AND MODIFY AS INDICATED AND SPECIFIED
- 1/2" SPRAY FOAM INSULATION
- PLYWOOD
- WOOD BLOCKING

KEYNOTES:

- 1 NEW PIPING AS REQUIRED
- 2 WATER CUT-OFF MASTIC
- 3 EXISTING STORM LEADER
- 4 COUPLING AS REQUIRED
- 5 ANCHOR PLATES FASTENED 6" O.C.
- 6 HOT AIR WELD
- 8 INFILL VOIDS AROUND NEW DRAIN WITH SPRAY FOAM
- 9 MEMBRANE TARGET PATCH
- 10 PRE-MOLDED PIPE BOOT
- 11 EXISTING PIPE PENETRATION
- 12 SEALANT
- 13 STAINLESS STEEL CLAMPING RING
- 16 NEW ROOF DRAIN DOME STRAINER
- 17 STATIC EXTENSION
- 18 NEW ROOF DRAIN BOWL
- 19 ADJUSTABLE DRAIN EXTENSION
- 20 DECK PLATE
- 21 NEW CLAMPING RING
- 102 FASTENERS WITH SEALING WASHERS 16" O.C. MINIMUM 2 PER SIDE
- 139 MINERAL FIBER INSULATION
- 140 TEMPERATURE RATED ELASTOMERIC SEALANT
- 141 STAINLESS STEEL DRAWBAND
- 142 24 GAUGE STAINLESS STEEL COUNTERFLASHING
- 175 FOAM GASKET
- 177 NEW CURB
- 293 22 GAUGE STAINLESS STEEL CURB COVER SOLDERED WATERTIGHT
- 294 EXISTING HOT STACK
- 295 STAINLESS STEEL STORM COLLAR

NOTES:

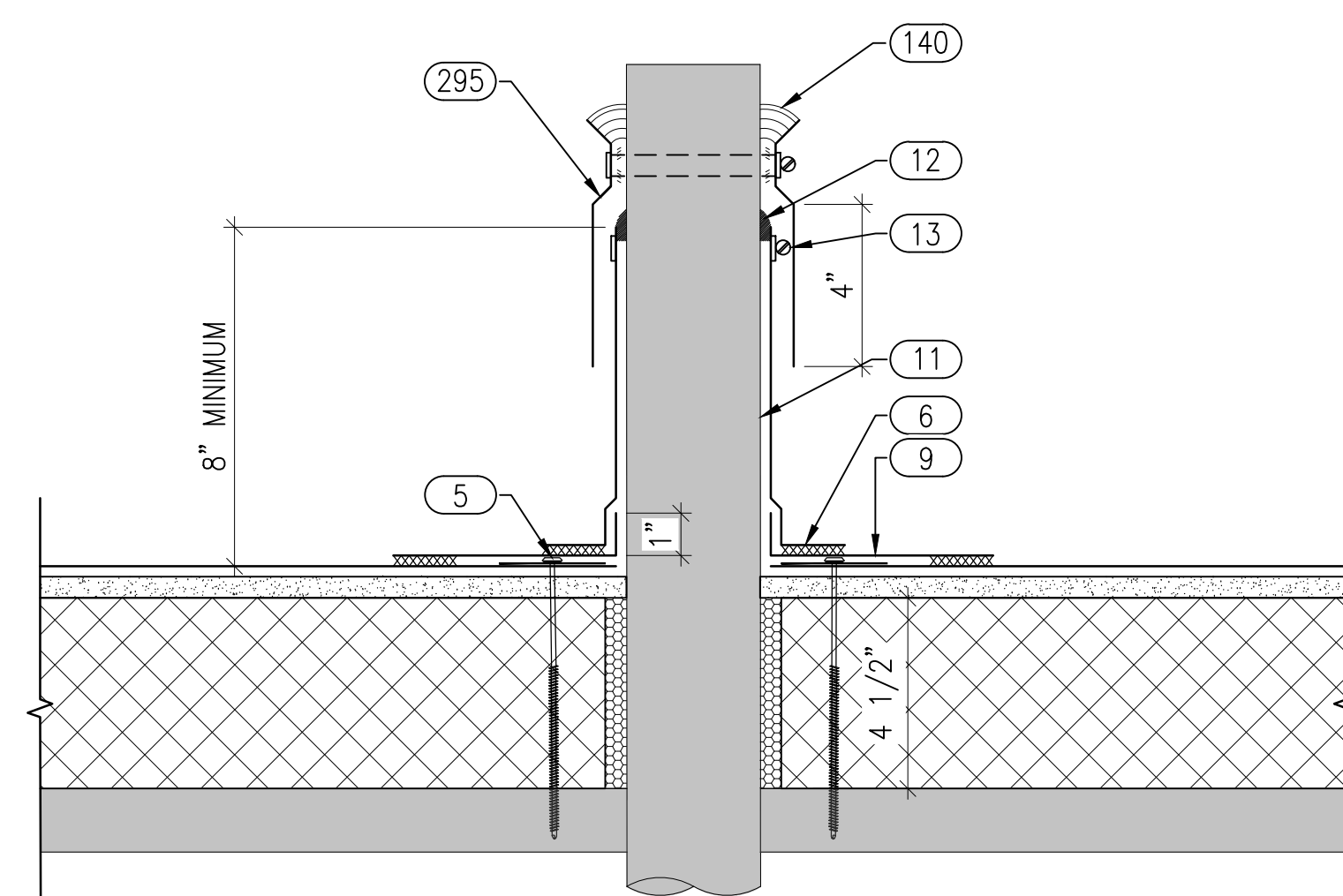
1. ALUMINUM TAPE SEPARATION IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.
2. INSTALL 2" DIAMETER MEMBRANE MANUFACTURERS APPROVED DISCS/PLATES. MAINTAIN 3" O.C. MAXIMUM SPACING BETWEEN FASTENERS.



3 PRE-MOLDED PIPE FLASHING DETAIL
A-141 A-500
SCALE: 3" = 1'-0"

NOTES:

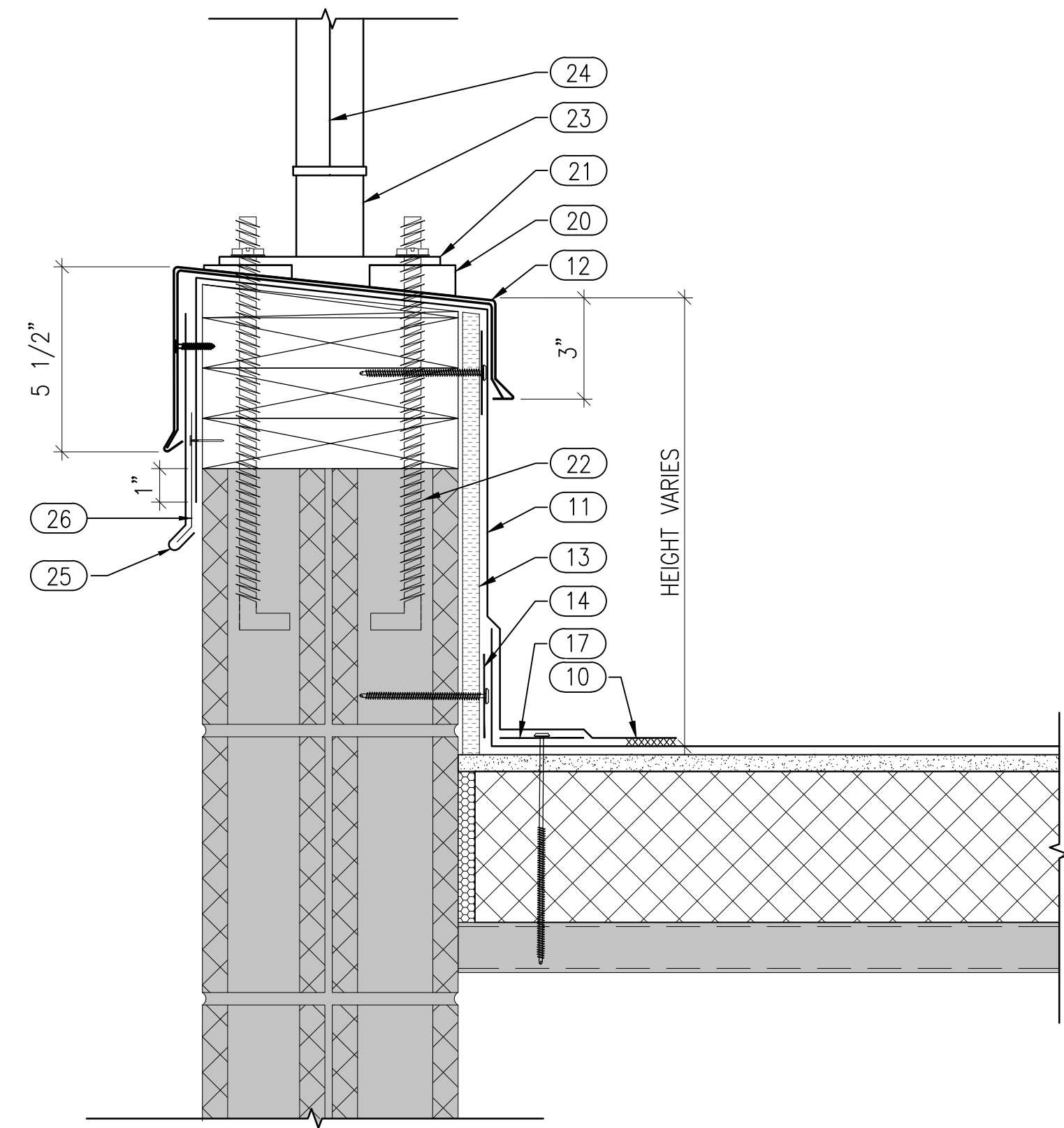
1. ALUMINUM TAPE SEPARATION IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.
2. INSTALL 2" DIAMETER MEMBRANE MANUFACTURERS APPROVED DISCS/PLATES. MAINTAIN 3" O.C. MAXIMUM SPACING BETWEEN FASTENERS.



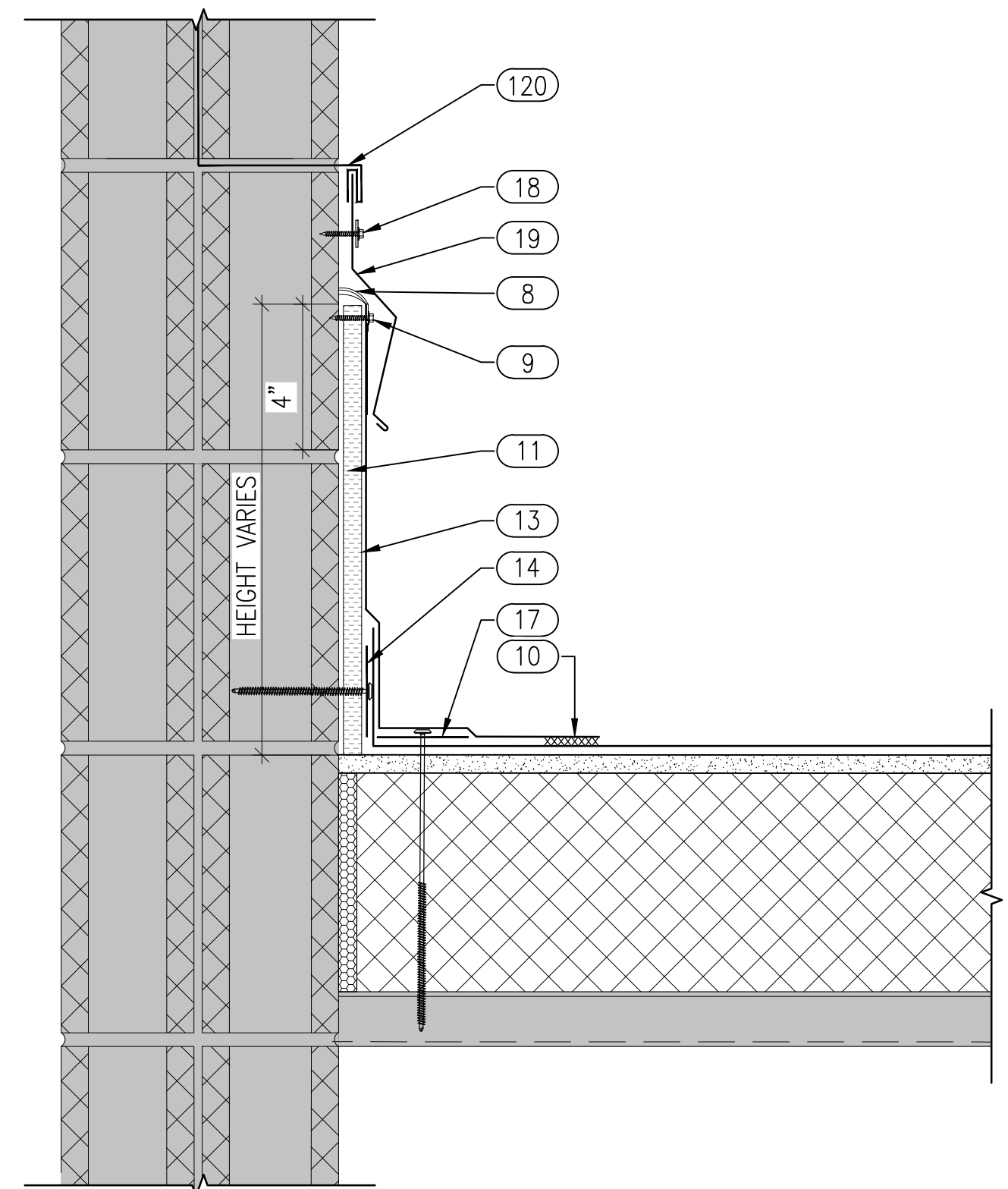
4 FIELD WRAP PIPE FLASHING DETAIL
A-141 A-500
SCALE: 3" = 1'-0"

REVISIONS

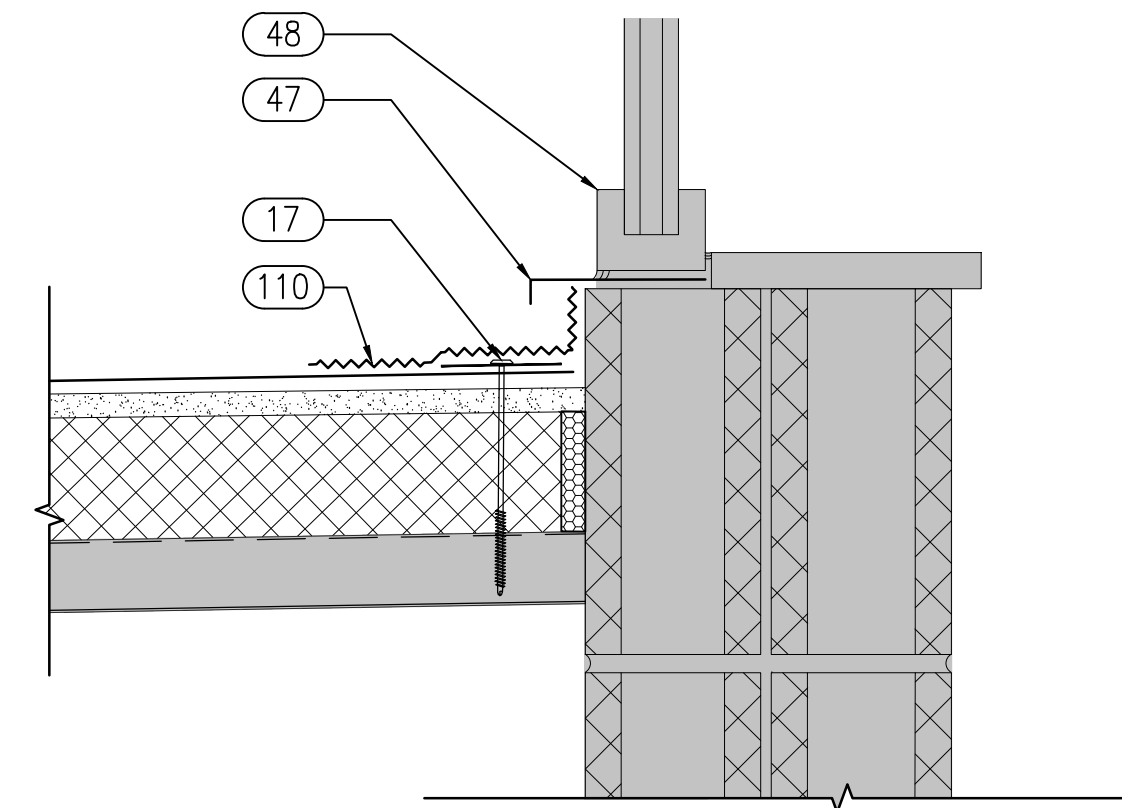
NO.	DATE	DESCRIPTION



1 TYPICAL PARAPET WALL FLASHING DETAIL
 A-141 | A-501
 SCALE: 3" = 1'-0"



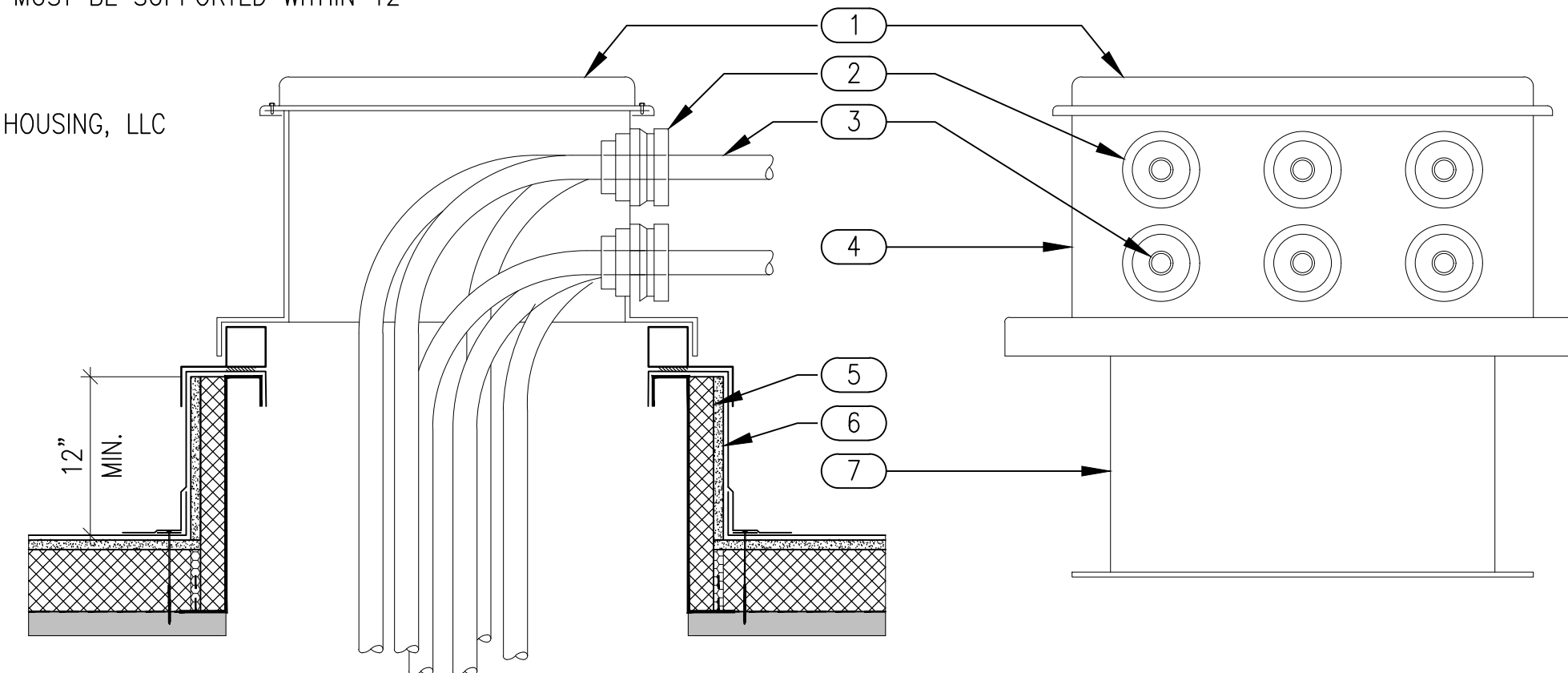
3 ROOF TO WALL FLASHING DETAIL
 A-141 | A-501
 SCALE: 3" = 1'-0"



2 WALL BASE FLASHING DETAIL
 A-141 | A-501
 SCALE: 3" = 1'-0"

PRE-MANUFACTURED SERVICE LINE HOUSING SPECIFICATIONS

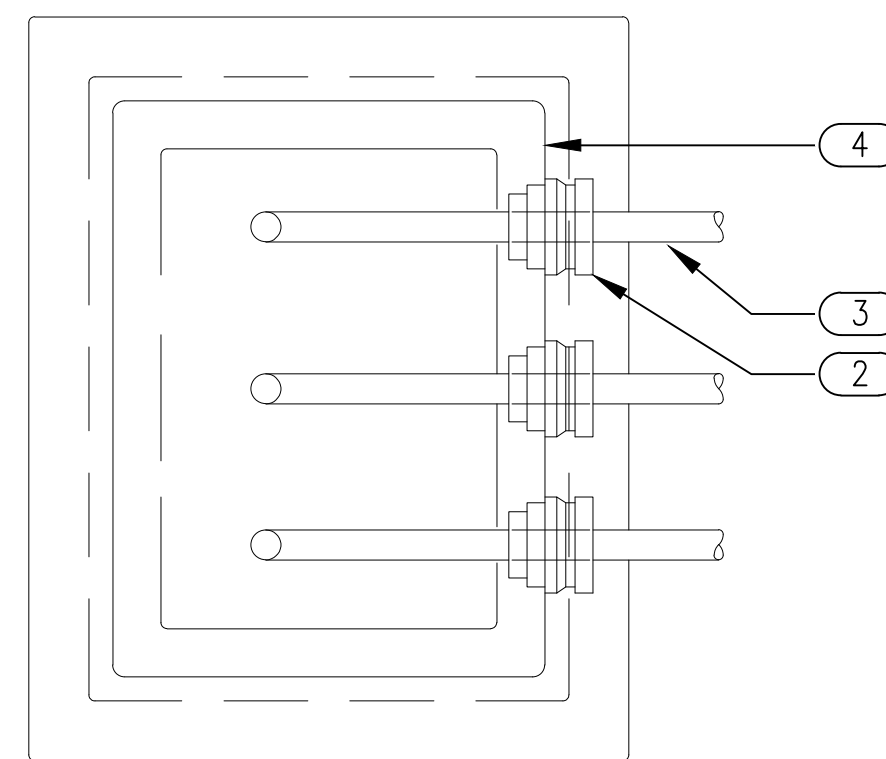
- 20-YEAR WARRANTY ACCOMODATING MULTIPLE PENETRATIONS
- CONSTRUCTED OF HEAVY GAUGE FACTORY FINISHED WELDED ALUMINUM WITH GASKETS AND STAINLESS STEEL HARDWARE
- UNIT HAS A THREE PIECE CONFIGURATION, CONSISTING OF A REMOVABLE VANDAL RESISTANT LID, MIDDLE HOUSING AND WIDE FLANGED CURB
- EXIT SEALS ARE OF AN ALUMINUM OR STAINLESS STEEL CONFIGURATION
- ALL PENETRATIONS EXITING THE HOUSING MUST BE SUPPORTED WITHIN 12 INCHES AFTER EXITING
- BASIS OF DESIGN:
 AWI MEDIUM VAULT
 MANUFACTURED BY ROOF PENETRATION HOUSING, LLC
- DIMENSIONS:
 L 20-1/2" W 14-1/2" H 12"



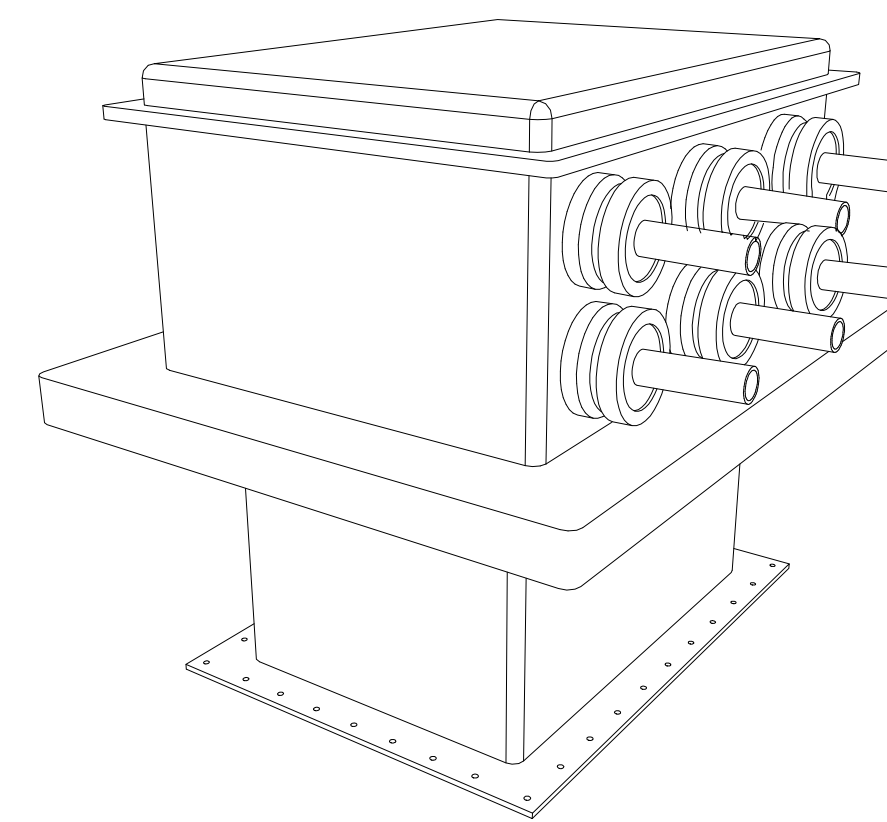
ELEVATION

NOTES:

1. FLASH CURB SIMILAR TO 3/A-502.
2. PROVIDE (4) FOUR EXTRA EXIT SEALS PER HOUSING AS ATTIC STOCK. (2) 5000 SERIES EXIT SEALS AND (2) 6000 SERIES EXIT SEALS.



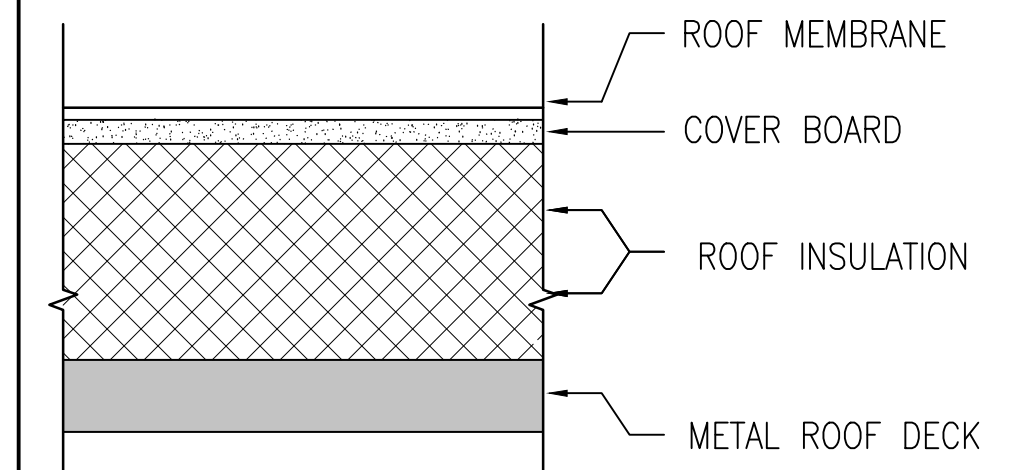
PLAN



ISOMETRIC

4 SERVICE LINE HOUSING DETAIL
 A-501 | A-501
 SCALE: NOT TO SCALE

GRAPHIC LEGEND:



- EXISTING CONSTRUCTION TO REMAIN; INSPECT AND MODIFY AS INDICATED AND SPECIFIED
- 1/2" SPRAY FOAM INSULATION
- PLYWOOD
- WOOD BLOCKING

KEYNOTES:

- 1 MATCHING WIND-RATED ALUMINUM COVER
- 2 EXIT SEAL
- 3 EXISTING CONDUIT OR REFRIGERANT PIPE, MODIFY PIPE AS REQUIRED
- 4 PRE-FABRICATED SERVICE LINE HOUSING
- 5 1 1/2" RIGID INSULATION ADHERED TO HOUSING WALL
- 6 1/2" COVER BOARD ADHERED TO RIGID INSULATION
- 7 ALUMINUM CURB 16" HIGH MINIMUM INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 8 SEALANT
- 9 TERMINATION BAR FASTENED 12" O.C.
- 10 HOT AIR WELD
- 11 ROOF MEMBRANE FLASHING
- 12 COPING CAP SYSTEM
- 13 1/2" STRUCTURAL CEMENT BOARD.
- 14 FASTENERS AND PLATES TO SECURE CEMENT BOARD TO EXISTING WALL. MINIMUM OF 1 FASTENER PER 2 SQUARE FEET.
- 17 ANCHOR PLATES FASTENED 6" O.C.
- 18 FASTENERS WITH SEALING WASHERS 12" O.C.
- 19 24 GAUGE STAINLESS STEEL SURFACE MOUNTED COUNTERFLASHING
- 20 FABRICATE STAINLESS STEEL BAR STOCK SHIMS FOR LEVELING STEEL PLATE.
- 21 EXISTING STAINLESS STEEL PLATE TO BE REINSTALLED.
- 22 EXISTING BOLTS TO REMAIN (TYP. OF 4)
- 23 EXISTING FENCE POSTS TO BE REINSTALLED.
- 24 EXISTING FENCE TO BE REINSTALLED.
- 25 PRE-FINISHED FASCIA EXTENDER FASTENED 12" O.C. FINISH TO MATCH COPING / EDGE METAL SYSTEM.
- 26 22 GAUGE GALVANIZED CLEAT FASTENED 12" O.C.
- 47 NEW METAL COUNTERFLASHING AT EXISTING WINDOW.
- 48 EXISTING WINDOW SYSTEM TO REMAIN.
- 110 LIQUID FLASHING.
- 120 EXISTING THRU-WALL FLASHING, MODIFY RECEIVER TO SECURE TO COUNTERFLASHING.

CONSULTANTS

PRIMEAL
 5521 Research Park Drive |
 Suite 300 | Baltimore,
 Maryland 21228
 p (410) 654-3790
 www.primeeng.com

SEAL



CITY OF BALTIMORE
 DEPARTMENT OF
 GENERAL SERVICES
 DESIGN AND
 CONSTRUCTION
 DIVISION

REVISIONS

NO.	DATE	DESCRIPTION

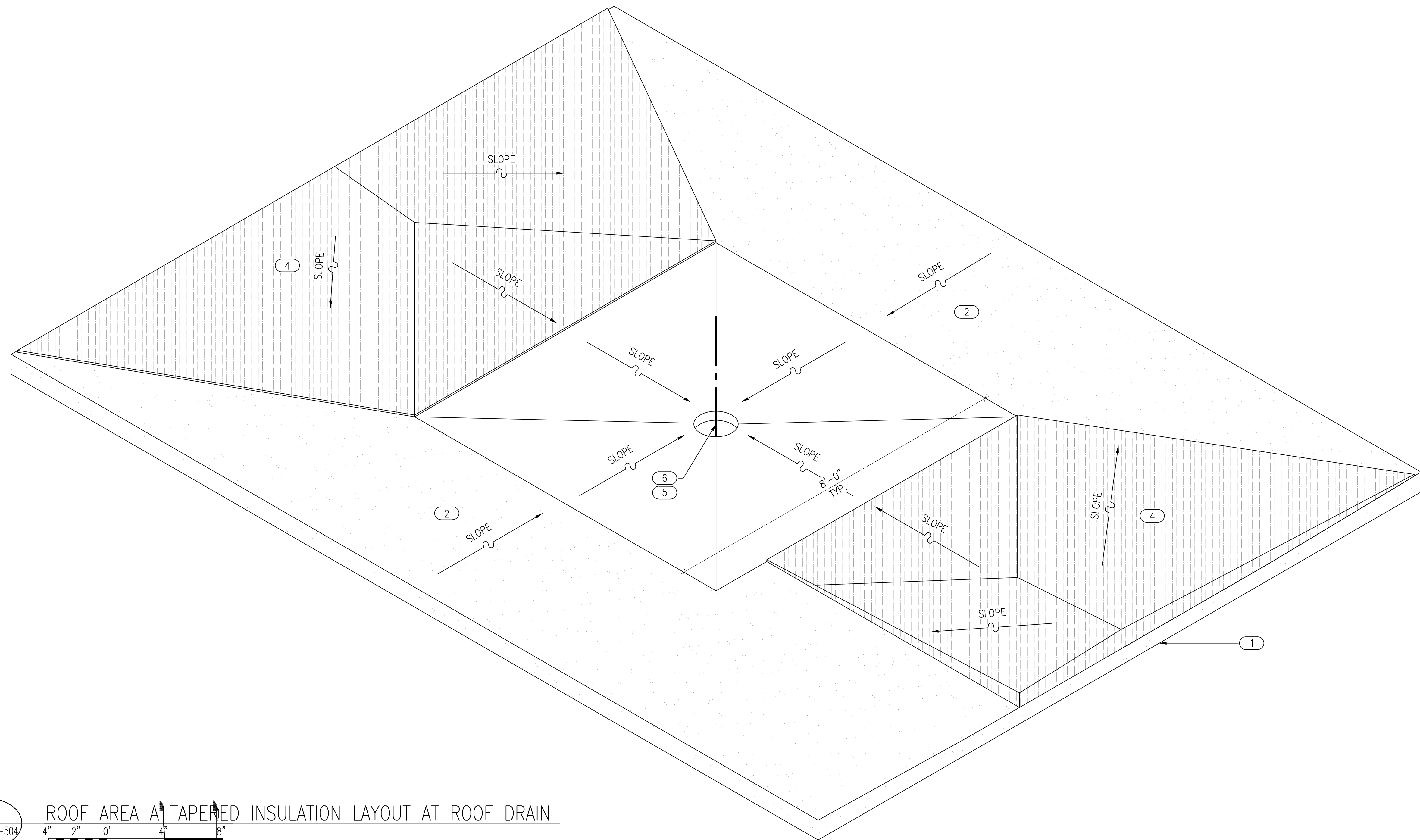
**LOWER PARK HEIGHTS
 COMMUNITY CENTER ROOF
 REPLACEMENT / WALL REPAIR
 / ENTRY**
 3939 REISTERSTOWN RD. BALTIMORE, MD 21215
 CONTRACT NO. 65 21822

SHEET NAME

**TYPICAL
 DETAILS**

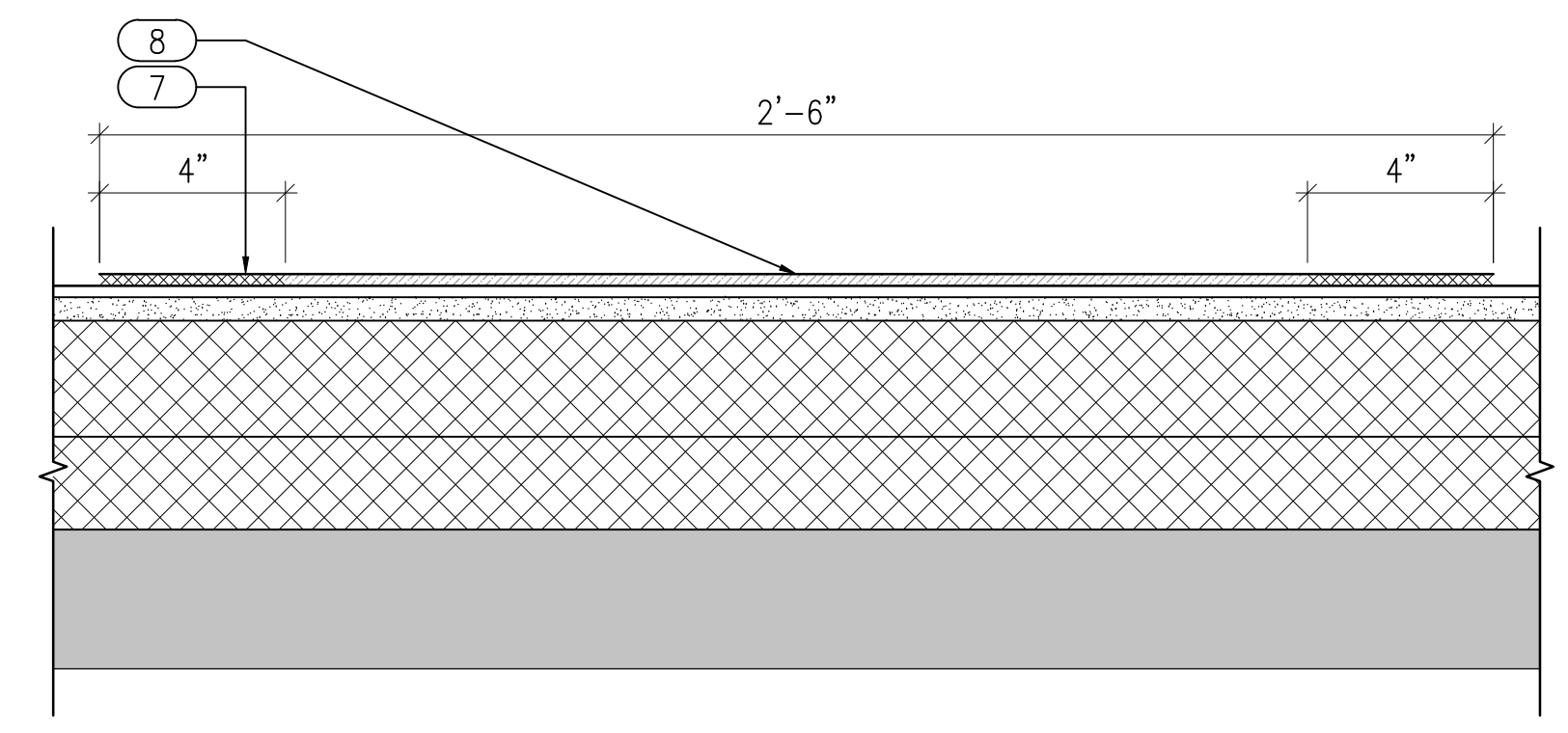
8/03/2022

**SHEET
 A-501**



1 ROOF AREA A TAPERED INSULATION LAYOUT AT ROOF DRAIN
 A-141 | A-504
 SCALE: 3" = 1'-0"

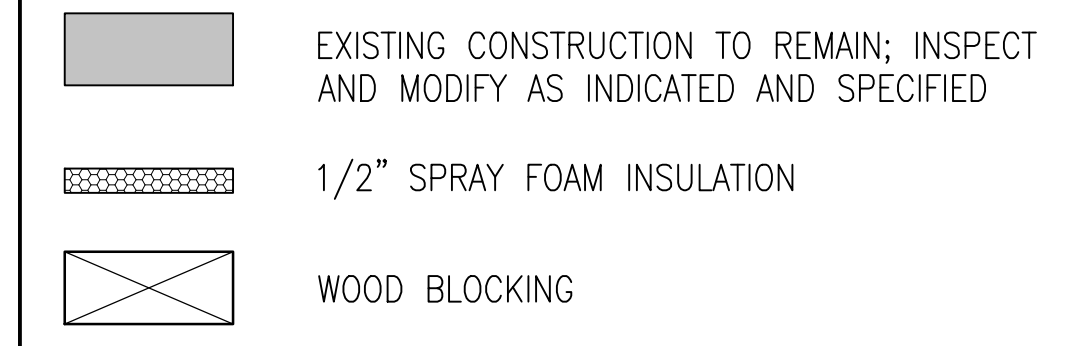
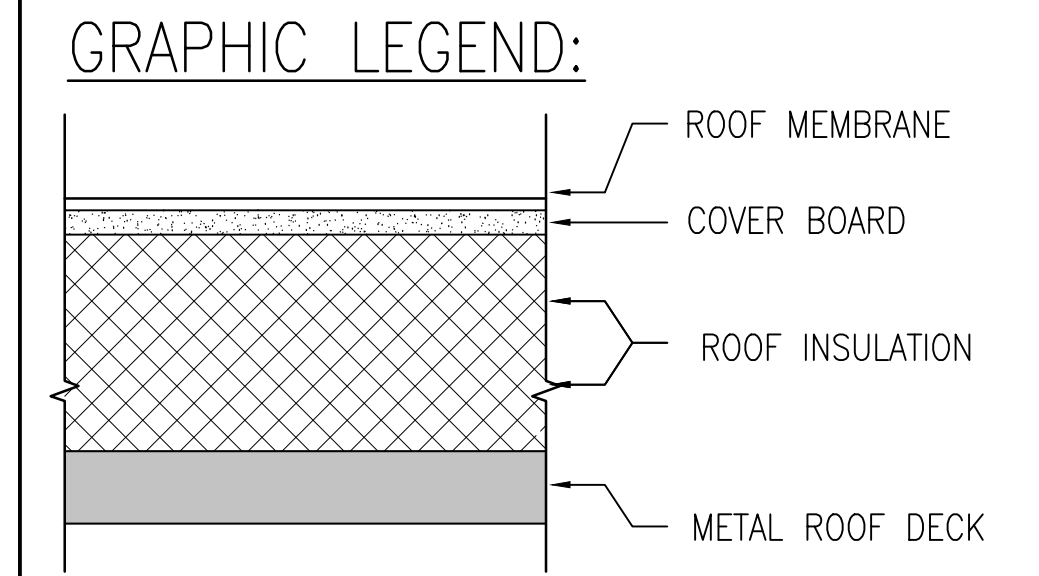
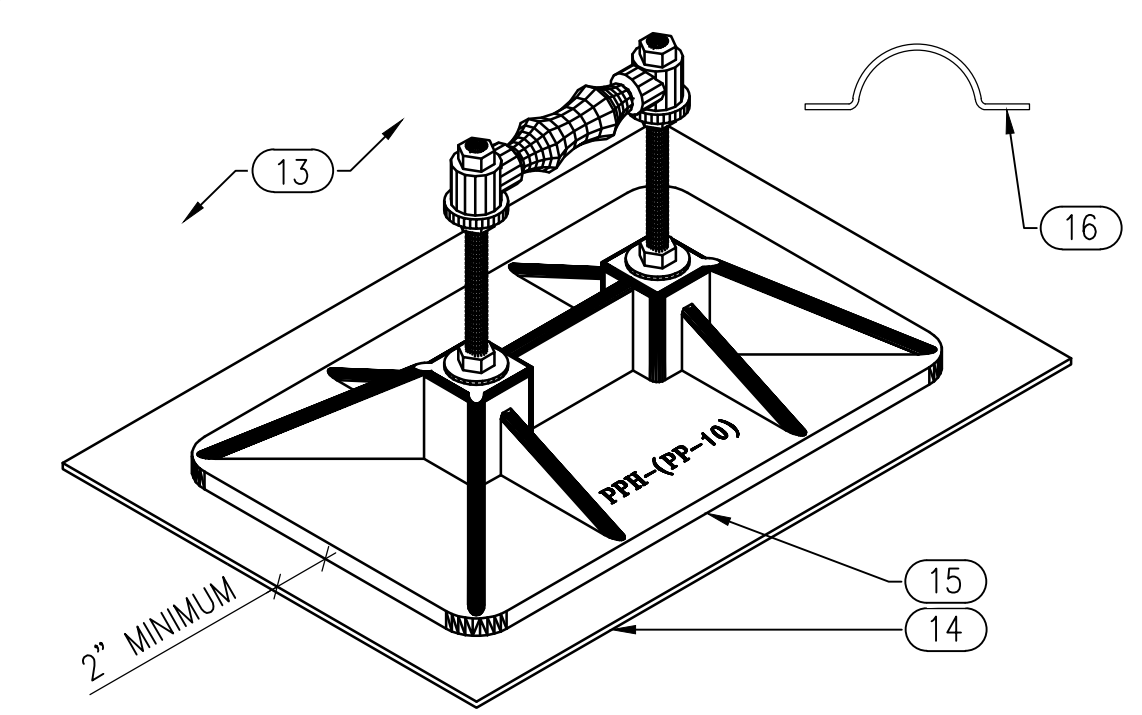
NOTES:
 1. SELVEDGE EDGE SHALL BE REMOVED WHERE AN ADJACENT SHEET DOES NOT LAP ONTO THE WALKWAY.



2 WALKWAY MEMBRANE DETAIL
 A-142 | A-504
 SCALE: 3" = 1'-0"

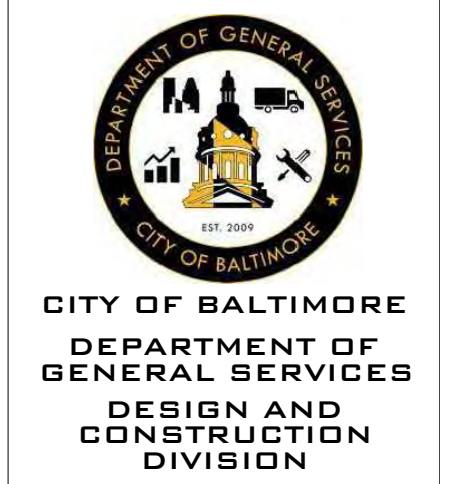
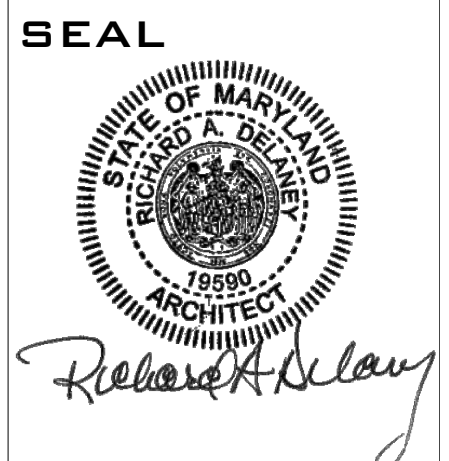
NOTES:
 1. METAL COMPONENTS SHALL BE HOT-DIPPED GALVANIZED
 2. PIPE SUPPORT SPACING TO BE 8' O.C. MAXIMUM. ADDITIONAL PIPE SUPPORTS SHALL BE PROVIDED AT ELBOWS, TEES AND OTHER CONNECTIONS IN ORDER TO MINIMIZE STRESS ON THE CONNECTION. SUPPORT SPACING SHALL BE ADJUSTED AS NECESSARY BASED ON PIPE SIZE TO LIMIT THE PRESSURE EXERTED ON THE ROOF TO 2.0 PSI. CONTRACTOR TO PROVIDE DESIGN BASED ON PIPE SIZES AND USE.
 3. THE THREADED RODS SHALL NOT EXTEND MORE THAN 1/2" ABOVE ROLLER ASSEMBLY

3 PIPE SUPPORT DETAIL
 A-501 | A-501
 SCALE: NOT TO SCALE



- KEYNOTES:**
- 1 FLAT STOCK INSULATION 4.5" IN DEPTH, WIDTH OF ROOF DRAIN SUMP BELOW SADDLES
 - 2 FLAT STOCK INSULATION 4.5" IN DEPTH, OVER STRUCTURALLY SLOPED ROOF DECK.
 - 4 1/2" PER FOOT TAPERED INSULATION CRICKET
 - 5 1/2" PER FOOT 8'X8' TAPERED INSULATION SUMP
 - 6 CENTERLINE OF ROOF DRAIN
 - 7 HOT-AIR WELD PERIMETERS
 - 8 WALKWAY MEMBRANE FULLY ADHERED TO SUBSTRATE
 - 13 ROOF SURFACE
 - 14 PROTECTION MAT (WALKWAY PAD) FULLY ADHERED WITH PERIMETER EDGES WELDED
 - 15 ADJUSTABLE HEIGHT PIPE SUPPORT FOR PIPES UP TO 4" IN DIAMETER
 - 16 HALF RISER RESTRAINT SHALL BE USED TO SECURE SERVICE LINE TO THE PIPE SUPPORT

CONSULTANTS
PRIMEAE
 5521 Research Park Drive |
 Suite 300 | Baltimore,
 Maryland 21228
 p (410) 654-3790
 www.primeeng.com

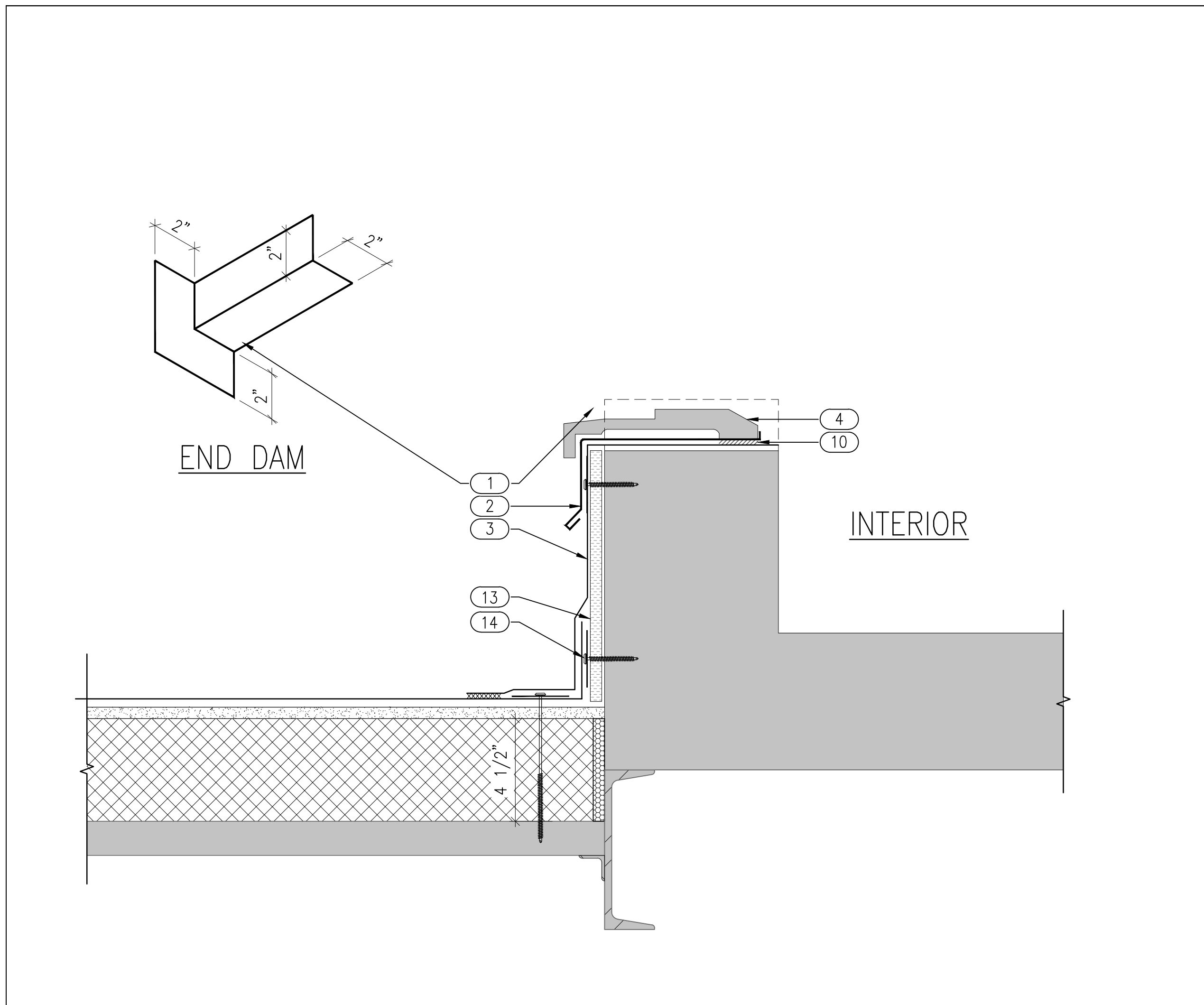


REVISIONS

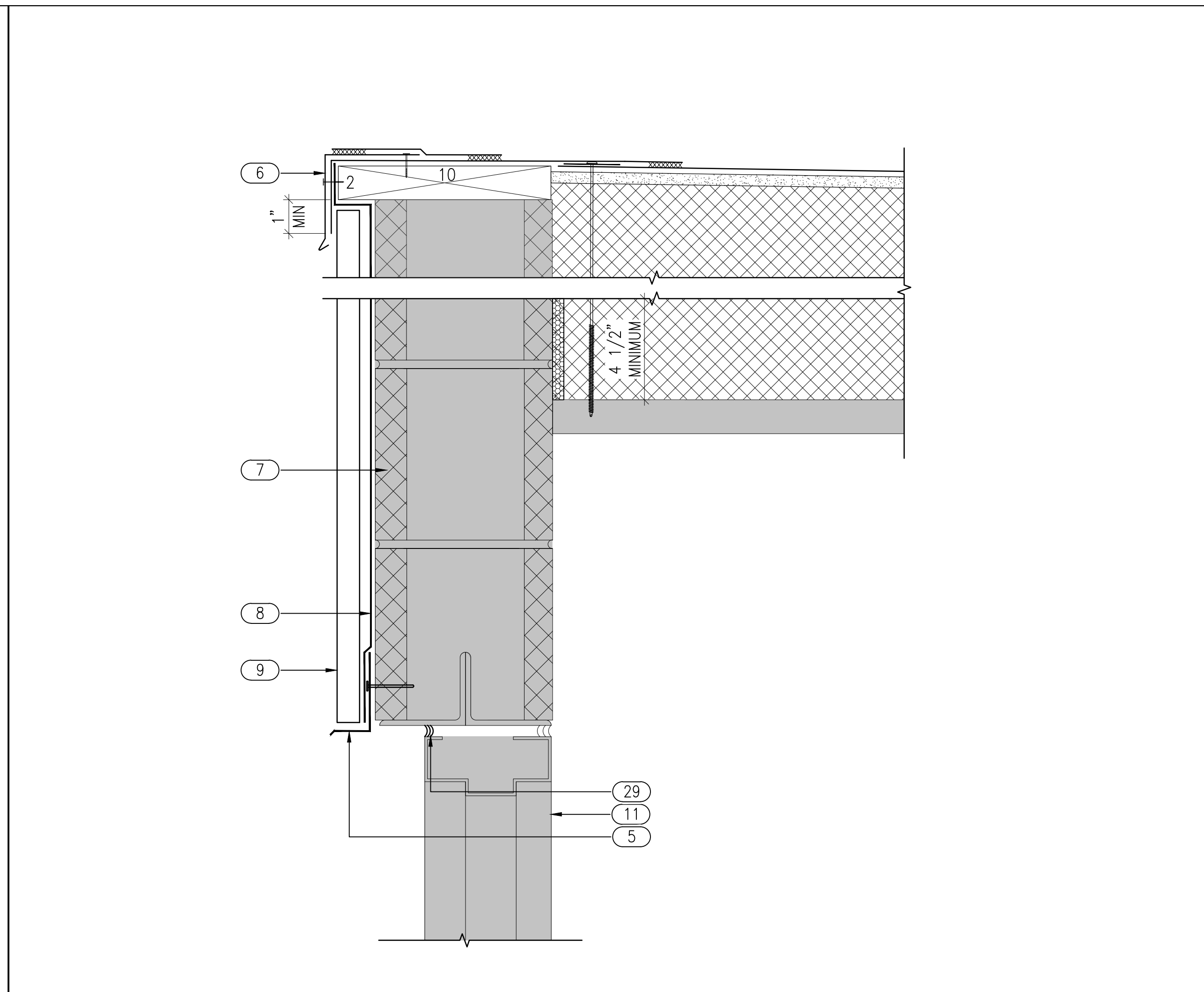
NO.	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
 COMMUNITY CENTER ROOF
 REPLACEMENT / WALL REPAIR
 / ENTRY**
 3939 REISTERSTOWN RD. BALTIMORE, MD 21215
 CONTRACT NO. 65 21822

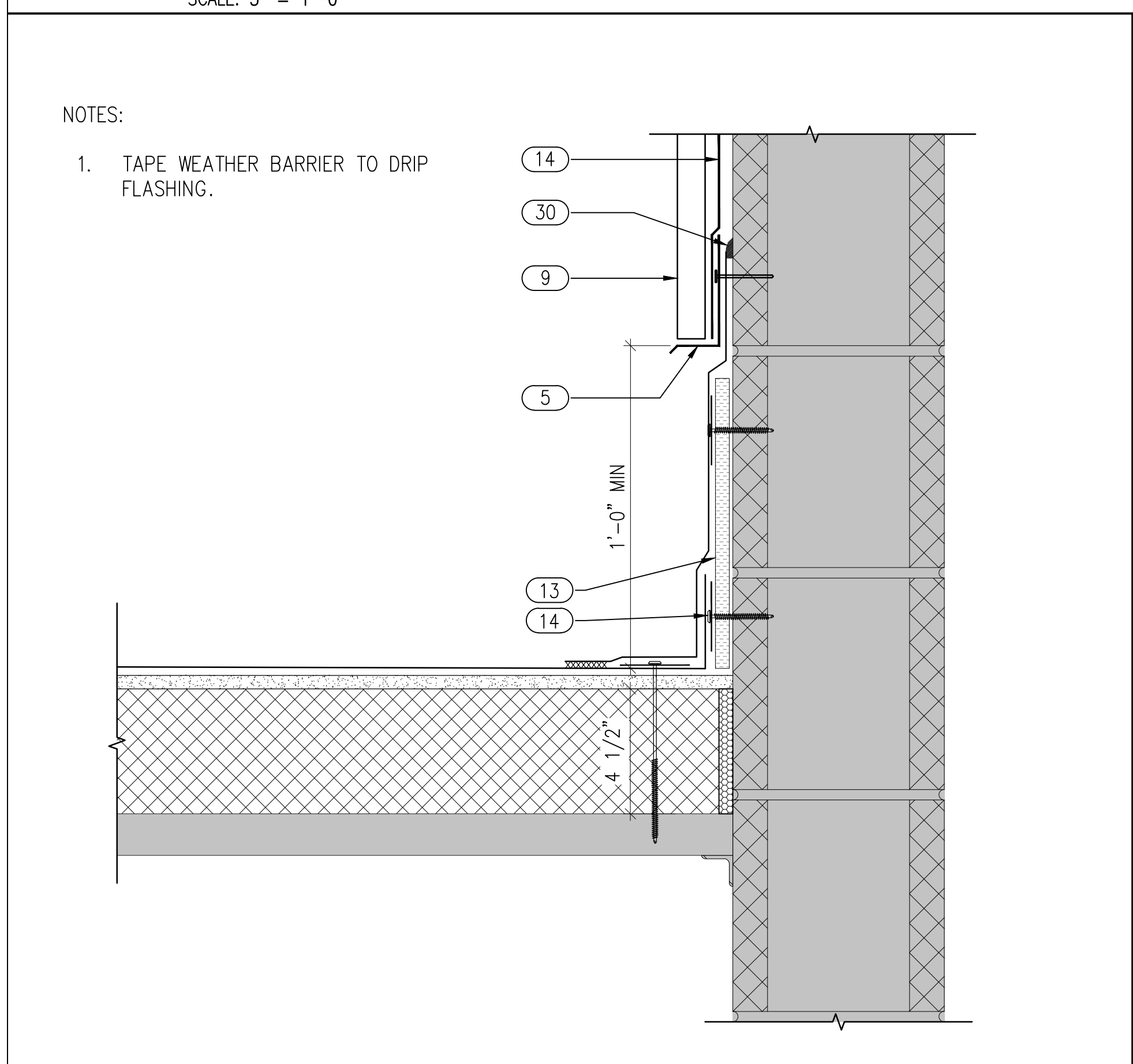
SHEET NAME
**TYPICAL
 DETAILS**
 8/03/2022
**SHEET
 A-504**



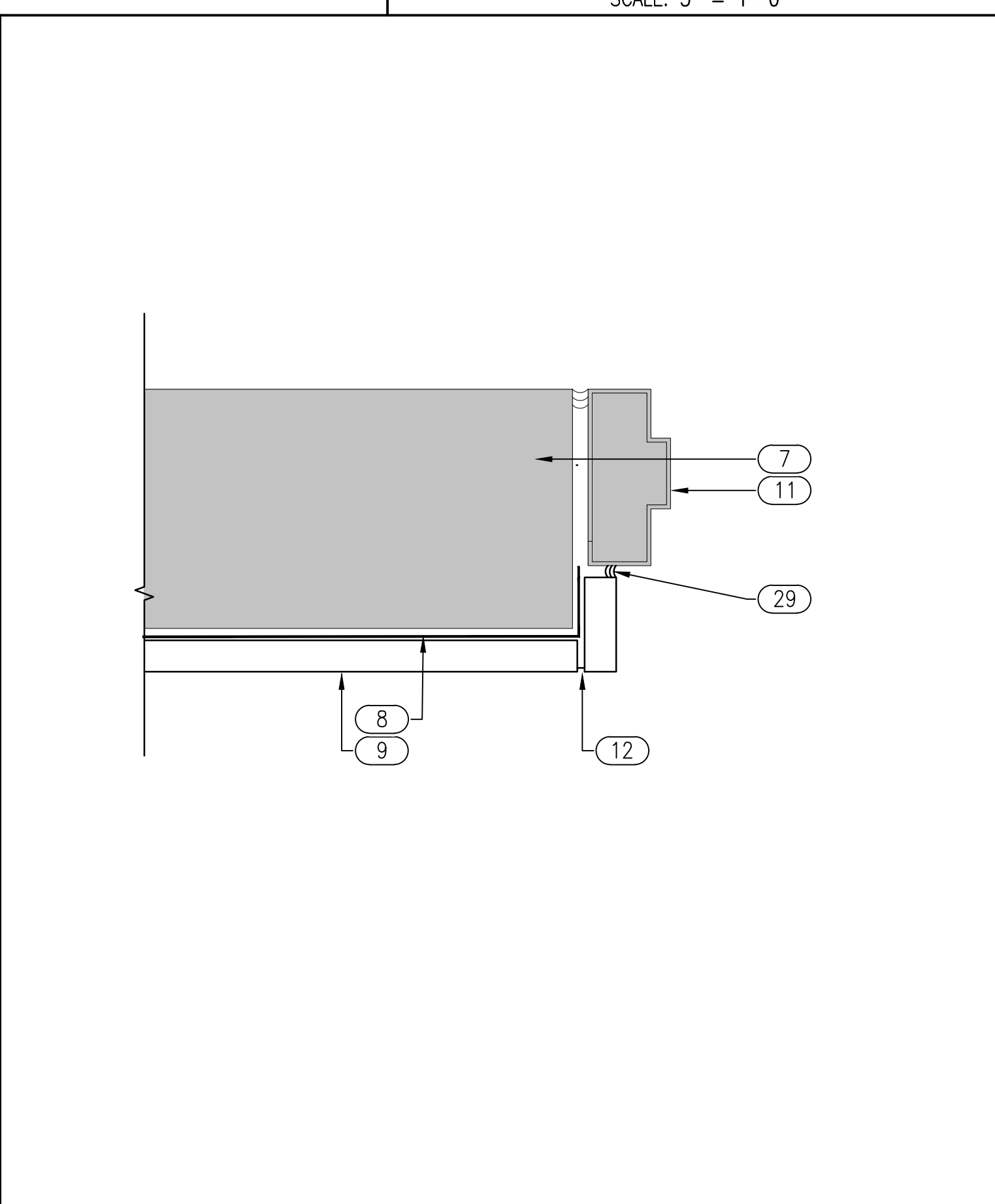
1 STAIR TOWER ROOF DOOR SILL DETAIL
A-141 A-505
SCALE: 3" = 1'-0"



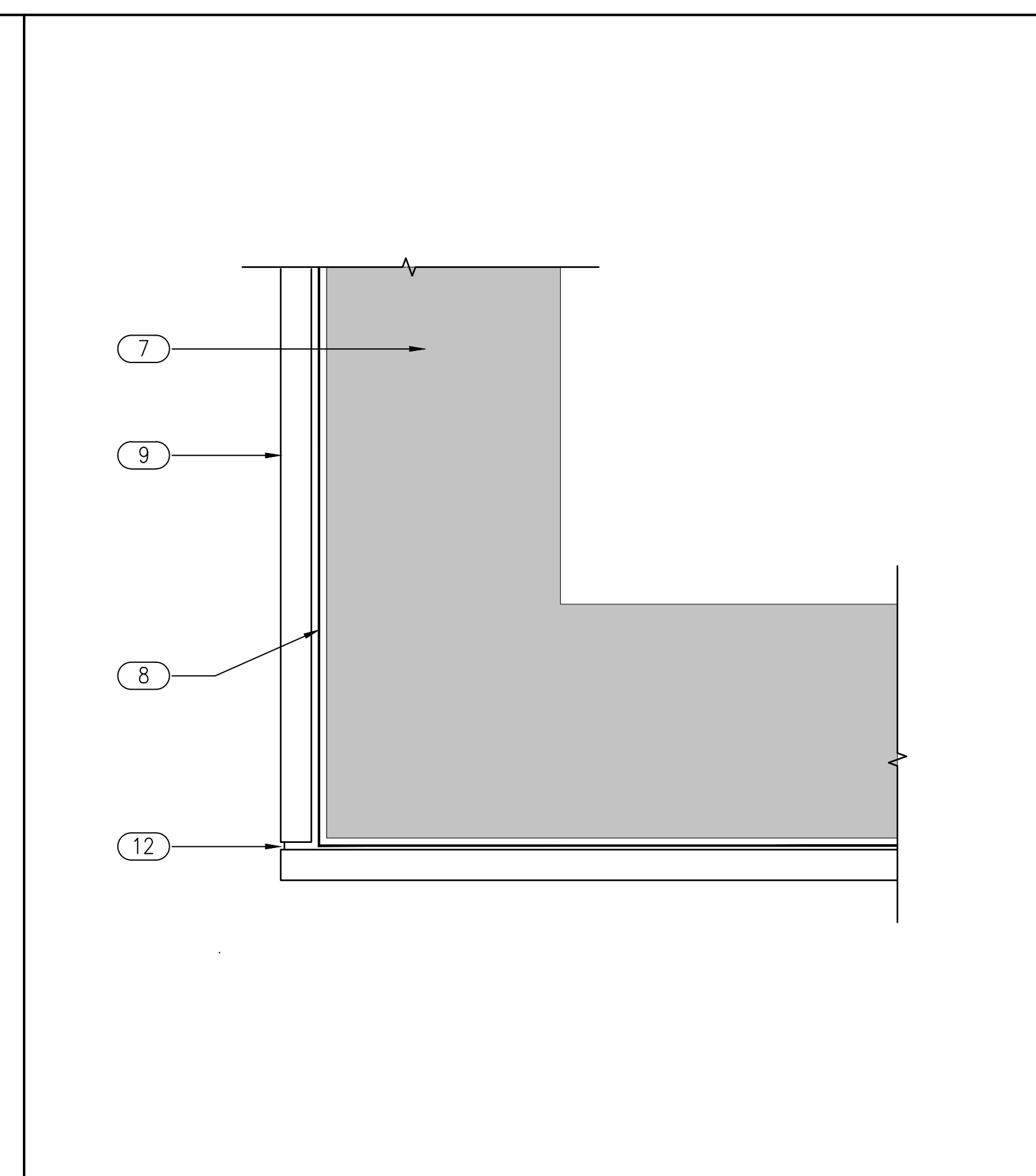
2 STAIR TOWER ROOF DOOR HEAD DETAIL
A-141 A-505
SCALE: 3" = 1'-0"



3 STAIR TOWER ROOF NEW EIFS WALL FLASHING DETAIL
A-141 A-505
SCALE: 3" = 1'-0"

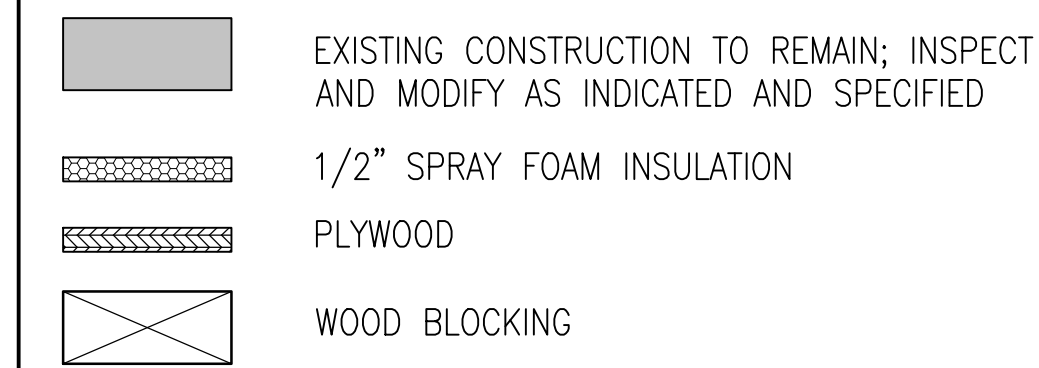
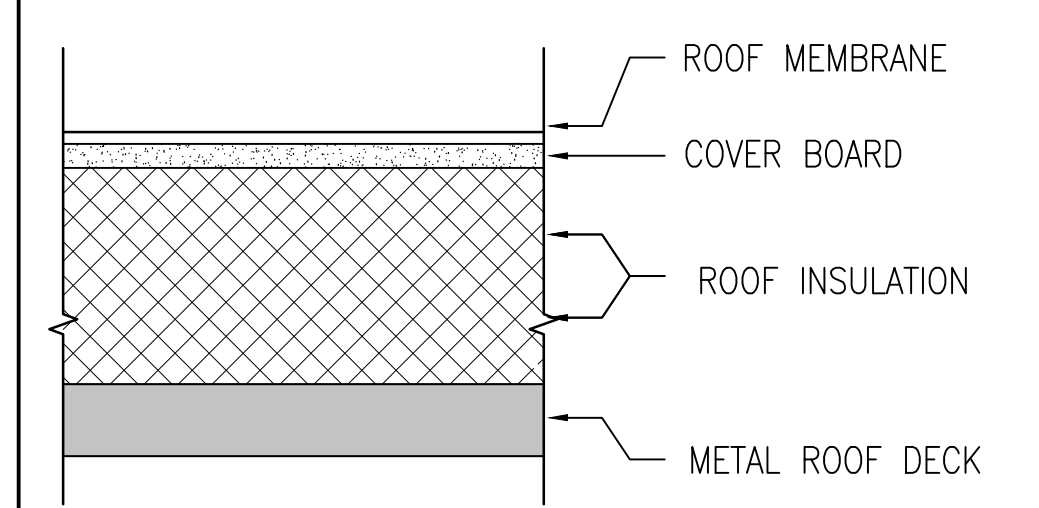


4 STAIR TOWER ROOF DOOR JAMB DETAIL
A-141 A-505
SCALE: 3" = 1'-0"



5 WALL PANEL OUTSIDE CORNERS DETAIL
A-141 A-505
SCALE: 3" = 1'-0"

GRAPHIC LEGEND:



KEYNOTES:

- 1 INSTALL 24 GAUGE STAINLESS STEEL END DAMS SOLDERED WATERTIGHT.
- 2 22 GAUGE STAINLESS STEEL DOOR SILL FLASHING SOLDERED WATERTIGHT TO END DAM.
- 3 MEMBRANE FLASHING, WRAP UP OVER WALL.
- 4 REMOVE THRESHOLD TO ALLOW FOR NEW FLASHING INSTALLATION. REINSTALL WITH NEW MASONRY FASTENERS AND BED IN SEALANT.
- 5 24 GAUGE PRE-FINISHED GALVALUME DRIP FLASHING. PROVIDE END DAMS.
- 6 PVC COATED DRIP EDGE.
- 7 EXISTING CMU WALL.
- 8 WEATHER BARRIER.
- 9 1" EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
- 10 SEALANT BETWEEN DOOR THRESHOLD AND NEW SILL FLASHING.
- 11 EXISTING DOOR AND FRAME TO REMAIN.
- 12 PROVIDE DRIP SCREED AND REVEAL AT OUTSIDE CORNER.
- 13 1/2" STRUCTURAL CEMENT BOARDS.
- 14 FASTENERS AND PLATES TO SECURE CEMENT BOARD TO EXISTING WALL. MINIMUM OF 1 FASTENER PER 2 SQUARE FEET.
- 29 DEMOLISH EXISTING DOOR PERIMETER SEALANT JOINT AND INSTALL NEW SEALANT JOINT.
- 30 SEALANT.

CONSULTANTS
PRIMEAL
5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
p (410) 654-3790
www.primeeng.com

SEAL
STATE OF MARYLAND
JAMES A. DEAN
ARCHITECT
1950
Reliance & Slattery

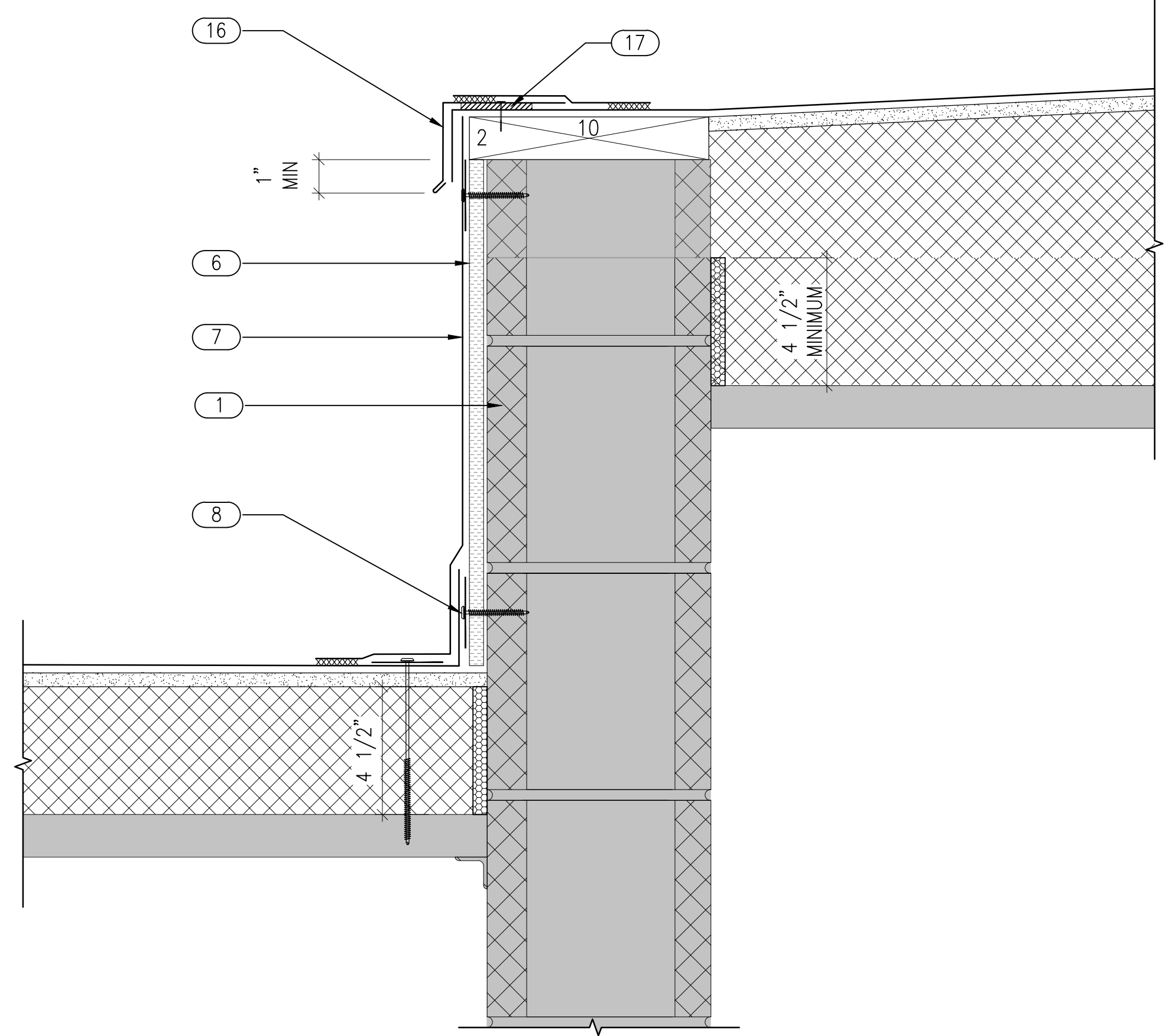
CITY OF BALTIMORE
DEPARTMENT OF GENERAL SERVICES
DESIGN AND CONSTRUCTION DIVISION

REVISIONS

NO.	DATE	DESCRIPTION

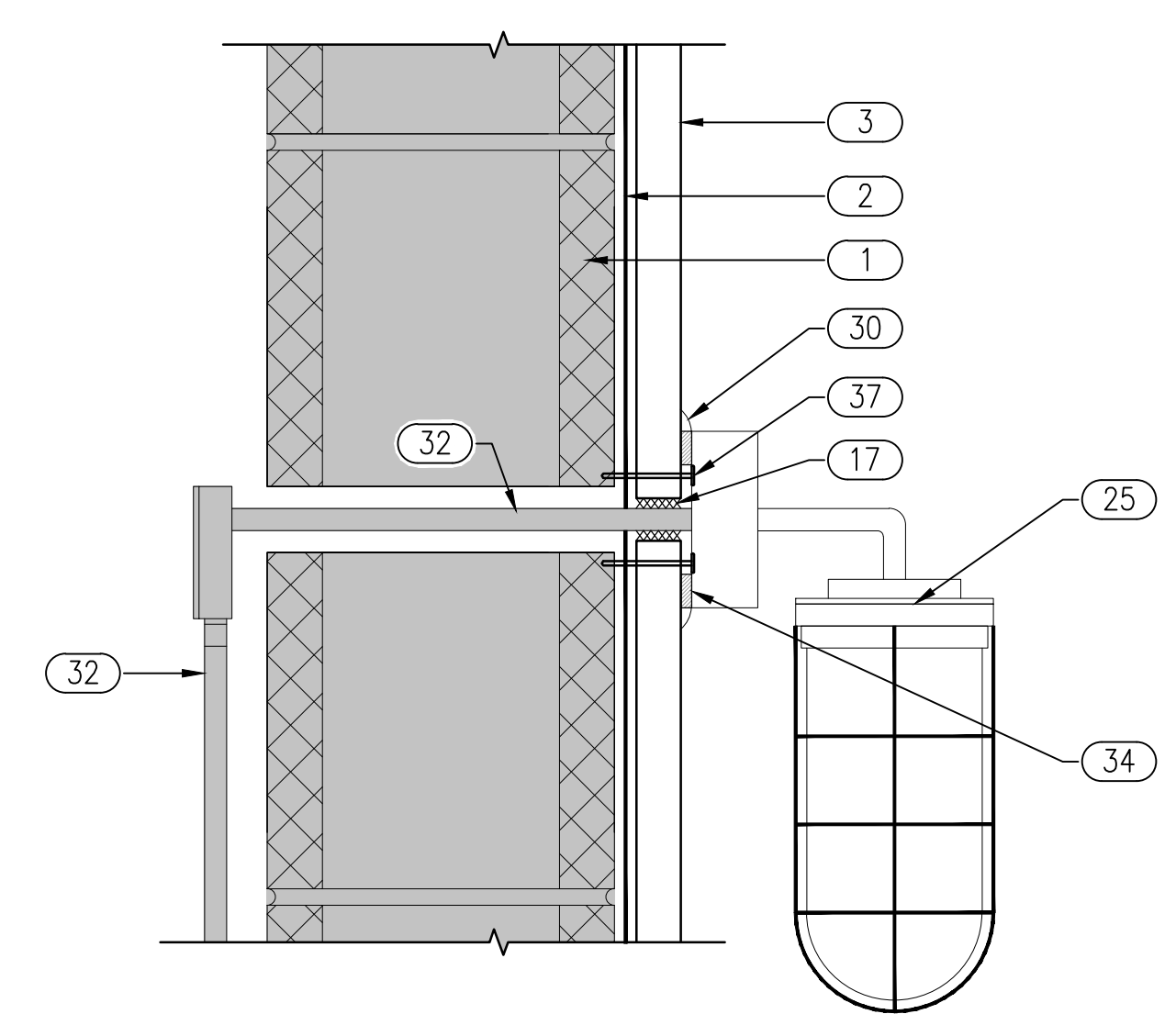
LOWER PARK HEIGHTS
COMMUNITY CENTER ROOF
REPLACEMENT / WALL REPAIR
/ ENTRY
3939 REISTERSTOWN RD. BALTIMORE, MD 21215
CONTRACT NO. 65 21622

SHEET NAME
**TYPICAL
DETAILS**
8/03/2022
**SHEET
A-505**
27 OF 30

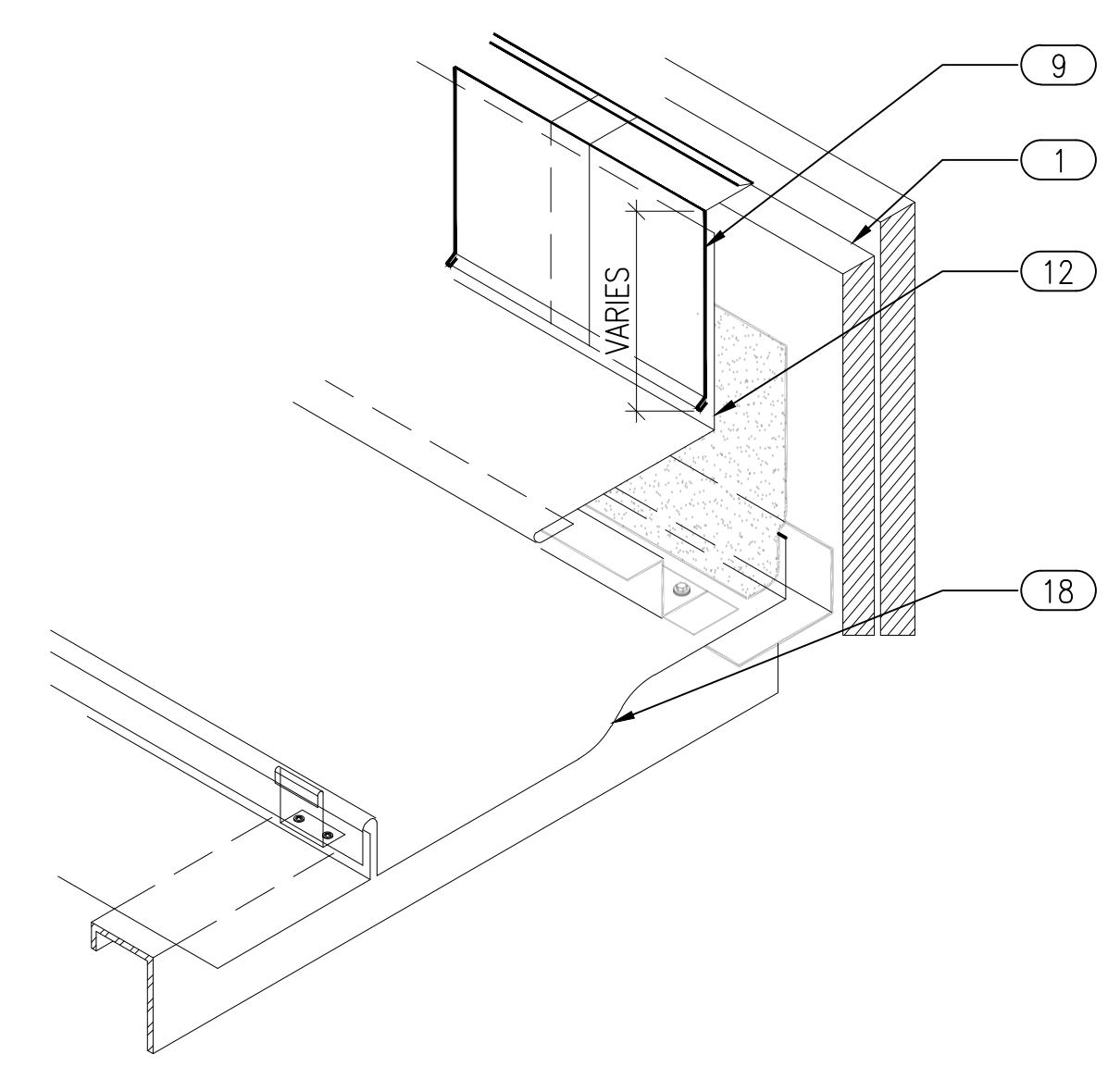


1 STAIR TOWER EDGE DETAIL
 A-141 A-506
 SCALE: 3" = 1'-0"

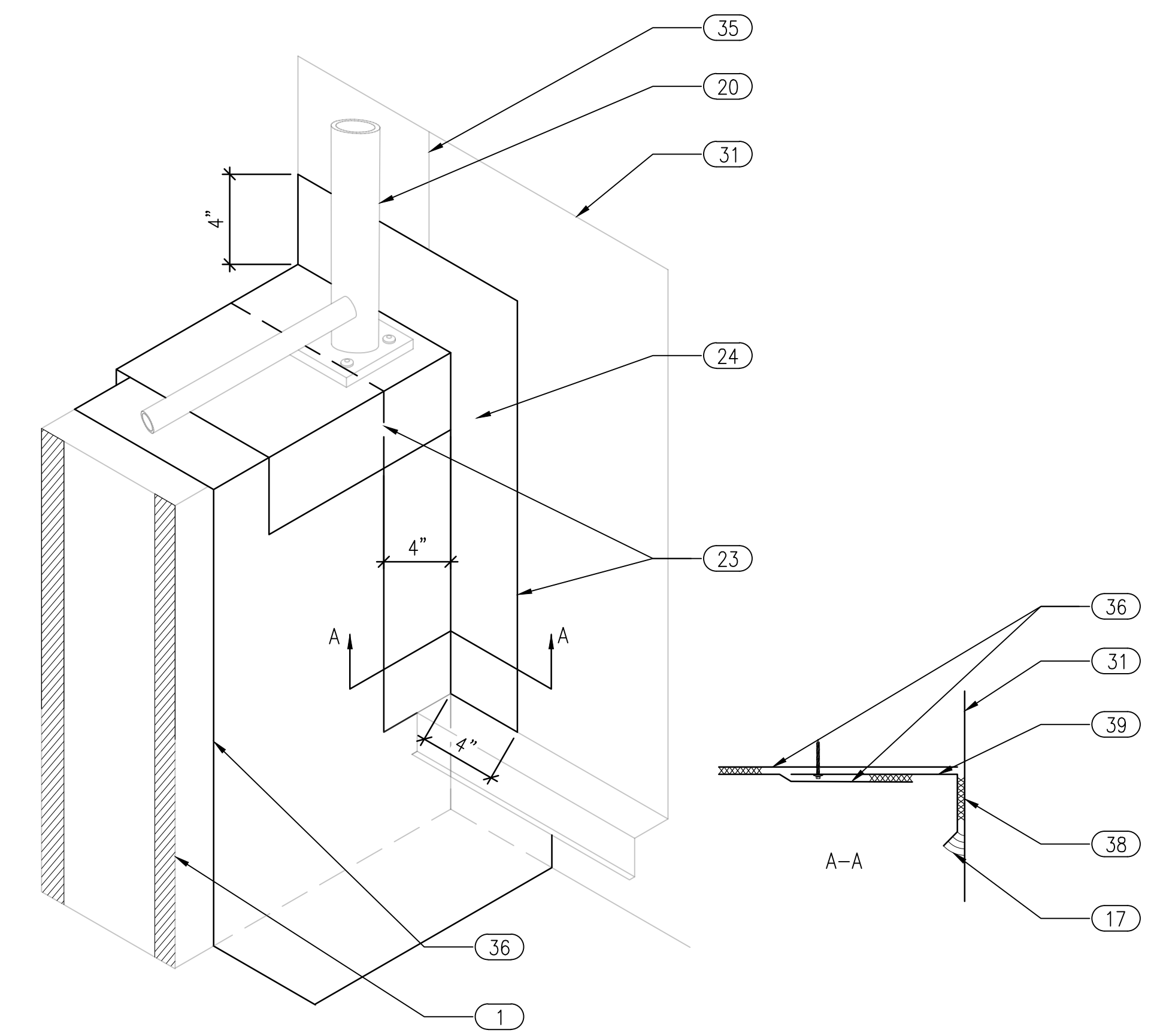
NOTES:
 1. TAPE WEATHER BARRIER TO ALL PENETRATIONS.



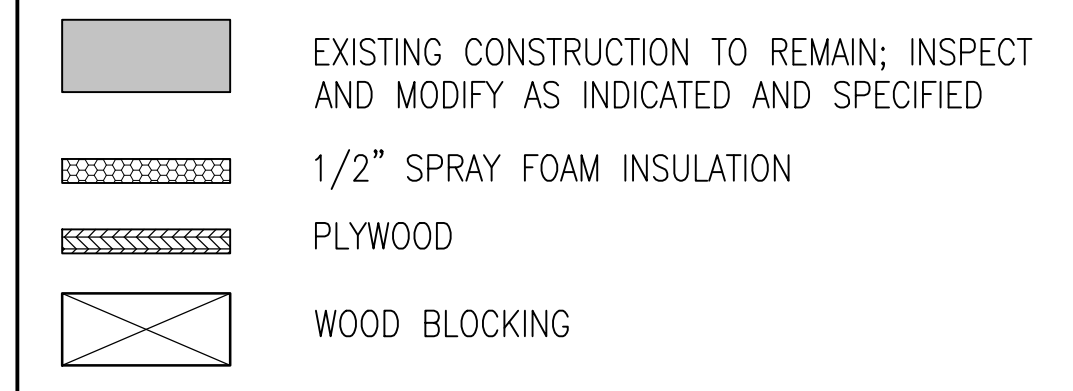
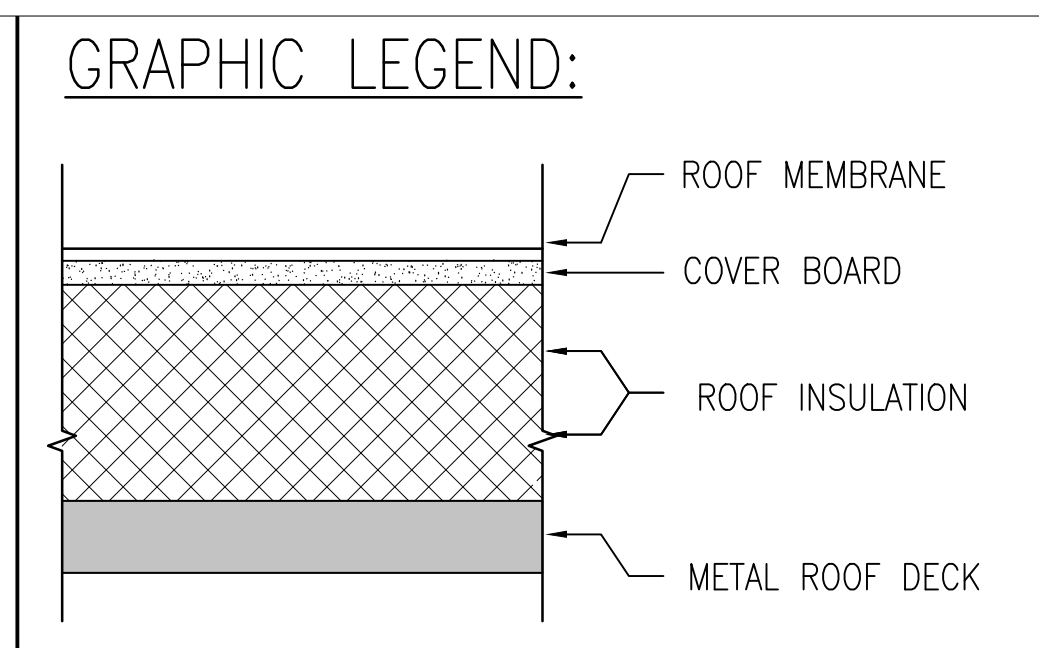
2 STAIR TOWER LIGHT DETAIL
 A-141 A-506
 SCALE: 3" = 1'-0"



3 STEP FLASHING DETAIL
 A-141 A-506
 SCALE: NOT TO SCALE

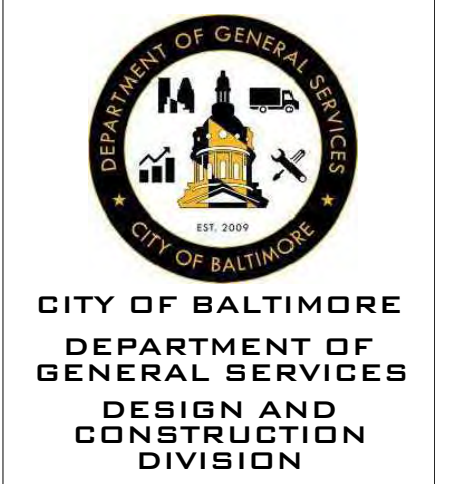
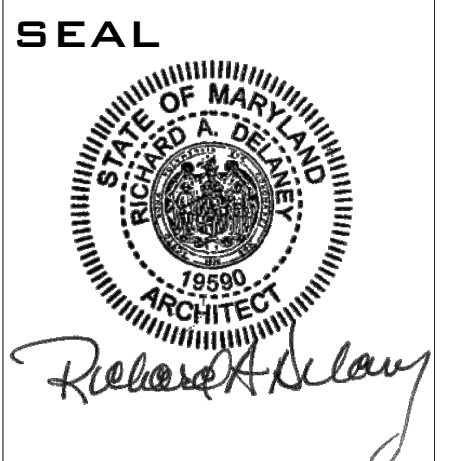


4 PARAPET TERMINATION AT TRANSLUCENT WALL PANEL DETAIL
 A-141 A-506
 SCALE: NOT TO SCALE



- KEYNOTES:
- 1 EXISTING CMU WALL.
 - 2 WEATHER BARRIER.
 - 3 1" EXTERIOR INSULATION AND FINISH SYSTEM (EIFS).
 - 5 NOT USED.
 - 6 1/2" STRUCTURAL CEMENT BOARD.
 - 7 MEMBRANE FLASHING, EXTEND UP FACE OF WALL.
 - 8 FASTENERS AND PLATES TO SECURE CEMENT BOARD TO EXISTING WALL. MINIMUM OF 1 FASTENER PER 2 SQUARE FEET.
 - 9 .032" MILL FINISH ALUMINUM STEP FLASHING W/ 1" DEEP RECEIVER W/ 1/4" WEDGE SET IN SEALANT. MATCH EXISTING PROFILE.
 - 12 EXISTING ROOF TO WALL FLASHING, TO REMAIN.
 - 16 PVC COATED ROOF EDGE FLASHING SET IN BED OF SEALANT. FASTENED 3" O.C. STAGGERED.
 - 17 SEALANT.
 - 18 EXISTING STANDING SEAM ROOF PANEL.
 - 20 EXISTING PLATE/CHAIN LINK FENCE.
 - 23 PVC COATED 24 GA GALVANIZED STEEL. TURN UP PARAPET WALL AND UNDER COPING. TAPE SEAL TO WALL PANEL.
 - 24 HEAT WELD PVC TO METAL.
 - 25 DEMOLISH EXISTING LIGHT FIXTURE AND REPLACE WITH NEW FIXTURE (TO BE CHOSEN BY OWNER) AND WATERPROOF WALL-MOUNTED JUNCTION BOX.
 - 30 SEALANT BETWEEN JUNCTION BOX AND EIFS. LEAVE 1/2" GAP AT BOTTOM TO ALLOW INCIDENTAL WATER DRAINAGE.
 - 31 EXISTING TRANSLUCENT WALL PANEL.
 - 32 SERVICE FEED FOR LIGHT.
 - 34 INSTALL NEW GASKETS BETWEEN JUNCTION BOX AND EIFS.
 - 35 EXISTING VERTICAL BATTEN.
 - 36 PVC MEMBRANE.
 - 37 TAP CON TO EXISTING MASONRY.
 - 38 BUTYL SEALANT.
 - 39 PVC COATED METAL FASTENED 8" O.C., BED IN SEALANT.

CONSULTANTS
PRIMEAL
 5521 Research Park Drive | Suite 300 | Baltimore, Maryland 21228
 p (410) 654-3790
 www.primeeng.com



REVISIONS		
NO.	DATE	DESCRIPTION

LOWER PARK HEIGHTS COMMUNITY CENTER ROOF REPLACEMENT / WALL REPAIR / ENTRY
 3939 REISTERSTOWN RD. BALTIMORE, MD 21215
 CONTRACT NO. 65 21822

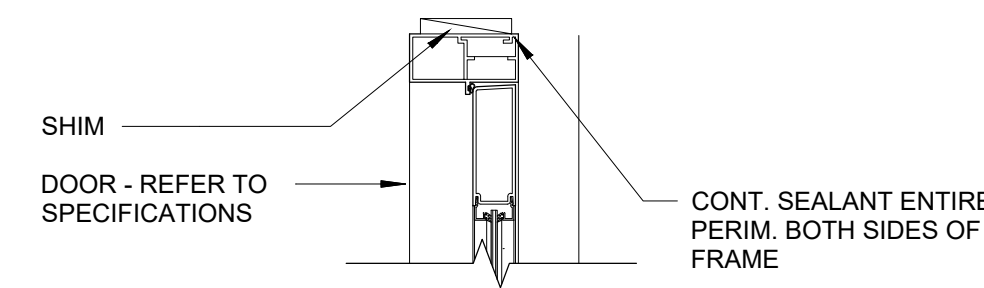
SHEET NAME
TYPICAL DETAILS
 8/03/2022
SHEET A-506
 28 OF 30

SEAL

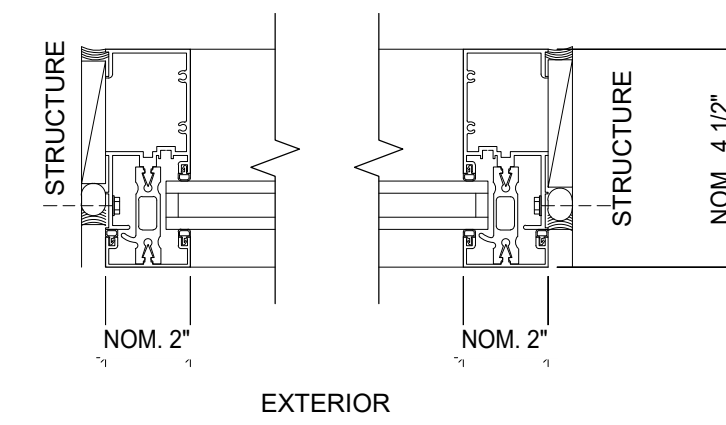


GENERAL NOTES

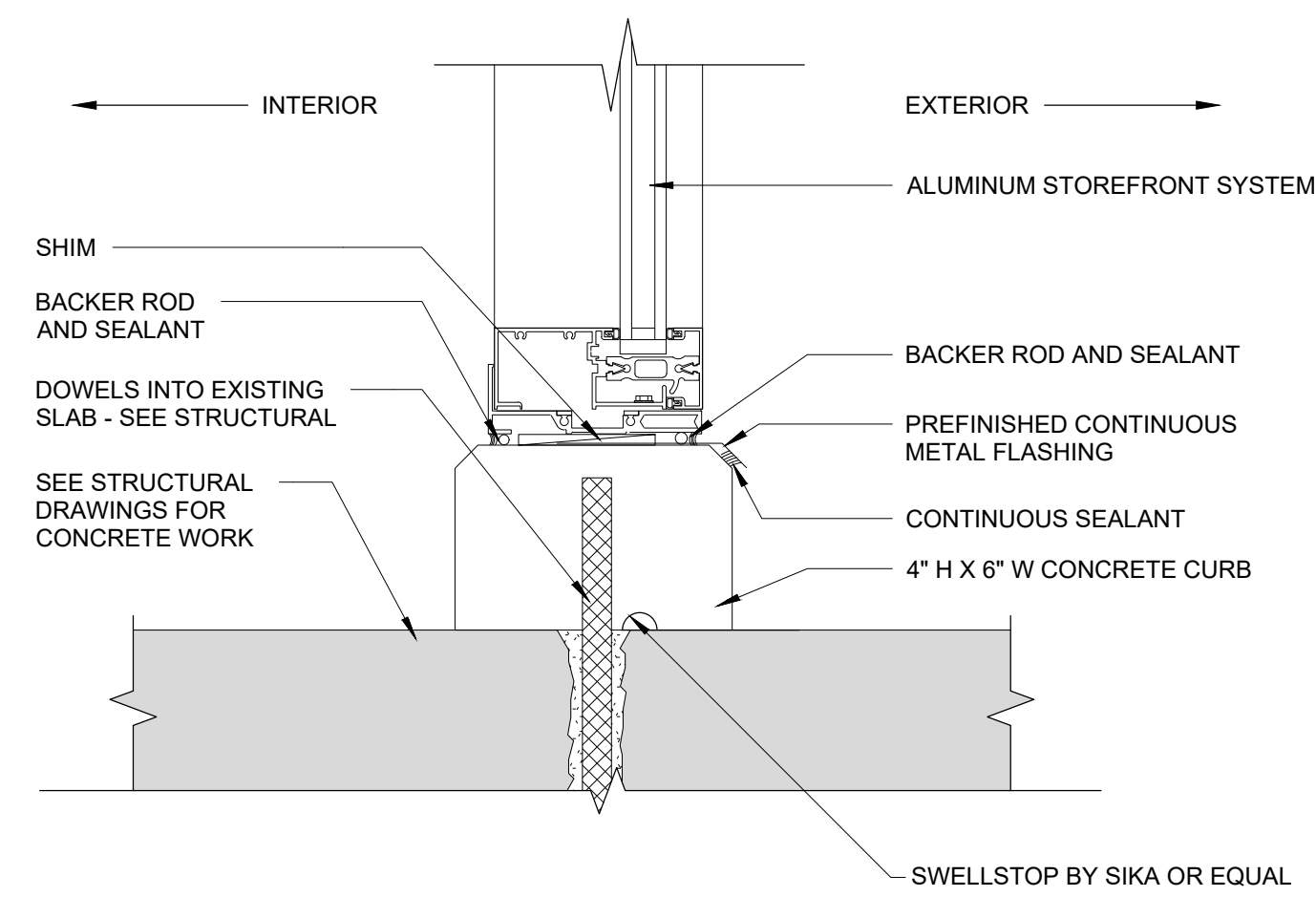
1. NEW STOREFRONT SYSTEM FINISH TO MATCH EXISTING.
2. ALL DOOR HARDWARE (REFER TO SPECIFICATIONS) TO COMPLY WITH ADA ACCESSIBILITY REQUIREMENTS AND CITY OF BALTIMORE REQUIREMENTS.
3. GLAZING AT NEW STOREFRONT ENTRANCE TO BE TEMPERED INSULATED.
4. VESTIBULE LID SYSTEM MEMBERS TO BE SIZED BY STOREFRONT SYSTEM MANUFACTURER TO MEET SPAN AND LOADING REQUIREMENTS.
5. GLAZING AT VESTIBULE LID TO BE TEMPERED INSULATED.



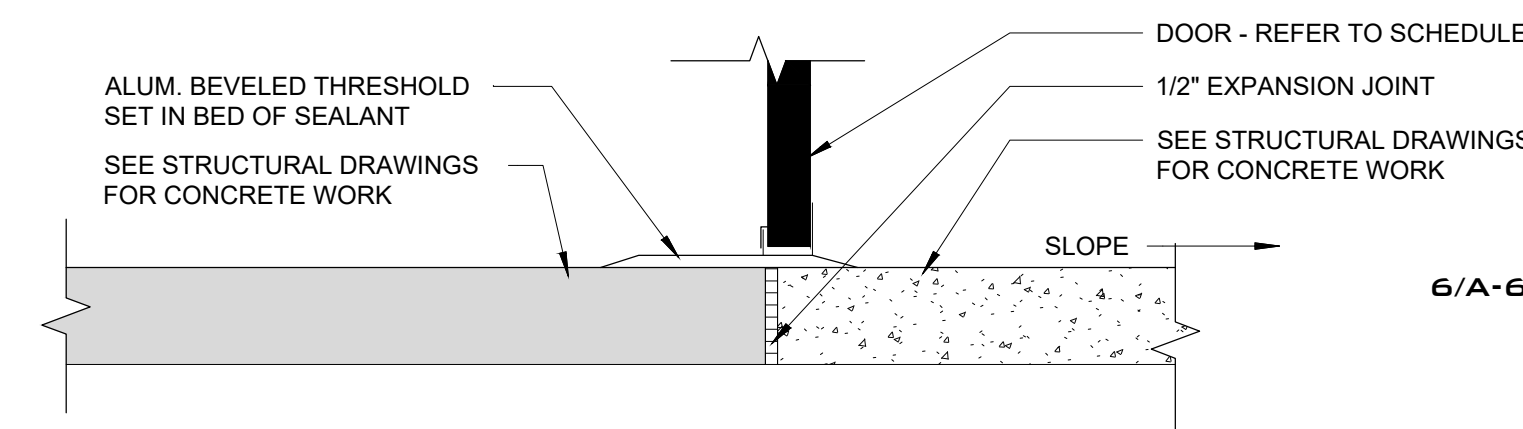
7 DOOR HEAD ALUM. SF
SCALE: 1 1/2" = 1'-0"
A-601



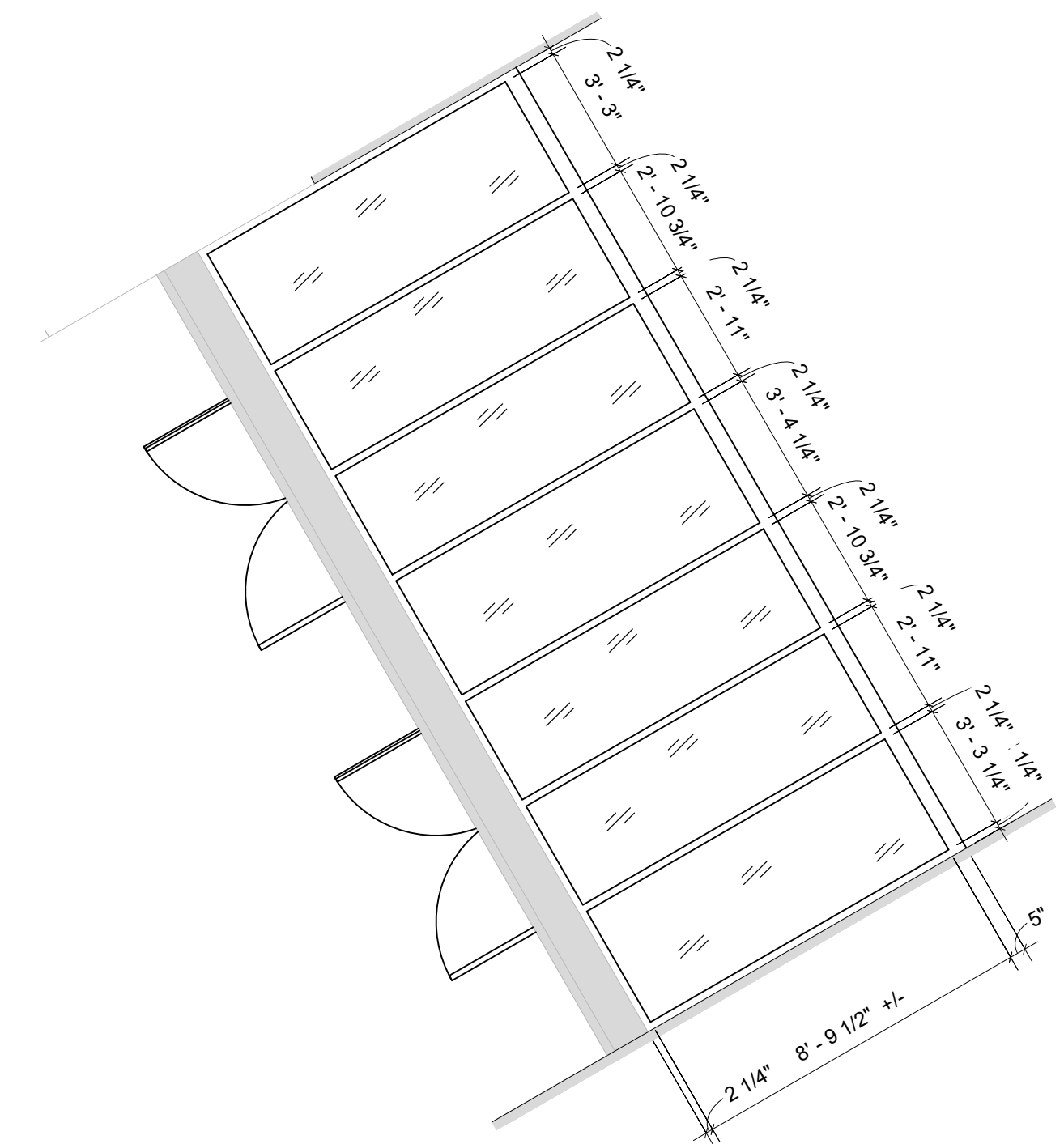
6 Storefront - Jamb
SCALE: 3" = 1'-0"
A-601



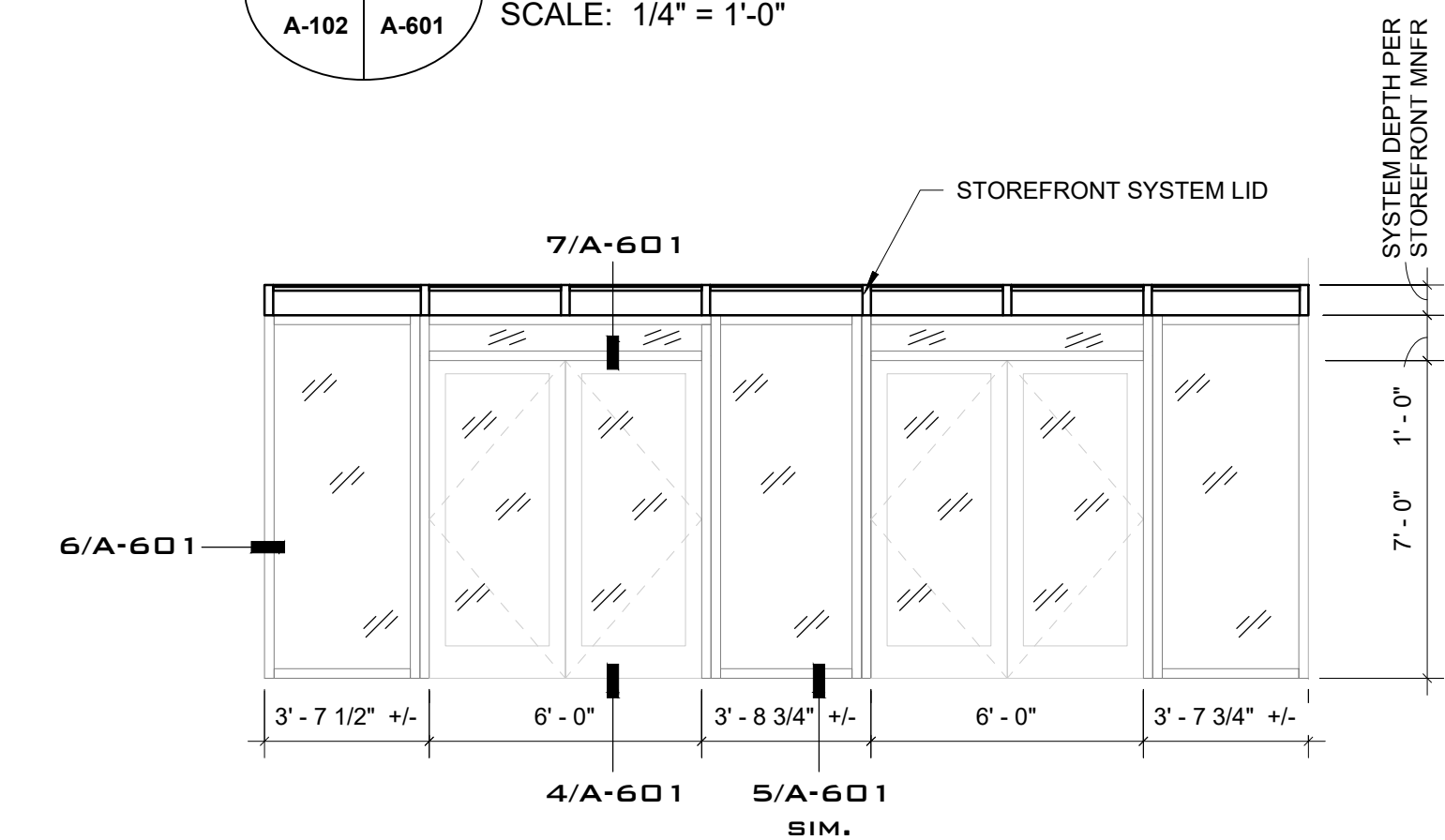
5 STOREFRONT SILL DETAIL
SCALE: 3" = 1'-0"
A-601



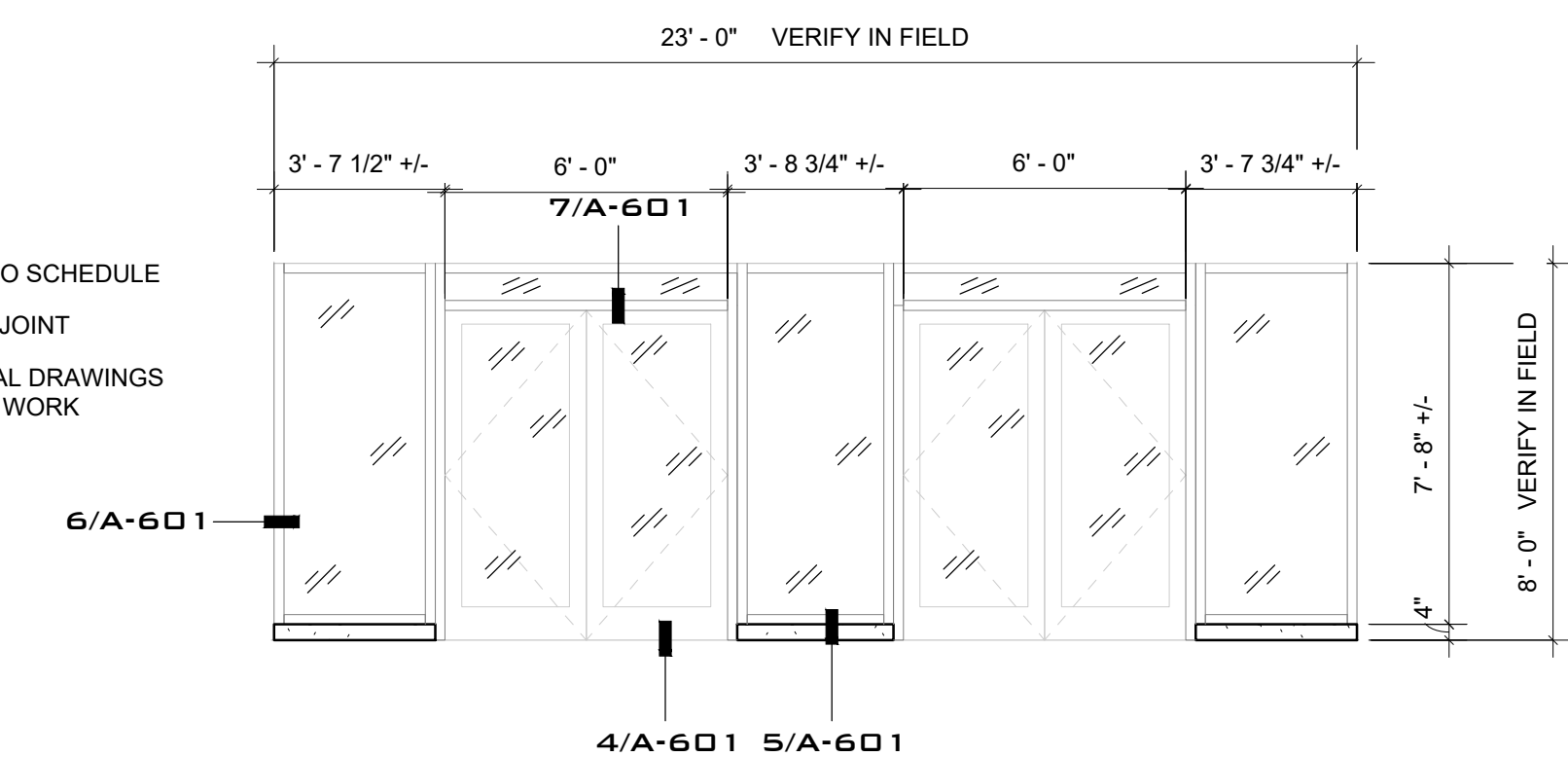
4 EXTERIOR THRESHOLD DETAIL
SCALE: 1 1/2" = 1'-0"
A-601



3 VESTIBULE LID PLAN
SCALE: 1/4" = 1'-0"
A-102 A-601



2 NEW VESTIBULE ELEVATION
SCALE: 1/4" = 1'-0"
A-101 A-601



1 NEW STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"
A-101 A-601
GRAPHIC SCALE
0 2 4 8

REVISIONS

...	DATE	DESCRIPTION

**LOWER PARK HEIGHTS
COMMUNITY CENTER / WALL REPAIR
REPLACEMENT / ENTRY**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

SHEET NAME

**DOOR
DETAILS**

8/03/2022

**SHEET
A-601**

GENERAL NOTES

FOUNDATION AND SLAB ON GRADE:

NOTE: 1
ALL FILL UNDER SLABS-ON-GRADE SHALL BE COARSE GRANULAR MATERIAL COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM WATER CONTENT. SLABS-ON-GRADE SHALL BE POURED IN ACCORDANCE WITH ACI 302.1R "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION" (LATEST LOCAL APPROVED EDITION). SAW CUT CONTROL JOINTS SUCH THAT TOTAL AREA BOUNDED BY SAW CUTS AND FORMED EDGES DOES NOT EXCEED 400 SQ.FT. AND LONG SIDE TO SHORT SIDE DOES NOT EXCEED A 1.5:1 RATIO. PROVIDE #4 X3'-0" LONG BAR AT MID-DEPTH OF SLAB AT ALL RE-ENTRANT CORNERS AND COLUMN ISOLATION JOINT CORNERS THAT DO NOT HAVE A CONTROL/CONSTRUCTION JOINT TERMINATING.

CONCRETE:

NOTE: 1
ALL CONCRETE, EXCEPT AS NOTED, SHALL BE $f_c=3000$ PSI NORMAL WEIGHT CONCRETE AT 28 DAYS. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE $f_c=5000$ PSI NORMAL WEIGHT CONCRETE AND SHALL BE AIR ENTRAINED FOR EXPOSURE CLASS F2 PER ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (LATEST LOCAL APPROVED EDITION).

NOTE: 2
ALL REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM DESIGNATION A615 (LATEST LOCAL APPROVED EDITION), GRADE 60. ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI SP-66, "ACI DETAILING MANUAL" (LATEST LOCAL APPROVED EDITION).

NOTE: 3
ALL SPLICES IN REINFORCING SHALL BE CLASS "B" SPLICES IN ACCORDANCE WITH ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (LATEST LOCAL APPROVED EDITION) EXCEPT AS OTHERWISE NOTED.

NOTE: 4
WELDED WIRE FABRIC (W.W.F.) SHALL HAVE ENDS LAPPED ONE FULL MESH AND BE ADEQUATELY SUPPORTED BY CHAIRS OR BOLSTERS. WELDED WIRE FABRIC SHALL BE PLACED WITHIN THE UPPER THIRD OF THE SLABS ON GRADE AND 1/4" CLEAR FROM THE TOPS OF THE SLABS ON METAL DECK.

NOTE: 5
UNLESS OTHERWISE NOTED ON STRUCTURAL DRAWINGS, PROVIDE CONCRETE PROTECTION FOR REINFORCING AS FOLLOWS:
CAST AGAINST EARTH ---- 3"
EXPOSED TO EARTH OR WEATHER:
NO. 6 AND LARGER BARS ---- 2"
NO. 5 AND SMALLER BARS ---- 1 1/2"
NOT EXPOSED TO EARTH OR WEATHER:
SLABS AND WALLS ---- 3/4"
BEAMS AND COLUMNS ---- 1 1/2" TO TIES, STIRRUPS OR SPIRALS

NOTE: 6
THE CONTRACTOR MUST SUBMIT A CONCRETE DESIGN MIX IN ACCORDANCE WITH ACI 318 (LATEST LOCAL APPROVED EDITION). SUCH DESIGN MIX SHALL BE ACCOMPANIED BY THE APPROPRIATE GRAPHS AND BACKGROUND DATA. CONCRETE DESIGN MIX SHALL INDICATE 7 AND 28 DAY STRENGTHS, CEMENT CONTENT, WATER-CEMENT RATIO, FINE AND COARSE AGGREGATES AND ADMIXTURES FOR EACH DESIGN STRENGTH. THE ADDITION OF WATER AT THE PLANT OR IN THE FIELD GREATER THAN THE SPECIFIED WATER CONTENT IS STRICTLY PROHIBITED.

NOTE: 7
ALL CONCRETE WORK SHALL CONFORM TO THE LATEST LOCAL APPROVED EDITIONS OF THE FOLLOWING ACI AND ASTM DOCUMENTS:
●ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE
●ACI-318 CODE
●ACI-214 ---- COMPRESSIVE TEST
●ACI-306 ---- COLD WEATHER
●ACI SP-66 ---- DETAILING
●ACI-347 ---- FORMWORK
●ACI-305 ---- HOT WEATHER
●ACI-211 ---- PROPORTIONS OF CONCRETE
●ACI-304 ---- PLACING CONCRETE
●ATSM C-94 ---- READY-MIX CONCRETE

NOTE: 8
ALL FIELD AND LAB TESTING OF CONCRETE SHALL CONFORM TO THE LATEST LOCAL APPROVED EDITIONS OF ASTM:
●ASTM C-31 FIELD CYLINDER SPECIMENS
●ASTM C-143 SLUMP TEST
●ASTM C-231 AIR CONTENT (WHEN REQUIRED)
●ASTM C-39 LAB TESTING CYLINDERS
●ASTM C-172 SAMPLING FRESH CONCRETE
●ASTM C-42 HARDENED CORES (WHEN REQUIRED)
TEST RESULTS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION.

MASONRY:

NOTE: 1
CONCRETE MASONRY SHALL CONFORM TO THE LATEST EDITION OF ASTM SPECIFICATION C90. CONCRETE MASONRY SHALL BE SAMPLED AND TESTED BY THE MASONRY SUPPLIER ACCORDING TO ASTM C140. ALL CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO TMS 402/ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (LATEST LOCAL APPROVED EDITION) AND TMS 602/ACI 530.1/ASCE 6, "SPECIFICATION FOR MASONRY STRUCTURES" (LATEST LOCAL APPROVED EDITION).

NOTE: 2
UNLESS OTHERWISE NOTED, CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON THE NET AREA. ALL BRICK SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3350 PSI ON THE NET AREA.

NOTE: 3
ALL MORTAR SHALL CONFORM TO ASTM C270. MORTAR TO BE USED SHALL BE SAMPLED AND TESTED BY THE BRICK AND MASONRY SUPPLIERS ACCORDING TO ASTM C780 AND RESULTS SUBMITTED TO THE ENGINEER FOR APPROVAL. MORTAR SHALL BE PORTLAND CEMENT/LIME MORTAR TYPE "S" AS A MINIMUM.

NOTE: 4
MASONRY CONSTRUCTION SHALL BE INSPECTED PER TMS 402/ACI 530/ASCE 5, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (LATEST LOCAL APPROVED EDITION) FOR LEVEL B QUALITY ASSURANCE.

MASONRY CONTINUED:

NOTE: 5
TYPICAL INFILLING, REMOVAL AND REPAIR OF EXISTING MASONRY

INFILLING:
WHERE NEW MASONRY IS TO BE ADDED, THE MASONRY SHALL BE TOOTHED AND MORTARED (SEE GUIDELINES FOR "REPAIR"). THE NEW MASONRY SHALL BEAR ON NEW CONCRETE FOUNDATIONS OR ON THE EXISTING MASONRY. IN THE LATER CASE, THE EXISTING MASONRY SHALL BE REMOVED TO GOOD, SOLID MATERIAL. THE DRAWINGS INDICATE THE APPROXIMATE EXTENT OF THE REQUIRED MASONRY INFILL. THIS IS A GUIDE ONLY AND THE EXACT EXTENT SHALL BE DETERMINED BY THE CONTRACTOR BASED ON FIELD CONDITIONS. WHEN THE RESULTING MASONRY WOULD BE PART NEW AND PART EXISTING AND WOULD FORM A PIER OR OTHERWISE SMALL ELEMENT, REMOVE ALL THE EXISTING MASONRY AND MAKE A NEW PIER OR WALL.

REMOVING:
IN THOSE AREAS WHERE NEW OPENINGS MUST BE MADE THROUGH EXISTING MASONRY WALLS, THE EXISTING MASONRY SHALL BE CAREFULLY REMOVED AFTER THE WALL THAT REMAINS ABOVE THE PROPOSED OPENING HAS BEEN TEMPORARILY SUPPORTED OR AFTER THE LINTELS HAVE BEEN PUT IN PLACE. ANY REQUIRED CUTTING BEYOND THE MASONRY OPENINGS SHALL BE PATCHED WITH MASONRY AND MORTAR (SEE GUIDELINES FOR "REPAIR"). WHEN THE MASONRY THAT REMAINS AFTER REMOVAL WOULD RESULT IN A PIER OR OTHERWISE SMALL ELEMENT, THE EXISTING MASONRY SHALL BE REMOVED AND A NEW PIER OR WALL SHALL BE CONSTRUCTED. THE CONTRACTOR SHALL PROVIDE DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION SHOWING THE SUPPORT OF THE WALLS PRIOR TO AND DURING THE INSTALLATION OF LINTELS REQUIRED TO SUPPORT THE MASONRY ABOVE THE NEW OPENING.

REPAIR:
IN THOSE AREAS WHERE THE EXISTING MASONRY HAS DETERIORATED, SAGGED OR CRACKED, THE MASONRY SHALL BE REMOVED AND REPLACED. EXISTING BRICKS MAY BE RE-USED PROVIDED THAT THEY ARE IN GOOD CONDITION. THE NEW MORTAR USED TO REPLACE THE EXISTING MORTAR SHALL MATCH SOUND EXISTING MORTAR IN STIFFNESS AND CONSISTENCY. IF NEW BRICKS ARE REQUIRED, THEY ALSO SHALL MATCH EXISTING BRICKS IN GOOD CONDITION. THE NEW MASONRY SHALL BE TOOTHED INTO THE EXISTING WALL. THE ARCHITECT SHALL APPROVE ALL NEW MASONRY WORK.

POST-INSTALLED ANCHORS AND REINFORCING:

NOTE: 1
ALL ANCHORS SHALL BE THE FOLLOWING TYPES MANUFACTURED BY HILTI INC.:

- a. ADHESIVE ANCHORS IN CONCRETE: HILTI HIT-HY200 ANCHORING SYSTEM PER ICC ESR-3187 WITH HILTI HIT-Z THREADED ROD.
- b. ADHESIVE ANCHORS IN SOLID GROUTED MASONRY: HILTI HIT-HY270 MASONRY ADHESIVE SYSTEM PER ICC ESR-4143/ESR-4144 WITH HILTI HAS-E CONTINUOUSLY THREADED ROD.
- c. ADHESIVE ANCHORS IN HOLLOW AND MULTI-WYTHE MASONRY: HILTI HIT-HY270 MASONRY ADHESIVE SYSTEM PER ICC ESR-4143/ESR-4144 WITH HILTI HAS-E CONTINUOUSLY THREADED ROD AND APPROPRIATE SIZE SCREEN TUBE.
- d. MECHANICAL ANCHORS IN CONCRETE: HILTI KWIK BOLT TZ2 EXPANSION ANCHOR PER ICC ESR-4266
- e. MECHANICAL ANCHORS IN SOLID GROUTED MASONRY: HILTI KWIK BOLT TZ2 EXPANSION ANCHOR PER ICC ESR-4561

ALTERNATE MANUFACTURERS OR ANCHORS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO USE. THE CONTRACTOR SHALL PROVIDE SIGNED AND SEALED CALCULATIONS DEMONSTRATING THAT THE PROPOSED SUBSTITUTIONS, BASED ON THEIR SPECIFIC ICC-ES EVALUATION REPORTS, ARE CAPABLE OF ACHIEVING THE PERFORMANCE VALUES EQUAL TO OR GREATER THAN THOSE OF THE ANCHORS SPECIFIED.

NOTE: 2
MECHANICAL ANCHORS AND REINFORCING SHALL NOT BE INSTALLED UNTIL THE CONCRETE OR GROUT HAS ATTAINED 70% OF ITS DESIGN STRENGTH.

NOTE: 3
ALL POST INSTALLED ANCHORS AND REINFORCING SHALL BE INSTALLED IN DRY HOLES THAT HAVE BEEN DRILLED, CLEANED AND PREPARED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND THE RESPECTIVE ICC ES EVALUATION REPORTS.

NOTE: 4
MECHANICAL ANCHORS INSTALLED IN GROUTED MASONRY SHALL BE LOCATED A MINIMUM 1 1/2" FROM VERTICAL MORTAR JOINTS.

NOTE: 5
POST INSTALLED ANCHORS AND REINFORCING SHALL ONLY BE USED WHERE SPECIFIED IN THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM COLUMBIA ENGINEERING INC. PRIOR TO INSTALLING POST INSTALLED ANCHORS WHERE CAST IN PLACE ANCHORS ARE MISSING, MISPLACED OR DAMAGED.

NOTE: 6
POST INSTALLED ANCHORS AND REINFORCING SHALL BE PERIODICALLY INSPECTED PER IBC 2018 SECTION 1705 EXCEPT ADHESIVE ANCHORS AND REINFORCING INSTALLED IN A VERTICAL OR OVERHEAD SURFACE SHALL BE CONTINUOUSLY INSPECTED.

EXISTING CONSTRUCTION:

NOTE: 1
COLUMBIA ENGINEERING INC. PREPARED THESE PLANS BASED ON A LIMITED AMOUNT OF FIELD EXPLORATION AND ON THE STRUCTURAL INFORMATION SHOWN IN DRAWINGS S1-S3 PREPARED BY SKARDA AND RICKERT DATED 4/20/1977. THE EXISTING MEMBER SIZES ARE NOTED (E) AND ARE SHOWN IN THE PLANS. THE CONTRACTOR SHALL VERIFY THAT THE EXISTING MEMBERS SHOWN IN THE PLANS MATCH EXISTING AS BUILT CONDITIONS PRIOR TO PREPARING SHOP DRAWINGS. IF THE AS BUILT CONDITIONS DO NOT CONFORM TO THE INFORMATION SHOWN IN THE PLANS, OR IF ANY STRUCTURAL MEMBER IS FOUND TO BE IN POOR CONDITION, THE CONTRACTOR SHALL INFORM COLUMBIA ENGINEERING INC. OF THE ACTUAL SIZES AND/OR CONDITION. RE-DESIGN AND ADDITIONAL FRAMING MAY BE REQUIRED IN THAT CASE.

NOTE: 2
ALL NEW PIPE AND DUCT PENETRATIONS SHALL BE LOCATED BY THE CONTRACTOR TO AVOID CONCRETE SLAB REINFORCEMENT AND SUPPORTING MEMBERS UNDER THE SLAB OR ROOF. IF CUTTING OF ANY REINFORCEMENT OR EXISTING SUPPORTING MEMBER CANNOT BE AVOIDED, THEN PRIOR TO CUTTING, THE CONTRACTOR SHALL PREPARE A DETAILED DRAWING SHOWING THE PROPOSED PENETRATION AND ALL THE AFFECTED REINFORCEMENT AND SUPPORTING MEMBERS AND SHALL SUBMIT THE DRAWING TO COLUMBIA ENGINEERING INC. FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT CUT ANY REINFORCEMENT OR MEMBER WITHOUT THE PRIOR APPROVAL OF COLUMBIA ENGINEERING, INC.

MISCELLANEOUS:

NOTE: 1
ITEMS AND CONDITIONS NOTED OR IDENTIFIED IN SECTIONS AND DETAILS SHALL BE TO AREAS SIMILAR IN CONDITION TO THOSE DENOTED BY THE SECTION CUT OR DETAIL MARK.

NOTE: 2
THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES BETWEEN THE STRUCTURAL DOCUMENTS AND ANY OTHER DOCUMENTS OR EXISTING CONDITIONS FOR RESOLUTION PRIOR TO PROCEEDING WITH FABRICATION OR CONSTRUCTION.

NOTE: 3
SHOP DRAWINGS FOR ALL STRUCTURAL ITEMS MUST BE SUBMITTED BY THE CONTRACTOR. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE FIRM COLUMBIA ENGINEERING, INC., WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND/OR THE DESIGN OF THE PROJECT.

NOTE: 4
REPRODUCTION OF CONTRACT DOCUMENTS WILL NOT BE ACCEPTED AS SHOP DRAWINGS.

NOTE: 5
SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER REVIEW:
a. CONCRETE/GROUT MIX DESIGNS
b. CONCRETE/MASONRY REINFORCING STEEL
c. CONSTRUCTION/CONTROL JOINT LAYOUT FOR SLABS ON GRADE
SEE SPECIFICATIONS FOR ADDITIONAL REQUIRED SUBMITTALS.

NOTE: 6
THE FOLLOWING ITEMS SHALL BE DESIGNED FOR LOADS INDICATED IN THE DRAWINGS AND IN THE LOCAL BUILDING CODE:
a. CURTAIN WALL SYSTEMS
b. HANDRAILS AND GUARDRAILS
c. LADDERS
DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION AND SUBMITTED FOR REVIEW.

NOTE: 7
ALL SHOP DRAWINGS USED FOR WORK SHALL BEAR THE STAMP OF THE ARCHITECT/ENGINEER, AND SHALL BE MARKED "REVIEWED" OR "REVIEWED AS NOTED."

NOTE: 8
THE CONTRACTOR SHALL SUPPORT ADJACENT STRUCTURES, UTILITIES, AND EXCAVATIONS. CONTRACTOR SHALL HAVE ALL TEMPORARY FORMWORK, SHEETING, SHORING, UNDERPINNING, ETC., AS PART OF THE CONTRACTOR'S WORK, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION.

NOTE: 9
ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH IBC CHAPTER 17 (EXCEPTIONS NOTED SHALL NOT BE PERMITTED) AND ALL LOCAL ORDINANCES. INSPECTIONS REQUIRED SHALL BE PER THE STATEMENT OF SPECIAL INSPECTIONS NOTED ON THIS SHEET. THE OWNER SHALL HIRE AN EXPERIENCED, QUALIFIED INSPECTOR TO PERFORM ALL THE REQUIRED INSPECTION WORK. THE ENGINEER WILL NOT PERFORM THE REQUIRED INSPECTION AS A PART OF HIS DESIGN SERVICE. THE ENGINEER MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS, AND SUCH VISITS ARE NOT TO BE CONSTRUED AS MEETING INSPECTION REQUIREMENTS.

NOTE: 10
THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE IN THE CONSTRUCTION OF WORK SIMILAR IN NATURE TO THIS PROJECT.

NOTE: 11
LEGAL USE OF DOCUMENTS
THE PLANS, SPECIFICATIONS AND OTHER INFORMATION CONTAINED IN THESE DRAWINGS (COLLECTIVELY THE "DRAWINGS") WERE PREPARED BY COLUMBIA ENGINEERING, INC. AND ARE INSTRUMENTS OF PROFESSIONAL SERVICES RENDERED AND DELIVERED PURSUANT TO THE TERMS AND CONDITIONS OF A WRITTEN AGREEMENT (THE "AGREEMENT") ONLY TO THE RECIPIENT NAMED THEREIN. ANY USE OF THE DRAWINGS BY ANY PARTY WHICH IS INCONSISTENT WITH THE TERMS AND CONDITIONS OF THE AGREEMENT IS EXPRESSLY PROHIBITED. COLUMBIA ENGINEERING, INC. EXPRESSLY RESERVES ITS COPYRIGHT AND ALL INTELLECTUAL PROPERTY AND OTHER RIGHTS IN THE DRAWINGS. NO PORTION OF THE DRAWINGS ARE TO BE REPRODUCED, CHANGED OR OTHERWISE USED IN ANY FORM OR MANNER WHATSOEVER WHICH IS INCONSISTENT WITH EITHER THE AGREEMENT OR THE PURPOSES FOR WHICH THEY WERE ORIGINALLY PREPARED, NOR ARE THEY TO BE DEEMED ASSIGNED TO ANY PERSON OR ENTITY WITHOUT OBTAINING THE EXPRESS PRIOR WRITTEN PERMISSION AND CONSENT OF COLUMBIA ENGINEERING, INC. THE RECIPIENT OF THE DRAWINGS AGREES TO INDEMNIFY AND HOLD HARMLESS COLUMBIA ENGINEERING, INC., ITS EMPLOYEES, OFFICERS, DIRECTORS AND AGENTS, FROM AND AGAINST ANY AND ALL DAMAGES WHICH ARISE OUT OF OR IN CONNECTION WITH ANY VIOLATION OF THE FOREGOING.

DESIGN CODES:

INTERNATIONAL BUILDING CODE:
IBC 2018

BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE:
ACI 318-14

BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES:
TMS 402/602-16

SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS:
AISC 360-16

DESIGN LOADS:
IBC RISK CATEGORY 3

FLOOR LIVE LOADS:
1. SLAB ON GRADE ---- 100 PSF

ROOF LOADS:
1. LIVE LOAD ---- 30 PSF
2. GROUND SNOW LOAD, pg ---- 30 PSF
3. FLAT ROOF SNOW LOAD, pf ---- 23 PSF
4. SNOW EXPOSURE FACTOR, Ce ---- 1.0
5. SNOW LOAD IMPORTANCE FACTOR, Is ---- 1.1
6. THERMAL FACTOR, Ct ---- 1.0

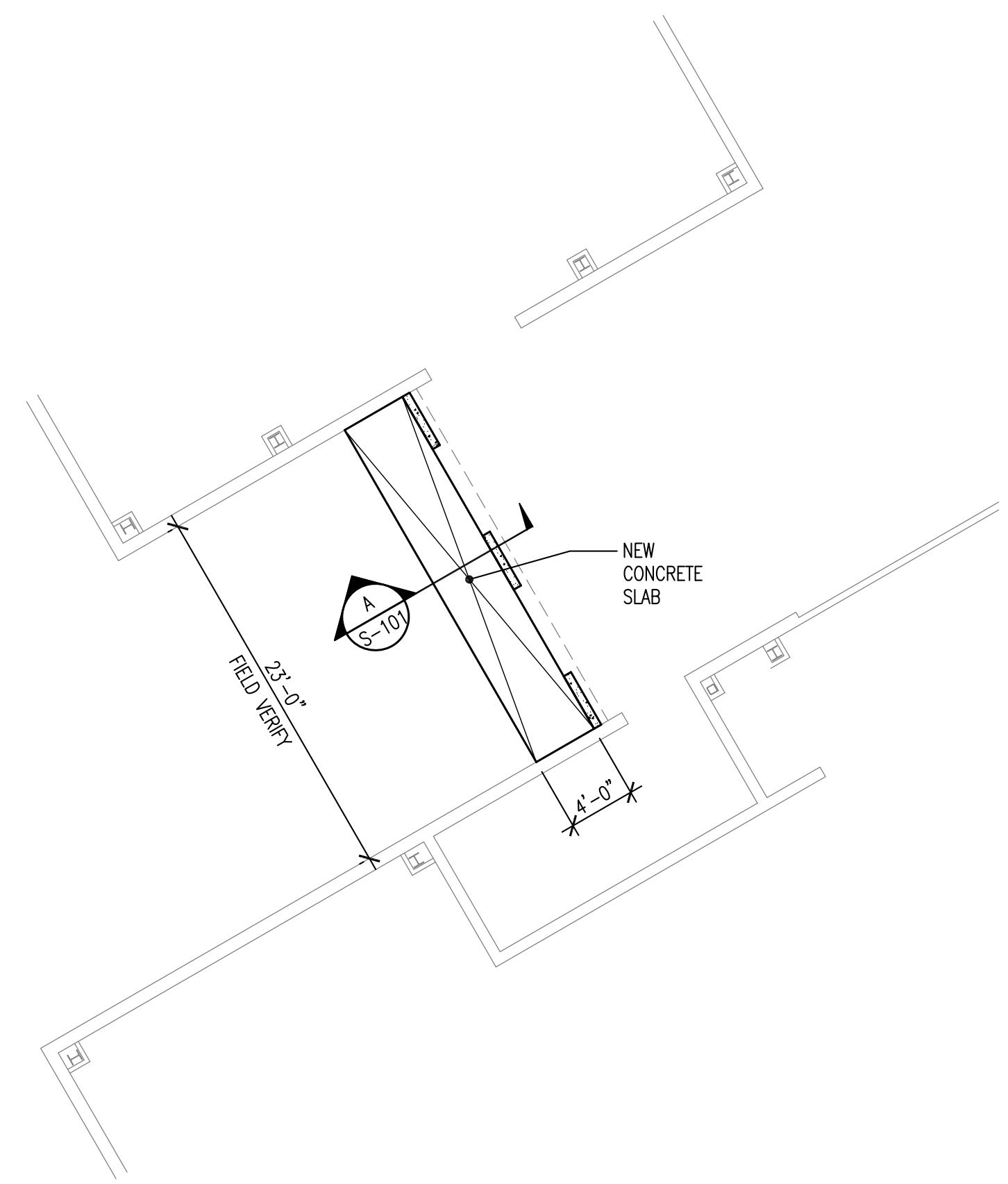
INSPECTION TABLES

STATEMENT OF SPECIAL INSPECTIONS:

NOTE 1:
INSPECTION OR TESTING SHALL BE PROVIDED FOR ALL MATERIAL, COMPONENTS AND WORK LISTED IN THE TABLES BELOW.

- NOTE 2:**
DEFINITIONS:
a. CONTINUOUS INSPECTION: INDICATES SPECIAL INSPECTOR SHALL BE PRESENT DURING CONTRACTOR PERFORMANCE OF THE TASK.
b. PERIODIC INSPECTION: INDICATES SPECIAL INSPECTOR SHALL PROVIDE INSPECTION OR TESTING OF ALL WORK INDICATED, BUT THAT SPECIAL INSPECTOR IS NOT REQUIRED TO BE PRESENT DURING CONTRACTOR PERFORMANCE OF THE TASK. PERIODIC INSPECTION DOES NOT MEAN RANDOM INSPECTION IS ALLOWED.
c. RANDOM INSPECTION: INDICATES SPECIAL INSPECTOR SHALL PROVIDE INSPECTION OR TESTING, AS NEEDED, TO INSURE PROPER PERFORMANCE OF THE TASK BY THE CONTRACTOR.

CONCRETE	
INSPECTION TASK	TYPE OF INSPECTION
1. INSPECTION OF REINFORCING STEEL FOR SIZE, QUANTITY AND PLACEMENT.	PERIODIC
2. INSPECTION OF ANCHORS CAST IN CONCRETE.	PERIODIC
3. INSPECTION OF ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS (FOLLOW MANUFACTURERS WRITTEN INSTALLATION REQUIREMENTS), A. ADHESIVE ANCHORS INSTALLED IN HORIZONTAL OR UPWARDLY INCLINED ORIENTATIONS B. ALL OTHER CONDITIONS	A. CONTINUOUS B. PERIODIC
4. VERIFY USE OF REQUIRED DESIGN MIX.	PERIODIC
5. AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE. FOR LIGHTWEIGHT CONCRETE, PERFORM UNIT WEIGHT TESTS.	CONTINUOUS
6. INSPECTION OF CONCRETE PLACEMENT.	CONTINUOUS
7. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	PERIODIC
8. VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	PERIODIC
9. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED AND FOR CONFORMANCE WITH FORMWORK DESIGN.	PERIODIC
10. MEASURE F (F) AND F (L) TOLERANCE FOR FLOORS.	PERIODIC

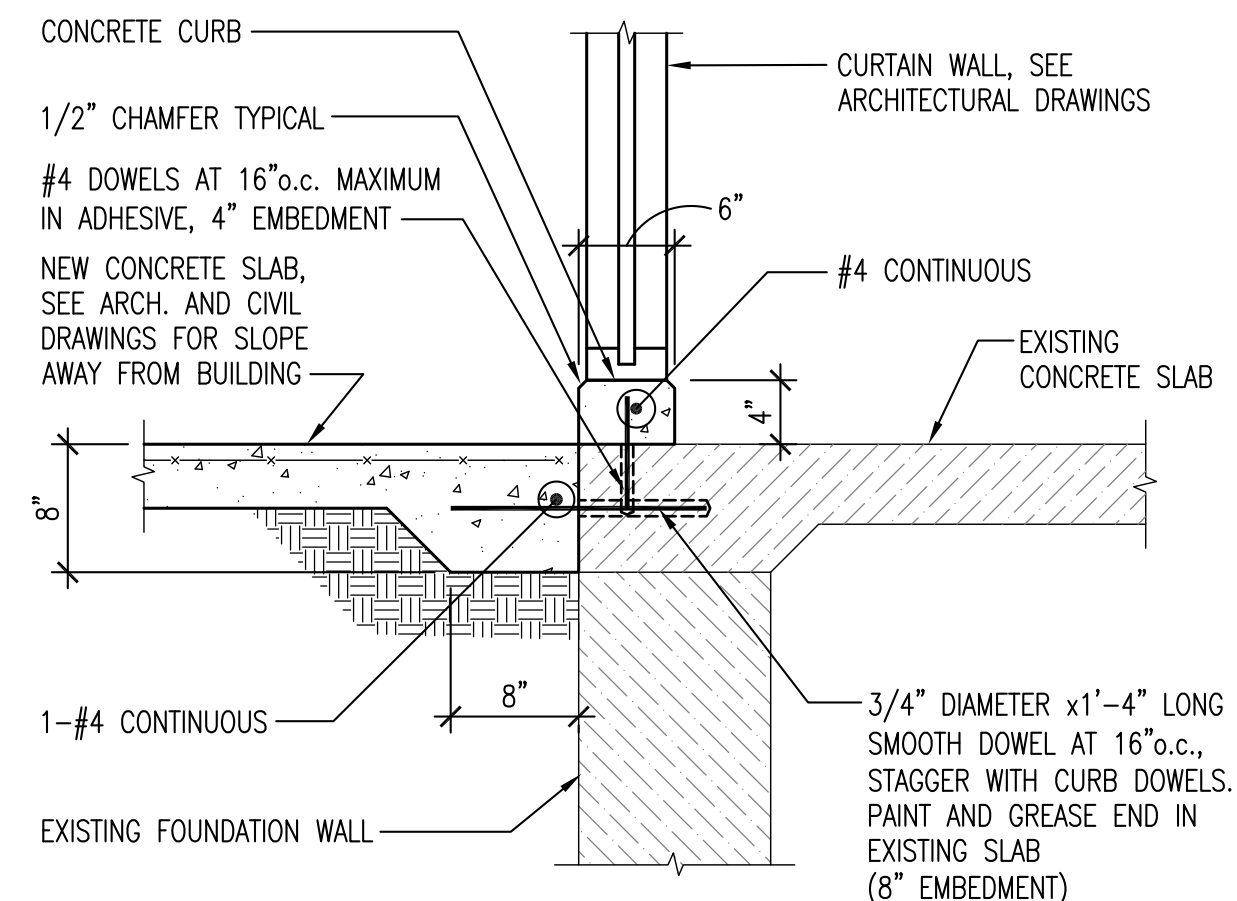


PARTIAL ENTRY VESTIBULE PLAN

SCALE: 1/8"=1'-0"

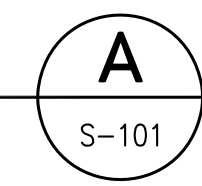
NOTES:

1. CONCRETE SLAB SHALL BE 4" THICK NORMAL WEIGHT CONCRETE ($f_c=5000$ PSI) AIR ENTRAINED CONCRETE REINFORCED WITH 6"x6", W1.4xW1.4 WWF OVER 4" THICK LAYER OF COARSE COMPACTED GRANULAR FILL.



SECTION

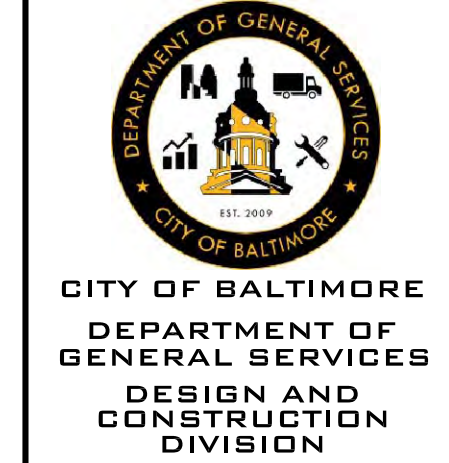
SCALE: 1"=1'-0"



CONSULTANTS



SEAL



REVISIONS

NO.	DATE	DESCRIPTION
		BID DOCUMENTS

**LOWER PARK HEIGHTS
MPC RENOVATIONS**
3939 REISTERSTOWN RD., BALTIMORE, MD 21215
CONTRACT NO. GS 21B22

PLAN, GENERAL NOTES, TYPICAL DETAIL AND SECTION

BID DOCUMENTS

6/10/22

**SHEET
S-101**

30 OF 30

Columbia Engineering Inc.
Structural Engineers
6210 Old Dobbin Lane Suite 150
Columbia, Maryland 21045
Tel 410.992.9970 Fax 410.992.0627
Copyright ©2020 Columbia Engineering. All rights reserved.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 21136, Expiration Date: 07/31/2023. columbiaengineering.com