ST FRANCIS NEIGHBORHOOD CENTER ADDITION + RENOVATION

2405 Linden Ave, Baltimore, MD 21217

THIS PROJECT IS LOCATED AT 2405 LINDEN AVE, BALTIMORE, MD 21217. BUILDING HAS A CURRENT USE AND OCCUPANCY PERMIT FOR EDUCATION AND BUSINESS USE. THE ZONING DESIGNATION OF THIS PROPERTY IS R-8. THIS PROJECT SCOPE CONSISTS OF 3,256 SQ FT OF ADDITION OF A TWO STORY EXTENSION. THE FIRST FLOOR AREA ADDITION COVERS 2,038 S.F. AND THE SECOND FLOOR COVERS AN AREA OF 948 SF.
THE PROJECT INCLUDES 1,453 SF RENOVATION WORK ON FIRST AND 2ND LEVEL OF AN EXISTING STRUCTURE.

WORK ON THE EXISTING BUILDING IS LIMITED TO- DEMOLITION OF AN INTERIOR NON-BEARING PARTITIONS, NEW WALLS, NEW APPLICATION OF CEILING, FLOOR AND WALL FINISH. REPLACE EXISTING WINDOWS AND EXTERIOR DOORS. REINFORCE OR PATCH ANY MISSING ELEMENTS IN THE INTERIOR SPACE OF THE TWO LEVEL. WE WILL RESTORE THE PORCH TO THE ORIGINAL CONSTRUCTION. THE RAMP ON THE PORCH WILL BE RELOCATED TO THE SIDE OF THE EXISTING PORCH.

THE ENTIRE OF EXISTING BUILDING FIRE SUPPRESSION SYSTEM TO REMAIN AND WILL BE LINKED TO THE NEW ADDITION.

THE NEW ADDITION WILL HAVE AN ADA COMPLIANT RAMP AND STEP AT ENTRANCE. THE BACK SIDE OF THE ADDITION WILL HAVE A CONCRETE PAVED PLATFORM AND RAMP. THE GARBAGE DISPOSAL AREA WILL BE SCREENED WITH FENCE AND CONCRETE PAD WILL BE PROVIDED.

THE NEW ADDITION ON FIRST FLOOR LEVEL WILL HAVE A LOBBY SPACE, (1) OFFICE ROOM, SUPPLY ROOM, MULTIPURPOSE ROOM WITH DIVIDER, AND BACK EXIT HALL.

THE NEW ADDITION ON SECOND FLOOR WILL HAVE (2) CLASS ROOMS, AND HALLWAY.

THE NEW ADDITION WILL HAVE FLAT ROOF STRUCTURE WITH ROOF TOP MECHANICAL UNIT AND PROPER SCREEN.

THE NEW ADDITION AND RENOVATION AREA WILL BE ACCESSIBLE VIA THE EXISTING ELEVATOR.

THE WORK WILL INCLUDE NEW ELECTRICAL, PLUMBING AND MECHANICAL REQUIREMENTS IN THE ADDITION.

PROVIDE FIRE ALARM SYSTEM PER IBC 907.2.2 AND IFC 907.2.2.

CLIENT:
St. Francis Neighborhood Center
2405 Linden Ave,
Baltimore, MD 21217

ARCHITECT:
RM Sovich Architecture
1 Village Sq., Suite 175
Baltimore, MD 21210
T: 410 327-7971
Fx: 410 327-7972
E-mail: office@rmsarchitecture.com
URL: http://www.rmsarchitecture.com

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
Skarda & Associates, Inc.
2439 North Charles Street
Baltimore, Maryland 21218

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

SCOPE OF WORK

Maryland Building Performance Standards / March 2019	International Property Maintenance Code / 2018
International Building Code / 2018	*International Fire Code / 2018*
National Electrical Code / 2017	*International Energy Conservation Code / 2018*
International Fuel Gas Code / 2018	International Green Construction Code / 2018
International Mechanical Code / 2018	International Swimming Pool and Spa Code / 2018
International Plumbing Code / 2018	

	FRONTAGE	PERIMETER	
	220	498	
It	0.191		
At			28,500
Ns			9,500
Ss			2
At+(Ns*If)/Ss			32,124

COMPUTATION FOR ALLOWABLE FLOOR AREAS PER USE GROUP — MIXED USE OCCUPANCY
CONSTRUCTION TYPE V-B

USE GROUP	AREA/ Table 503	AREA ALLOWED PER 506.2	AREA ALLOWED PER 506.3*	TOTAL AREA ALLOWED	AREA PROVIDED	HT ALLOWED	HT PROVIDED	HT. ALLOWED PER 504.3	IBC SECTION
			PER 506.2.3	PER 506.2.3		PER 504.4			
GROUP E		28,500 SF	32,124 SF	32,124 SF	BASEMENT LEVEL SF	2	2	60	TABLE 503.3 , 504.4,
FIRE RESISTANCE RATING OF BUILDING ELEMENTS			TYPE V-B						IBC SECTION
STRUCTURAL FRAME including columns, girders, trusses.			0 HR						TABLE 601
BEARING WALLS EXTERIOR			0 HR						TABLE 601
INTERIOR			0 HR						TABLE 601
NON BEARING WALLS & PARTITIONS EXTERIOR			0 HR						TABLE 601
NON BEARING WALLS & PARTITIONS INTERIOR			0 HR						TABLE 601
FLOOR CONSTRUCTION including supporting beams and joists			0 HR						TABLE 601
ROOF CONSTRUCTION including supporting beams and joists			0 HR						TABLE 601

TOTAL AREA ON BASEMENT FLOOR	1,290 SF	TOTAL AREA OF RENOVATION ON BASEMENT LEVEL	0SF
TOTAL AREA ON FIRST FLOOR	7,096 SF	TOTAL AREA OF RENOVATION ON FIRST FLOOR	1,453 SF
TOTAL AREA ON SECOND FLOOR	5,736 SF	TOTAL AREA OF RENOVATION ON SECOND FLOOR	1,453 SF
TOTAL BUILDING AREA (EXISTING + NEW ADDITION)	**14,122 SF**	TOTAL RENOVATION AREA	**2,906 SF**

AREA OF EXISTING STRUCTURE

TOTAL AREA OF EXISTING BASEMENT LEVEL	1,290SF	TOTAL AREA OF ADDITION ON BASEMENT LEVEL	0SF
TOTAL AREA OF EXISTING FIRST FLOOR	4,788SF	TOTAL AREA OF ADDITION ON FIRST FLOOR	2,308 SF
TOTAL AREA OF EXISTING SECOND FLOOR	4,788SF	TOTAL AREA OF ADDITION ON SECOND FLOOR	948 SF
TOTAL EXISTING BUILDING AREA	**10,866 SF**	TOTAL AREA OF NEW ADDITION.	**3,256 SF**
		TOTAL AREA OF WORK RENOVATION AND ADDTION	**6,162 S.F.**
		NFPA 13 SPRINKLER SYSTEM IS PROVIDED	

* FULLY SPRINKLERED PER IBC 903.3.2.3

REQUIRED SEPARATION OF OCCUPANCY — IEBC 2012 TABLE 508.4 — 5736

	USE GROUP	SEPARATION FOR SPRINKLERED BLDG
EXISTING BUILDING	E (EDUCATION)	0 HR
PROPOSED BUILDING	E (EDUCATION)	0 HR

Architectural Code Summery

1. List of codes used –See worksheet above
2. CODE SECTION 301: Use & Occupancy = **Education**
3. TABLE 503: Number of Stories = **Existing Two(2) Proposed Two (2)**
4. Building Height = **Existing No change**
5. TABLE 503: Area Proposed Addition = **3,256 Sf**
6. Cubic feet of building addition = **56,038 CFT**
7. Square feet of building alteration/Renovation =**2,906 sf**
8. TABLE 601: Type of Construction = V-B
9. TABLE 705.8: Maximum Area of Exterior wall opening **: 10' to 15' distance: 45% opening permited.**
10. SECTION 903: Building fully sprinklered = NFPA 13
11. MEANS OF EGRESS • TABLE 1016.2: Travel distance **Required 250'-0" and provided 127'-0"**
12. Common Path of Travel: IBC 1006.3.2(2) **Required 75'-0" and provided 50'-0"**
13. Dead End Corridor IBC 1020.3 Exception 2 **Required less than 50'-0" & provided 21'**
14. SECTION 1006.3.1 Minimum Number of Exits per floor: Required 2 exits and provided 5 exits.
15. SECTION 1006.3.1 Minimum Number of Exits From Tenant space: Required 2 exits and provided 4 exits.
16. a) SECTION 1100: Accessibility, (2010 ADA Standards) Bldg. An existing Elevator connects second with ground level.
    b) SECTION 1100: Accessibility, (2010 ADA Standards) Tenant space.
    New ADA compliant ramp is serving as an ADA entrance.
17. Building envelope insulation requirements.
    Walls: R20 for Batt insulation or R 13 + R3.5 Rigid CI.
    Roof Ceiling assembly: R30 Ci.
18. Baltimore green construction Code compliance path.
    The compliance path we elected is the Baltimore green construction Code IgCC/BCGCC. Statement of compliance will be submitted.
19. Fire alarm system will be provided as shown in the FA- Series Drawings and as required per IBC- 907.
20. The interior finish of walls and ceilings in exit paths must be in accordance with IBC 2018,min. class C shall be provide.

DIRECTORY

Drawing List

ABBREVATIONS

ABOVE FINISHED FLOOR	AFF
ACOUSTIC	ACST
ADJUSTABLE	ADJ
AIR CONDITIONING	A/C
AIR HANDLING	AH
AIR HANDLING UNIT	AHU
ALTERNATE	ALT
ALTERNATE CURRENT	AC
ALUMINUM	AL
AMPERES	AMP
ANCHOR BOLT	AB
ARCHITECT	ARCH
AT	@
AVERAGE	AV
BEAM	BM
BOARD	BD
CABINET	CAB
CATALOG	CAT
CEILING	CLG
CENTERLINE	CL
CERAMIC TILE	CT
CLOSET	CL
COLUMN	COL
COMPANY	CO
CONCRETE	CONC
CONCRETE MASONRY UNIT	CMU
CONFERENCE	CONF
CONTINUOUS	CONT
CONTROL JOINT	CJ
COORDINATE	COORD
CORRIDOR	CORR
CUBIC FEET	CF
CUBIC FEET PER MINUTE	CFPM
DEDICATED	DED
DEPARTMENT	DEPT
DEPTH	D
DETAIL	DET
DIAGONAL	DIAG
DIAMETER	DIA
DIMENSION	DIM
DISHWASHER	DW
DOOR	DR
DOWN	DN
DRAWING	DWG
DRINKING FOUNTAIN	DF
EACH	EA
EAST	E
ELECTRIC, ELECTRICAL	ELEC
ELEVATION	EL
ELEVATOR	ELEV
EMERGENCY POWER	EM
EMPTY CONDUIT	EC
ENGINEER	ENGR
ELECTRIC WATER COOLER	EWC
ELECTRIC WATER HEATER	EWH
EXHAUST	EXH
EXISTING	EXIST
EXPANSION	EXP
EXPANSION JOINT	EXP JT
EXTERIOR	EXT
EQUAL	EQ.
FAHRENHEIT	F
FEET PER MINUTE	FPM
FEET, FOOT	FT
FINISH	FIN
FIRE EXTINGUISHER	FE
FIRE EXTINGUISHER CABINET	FEC
FLOOR	FL
FLUORESCENT	FLOOR
FIRE RATED	FR
FIRE RETARDANT TREATED	FRT
GAUGE	GA
GALLON	GAL
GALLONS PER MINUTE	GPM
GALVANIZED	GALV
GENERAL CONTRACTOR	GC
GROUNDED FAULT INTERRUPT	GFI
GYPSUM WALL BOARD	GWB
HANDICAPPED	HDCP
HARDWARE	HDW
HARDWOOD	HDWD
HEIGHT	HGT
HERTZ	HZ
HOLLOW METAL	HM
HORIZONTAL	HORIZ
HORSEPOWER	HP
HOT WATER HEATER	HWH
HOUR	HR
INCH	IN
INFORMATION	INFO
INSIDE DIAMETER	ID
INSULATED, INSULATION	INSUL
INTERIOR	INT
JANITOR'S CLOSET	JAN
JOINT	JT
JOIST	JST
JUNCTION BOX	JB
LAMINATED	LAM
LAVATORY	LAV
LEFT HAND	LH
LENGTH	L
LIBRARY	LIB
LINEAR FEET	LF
LONG LEG HORIZONTAL	LLH
LONG LEG VERTICAL	LLV
MAINTENANCE	MAINT
MANUFACTURER	MFR
MASONRY	MAS
MASONRY OPENING	MO
MAXIMUM	MAX
MECHANICAL	MECH
MEDIUM	MED
MEZZANINE	MEZZ
MINIMUM	MIN
MISCELLANEOUS	MISC
MOUNTED	MTD
MULLION	MUL
METAL	MTL
NOT IN CONTRACT	NIC
NOT TO SCALE	NTS
NUMBER	#, NO
NOT APPLICABLE	N/A
OFFICE	OFF
ON CENTER	OC
OPENING	OPNG
OPPOSITE	OPP
OUNCE	OZ
OVERALL	OA
OVERHEAD	OH
PAINTED	PTD
PANEL	PNL
PARTITION	PTN
PERPENDICULAR	PERP
PERSONAL COMPUTER	PC
PHASE	PH
PLASTIC LAMINATE	PLAM
PLATE	PL
PLUMBING	PLMB
PLYWOOD	PLYWD
POLYVINYL CHLORIDE	PVC
PREFABRICATED	PREFAB
PREFINISHED	PREFIN
PRELIMINARY	PRELIM
QUARRY TILE	QT
RADIUS	RAD, R
REFRIGERATOR	REF
REINFORCING	REINF
REQUIRED	REQD
RESILIENT	RES
RETURN AIR	RA
RIGHT HAND	RH
ROOM	RM
ROOF DRAIN	RD
ROUGH OPENING	RO
SCHEDULE	SCHED
SECTION	SECT
SIMILAR	SIM
SOUND TRANSMISSION	STM
SPECIFICATION	SPEC
SPECIFIED	SPECD
SQUARE	SQ
STANDARD	STD
STANDARD PIPE	SP
STAINLESS STEEL	SS
STATION	STA
STEEL	STL
STORAGE	STOR
STRUCTURAL	STRUCT.
SUSPENDED CEILING	SUSP. CLG.
TELEPHONE	TEL
THICK OR THICKNESS	THK
THRESHOLD	THRSLD
TO BE DETERMINED	TBD
TONGUE & GROOVE	T & G
TOP	T
TYPICAL	TYP
UNDERWRITER LABORATORY	UL
VERTICAL	VERT
VESTIBULE	VEST
VINYL COMPOSITION TILE	VCT
VOLTS	V
WALLBOARD	WBH
WELDED WIRE FABRIC	WWF
WIDTH	W
WINDOW	WDW
WITH	W/
WITHOUT	W/O
WOOD	WD
YARD	YD

SYMBOLS

NEW DOOR/ FRAME

DRAWING NAME (Dwg # / Dwg Name / SCALE)

SECTION REFERENCE (DWG# / SHEET#)

DETAIL REFERENCE (DET# / SHEET#)

CENTER LINE

BREAK LINE

ELEVATION REFERENCE (SHEET#)

WALL TYPE INDICATOR (#)

ROOM NAME / NUMBER (ROOM NAME / #)

DOOR NUMBER (#)

SHEET NOTE NUMBER (#)

INCANDESCENT WALL WASHER

SWITCH ($)

EMERGENCY BATTERY UNIT

DUPLEX RECEPTACLE

DUPLEX RECEPTACLE, DEDICATED (D)

GFI DUPLEX RECEPTACLE (GFI)

DUPLEX RECEPTACLE MAINTAIN HT (X)" (X)

QUADRUPLEX RECEPTACLE

TELEPHONE JACK

EXIT LIGHT

SURFACE MOUNTED TRACK LIGHTING

1'-0" X 1'-0" EXHAUST FAN

SURFACE MOUNTED INCANDESCENT VANITY LIGHT

2'-0" X 4'-0", DEEP CELL PARABOLIC LOUVER FLUORESCENT

2'-0" X 2'-0", DEEP CELL PARABOLIC LOUVER FLUORESCENT

RECESSED INCANDESCENT DOWNLIGHT

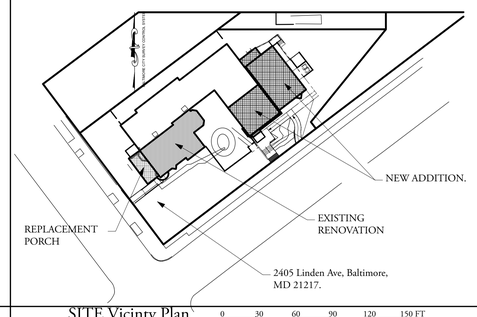
FLUORESCENT DOWN LIGHT

LOCATION MAP

2405 Linden Ave, Baltimore, MD 21217

SITE Vicinity Plan

Scale: 1" = 50'-0"



APPLICABLE BUILDING CODES AND CODE ANALYSIS

LIST OF DRAWINGS

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
Skarda and Associates. Inc
2439 North Charles Street
Baltimore, MD 21218

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

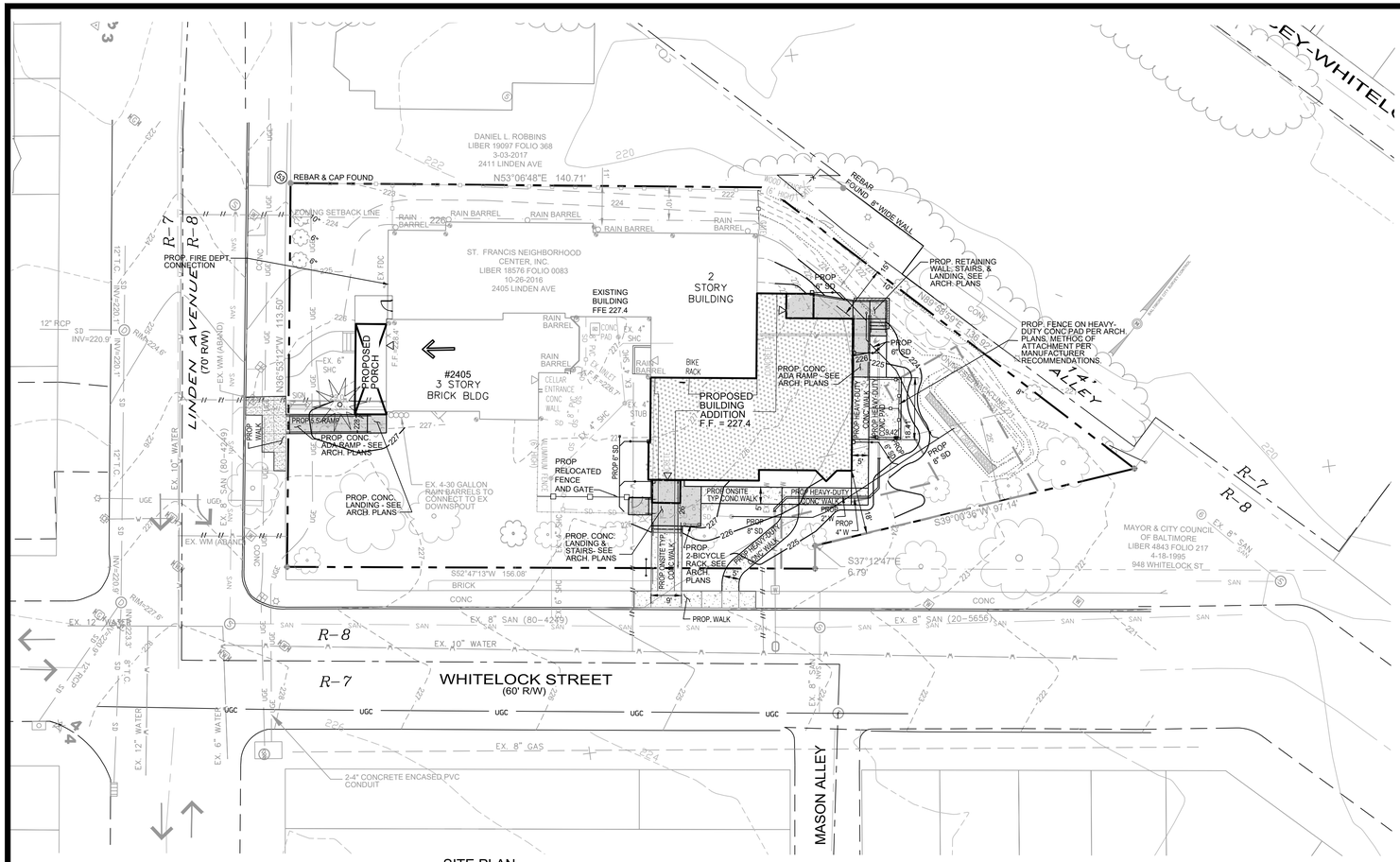
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 6171-A
EXPIRATION DATE: 9-18-2024

ARCHITECT 6171-A RAINER MICHAEL SOVICH STATE OF MARYLAND

A000

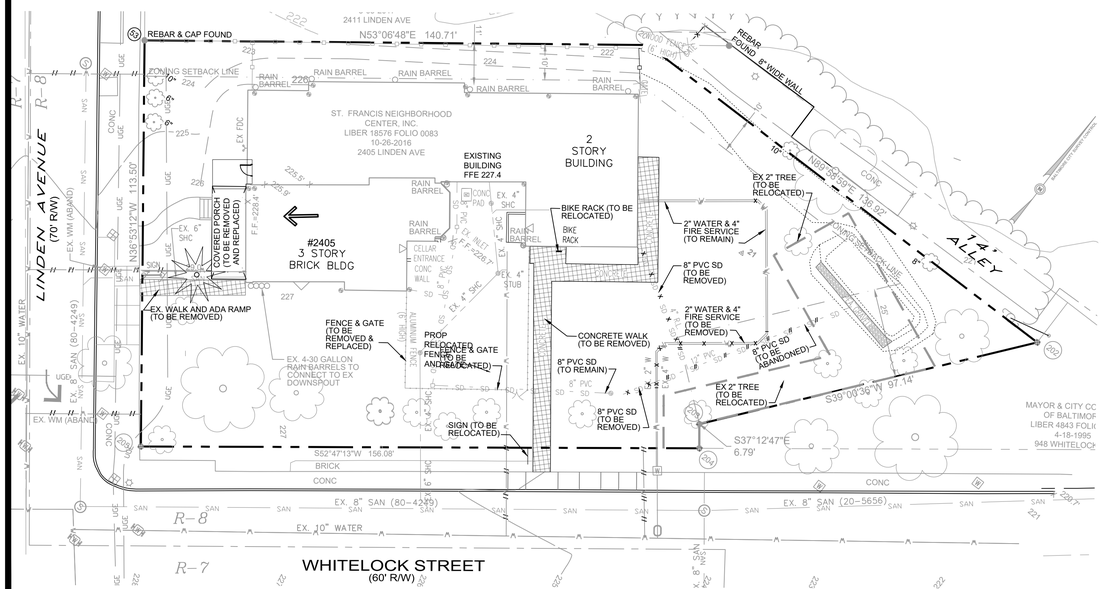
COVER SHEET

21005 221104 Drawing.vwx



SITE PLAN

SCALE: 1"=20'



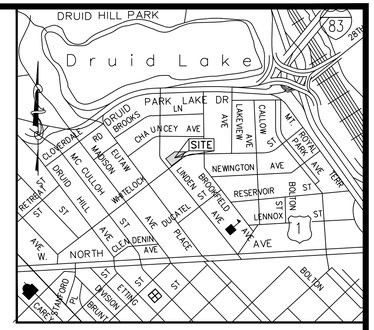
SITE DEMOLITION PLAN

SCALE: 1"=20'

LEGEND:

- PROPERTY LINE
- ZONING BOUNDARY (R-7 / R-8)
- EXISTING CONTOURS (102)
- EXISTING EDGE OF PAVING
- DIRECTION OF VEHICULAR TRAFFIC
- DENOTES FRONT OF BUILDING
- EXISTING STORM DRAIN (SD)
- EXISTING SANITARY (SAN)
- EXISTING WATER (W)
- EXISTING GAS
- EXISTING ELEC. CONDUIT (UGE)
- EXISTING STORM DRAIN INLET
- EXISTING RETAINING WALL
- EXISTING BUILDING
- PROPOSED DOOR
- PROPOSED CONTOURS (25)
- PROPOSED STORM DRAIN (PROP 6" SD)
- PROPOSED WATER (PROP 4" W)
- PROPOSED CONCRETE SEE ARCHITECTURAL DWGS
- PROPOSED CONCRETE STANDARD NO BC 655.05
- PROPOSED CONCRETE
- PROPOSED BUILDING

SYMBOL LEGEND	
S	SANITARY SEWER MANHOLE
D	STORM DRAIN MANHOLE
T	TELEPHONE MANHOLE
DPW	DPW MANHOLE
	UTILITY POLE
	HAND BOX
	LIGHT POLE
AC	HVAC UNIT
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	GAS VALVE
	SIGN
	TREE (DECIDUOUS)



VICINITY MAP

SCALE: 1" = 1000'

BENCHMARK/DATUM

COORDINATES AND NORTH SHOWN HEREON REFER TO THE BALTIMORE CITY HORIZONTAL DATUM. BASED ON THE FOLLOWING BALTIMORE CITY CONTROL STATIONS:

STATION	NORTHING	EASTING
22145	7,044.618	-5,980.636
22146	6,947.011	-6,193.947

ELEVATIONS SHOWN HEREON REFER TO THE BALTIMORE CITY VERTICAL DATUM. BASED ON THE FOLLOWING BALTIMORE CITY BENCHMARK:

BENCHMARK	ELEVATION
6522	226.262

NOTES

1. OWNER/DEVELOPER:
   ST. FRANCIS NEIGHBORHOOD CENTER
   2405 LINDEN AVENUE
   BALTIMORE, MD 21217
2. SITE DATA:
   ADDRESSES: 2405 LINDEN AVENUE
   BLOCK 3463A, LOT 001
   TOTAL SITE AREA: 21,996 SQUARE FEET
3. EXISTING USE: COMMUNITY CENTER
   PROPOSED USE: COMMUNITY CENTER
4. THE EXISTING 2 AND 3-STORY STRUCTURE AND IS TO REMAIN. AN ADDITION WILL BE BUILT ONTO THE EXISTING STRUCTURE. RENOVATIONS WILL BE MADE TO THE FIRST AND SECOND FLOOR.
5. THE TOTAL EXISTING GROSS FLOOR AREA OF THE BUILDING IS 10,866 SQUARE FEET. THE THE ADDITION CONSISTS OF 3,256 SQUARE FEET. THE TOTAL PROPOSED GROSS FLOOR AREA OF THE BUILDING IS 14,122 SQUARE FEET.
6. THE TOTAL AREA OF RENOVATION IS 2,906 SF. THE AREA CONSISTS OF 1,453 SF ON THE FIRST AND SECOND FLOORS.
7. SITE ZONING: R-8
8. THE SITE IS LOCATED WITHIN THE RESERVOIR HILL URBAN RENEWAL PLAN AREA. A WAIVER FROM URP REQUIREMENTS WAS GRANTED IN MARCH 2018 BY THE DEPARTMENT OF PLANNING AND THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.
9. COMMUNITY CENTERS ARE A CONDITIONAL USE IN THE R-8 ZONING DISTRICT, REQUIRING BOARD APPROVAL.
10. SETBACKS:

	REQUIRED	PROVIDED
FRONT	NONE	29 FEET
INTERIOR SIDE	10 FEET	11 FEET
STREET CORNER SIDE:	NONE	25 FEET
REAR	25 FEET	18 FEET

11. LOT AREA:
    MINIMUM REQUIRED - 3,000 SQUARE FEET
    PROVIDED - 21,996 SQUARE FEET
12. BUILDING HEIGHT:
    MAXIMUM PERMITTED - 45 FEET/ 60 FEET CONDITIONAL USE
    PROVIDED: 30 FEET
13. LOT COVERAGE:
    MAXIMUM PERMITTED: 70% OR 15,397 SQUARE FEET OF BUIDING FOOTPRINT
    PROPOSED: 35% OR 7,605 SQUARE FEET OF BUILDING FOOTPRINT
14. OFF-STREET VEHICLE PARKING:
    REQUIRED - 1 PER 10 PERSONS OF FIRE RATED CAPACITY
    PROVIDED - NONE
15. BICYCLE PARKING IS NOT REQUIRED FOR THE COMMUNITY CENTER USE.
16. IN A RESOLUTION DATED MAY 08, 2018, THE BOARD OF MUNICIPAL & ZONING APPEALS GRANTED APPROVAL FOR APPEAL NO. 2018-74 FOR THE CONDITIONAL USE COMMUNITY CENTER, AND A VARIANCE FOR PARKING.
17. THE ENTRANCE FACING WHITELOCK STREET, AND LINDEN AVENUE ARE HANDICAP ACCESSIBLE.
18. SITE IS NOT IN THE CHESAPEAKE BAY CRITICAL AREA.
19. SITE IS NOT IN A FEMA FLOODPLAIN.
20. STORMWATER MANAGEMENT IS REQUIRED FOR THIS PROJECT AND WILL BE PROVIDED BY A RAIN GARDEN, RAINWATER HARVESTING, AND A PARTIAL FEE-IN-LIEU.
21. FOREST CONSERVATION IS NOT REQUIRED BECAUSE THE DISTURBED AREA IS LESS THAN 20,000 SQ FT. COMPLIANCE WITH THE LANDSCAPE MANUAL IS REQUIRED.
22. A TRAFFIC IMPACT STUDY IS NOT REQUIRED BECAUSE THE PROPOSED GROSS FLOOR AREA IS LESS THAN 15,000 SQUARE FEET.
23. TOTAL DISTURBED AREA: 15,400 SQUARE FEET
24. EARTHWORK:
    CUT: 20 CUBIC YARDS ±
    FILL: 140 CUBIC YARDS ±
25. PAVING QUANTITY: 1,664 SQUARE FEET
26. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON FIELD RUN SURVEYS BY COLBERT MATZ ROSENFELT, INC., DATED NOVEMBER 15, 2012, AND SEPTEMBER 2, 2021. CONTOURS ARE BASED ON THE CITY OF BALTIMORE DATUM.
27. CONTACT PERSON:
    ROBERT S ROSENFELT, P.E.
    COLBERT MATZ ROSENFELT, INC.
    2835 G SMITH AVENUE
    BALTIMORE, MD. 21209

SHEET INDEX

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

ESD #7533

SITE PLAN BUILDING PERMIT PLAN

ST. FRANCIS NEIGHBORHOOD CENTER
2401-09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

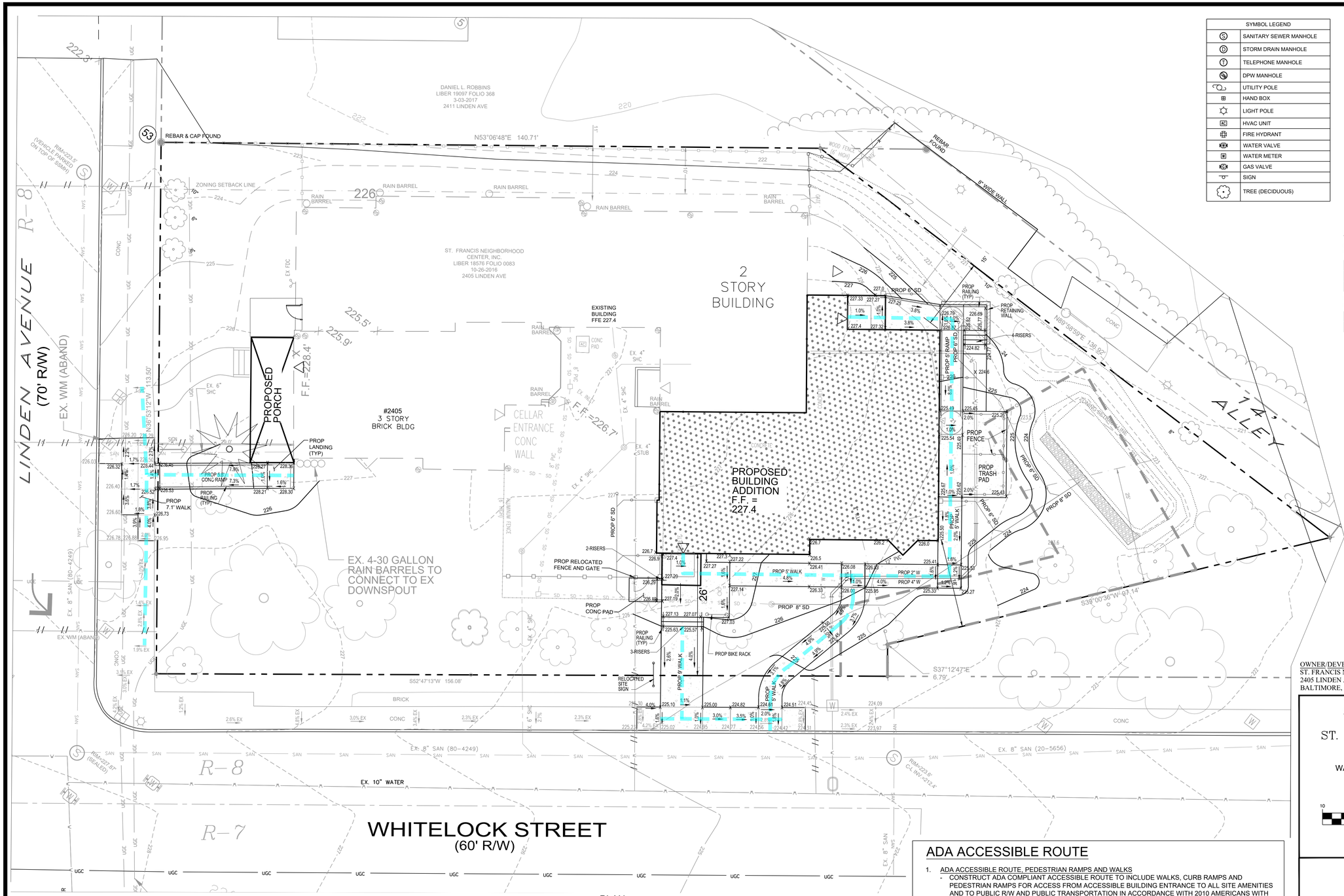
STATE OF MARYLAND — ROBERT S. ROSENFELT — 12311 — PROFESSIONAL ENGINEER
8/29/2023

Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653-3838
Facsimile: (410) 653-7953

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

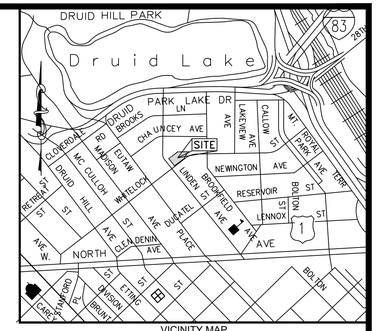
NO.	DATE	REVISIONS:	BY

SCALE: 1"= 20'
DATE: JUNE 1, 2023
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SIT-1
SHEET 1 OF 10



PLAN
SCALE: 1"=10'

SYMBOL LEGEND	
Ⓢ	SANITARY SEWER MANHOLE
Ⓓ	STORM DRAIN MANHOLE
Ⓣ	TELEPHONE MANHOLE
Ⓓ	DPW MANHOLE
	UTILITY POLE
	HAND BOX
	LIGHT POLE
AC	HVAC UNIT
	FIRE HYDRANT
W	WATER VALVE
	WATER METER
G	GAS VALVE
	SIGN
	TREE (DECIDUOUS)



VICINITY MAP
SCALE: 1" = 1000'

BENCHMARK/DATUM

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BENCHMARK	ELEVATION
6522	226.262

LEGEND:

- PROPERTY LINE
- ZONING BOUNDARY — R-7 / R-8
- EXISTING CONTOURS — 102
- EXISTING EDGE OF PAVING
- DIRECTION OF VEHICULAR TRAFFIC
- DENOTES FRONT OF BUILDING
- EXISTING STORM DRAIN — SD SD SD SD SD SD SD SD
- EXISTING SANITARY — SAN SAN
- EXISTING WATER — W W
- EXISTING GAS
- EXISTING ELEC. CONDUIT — UGE UGE
- EXISTING STORM DRAIN INLET
- EXISTING RETAINING WALL
- EXISTING BUILDING
- PROPOSED DOOR
- PROPOSED CONTOURS — 25
- PROPOSED STORM DRAIN — PROP 6" SD
- PROPOSED WATER — PROP 4" W
- PROPOSED CONCRETE SEE ARCHITECTURAL DWGS
- PROPOSED CONCRETE STANDARD NO BC 655.05
- PROPOSED CONCRETE
- PROPOSED BUILDING
- ADA ACCESSIBLE ROUTE

ADA ACCESSIBLE ROUTE

1. ADA ACCESSIBLE ROUTE, PEDESTRIAN RAMPS AND WALKS
   - CONSTRUCT ADA COMPLIANT ACCESSIBLE ROUTE TO INCLUDE WALKS, CURB RAMPS AND PEDESTRIAN RAMPS FOR ACCESS FROM ACCESSIBLE BUILDING ENTRANCE TO ALL SITE AMENITIES AND TO PUBLIC R/W AND PUBLIC TRANSPORTATION IN ACCORDANCE WITH 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN.
   - CLEAR WIDTH OF ACCESSIBLE ROUTE IS 36" MINIMUM.
   - GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE DO NOT EXCEED ½" IN WIDTH
   - CHANGES IN LEVEL OF ¼ INCH HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN ¼ INCH HIGH MINIMUM AND ½ INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 2:1..
   - CONSTRUCT PEDESTRIAN RAMP PER PLANS WITH 8.3% MAX. LONGITUDINAL SLOPE, 2% MAX. CROSS-SLOPE. FOR RAMPS WITH VERTICAL RISE > 6", HANDRAILS ARE REQUIRED.
   - HAND-RAILS ARE NOT REQUIRED AT CURB RAMPS AT STREET CORNERS AND WALKS < 5% SLOPE.
   - CONSTRUCT CONCRETE SIDEWALKS PER PLANS WITH 2% MAX. CROSS-SLOPE AND 5% MAX. LONGITUDINAL SLOPE. CONSTRUCT 5 ft. x 5 ft. MIN. RAMP LANDINGS AT EACH PEDESTRIAN RAMP WITH SLOPES < 2% IN ANY DIRECTION.
   - SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES, MANEUVERING AREAS AT DOORS, AND CLEAR FLOOR SPACE AT FIXTURES AND CONTROLS SHALL NOT EXCEED 2% IN ANY DIRECTION.

NOTE:
- CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL MAXIMUM ADA SLOPES ARE ADHERED TO AND SHALL USE "SMART" LEVEL TO CHECK WORK AND COMPLETED PRODUCT.

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

PRELIMINARY 10/03/2022
ESD #7533

SITE GRADING AND ADA PLAN

ST. FRANCIS NEIGHBORHOOD CENTER
2401-09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.

Colbert Matz Rosenfelt
*Engineers * Surveyors * Planners*
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653-3838
Facsimile: (410) 653-7953

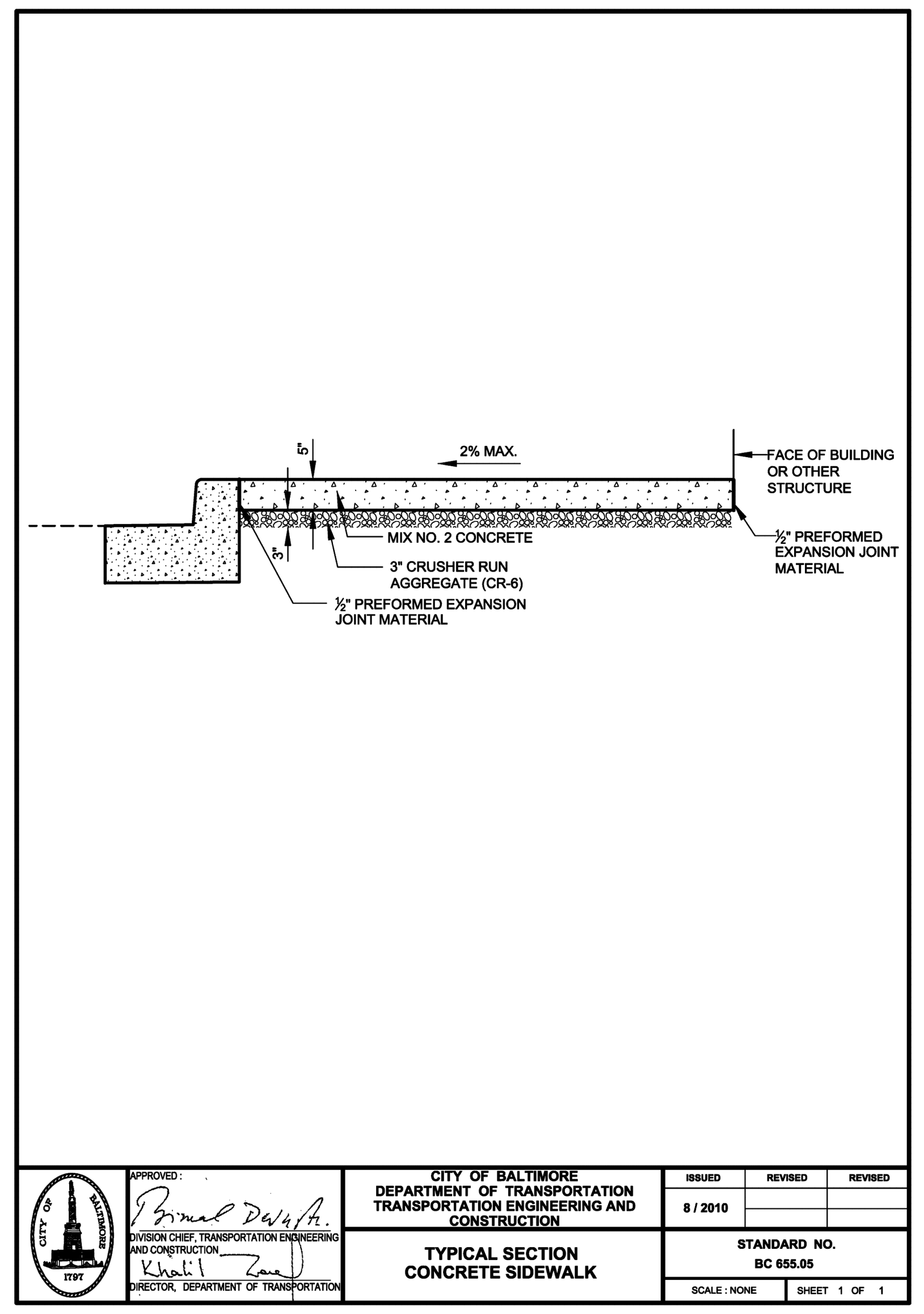
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

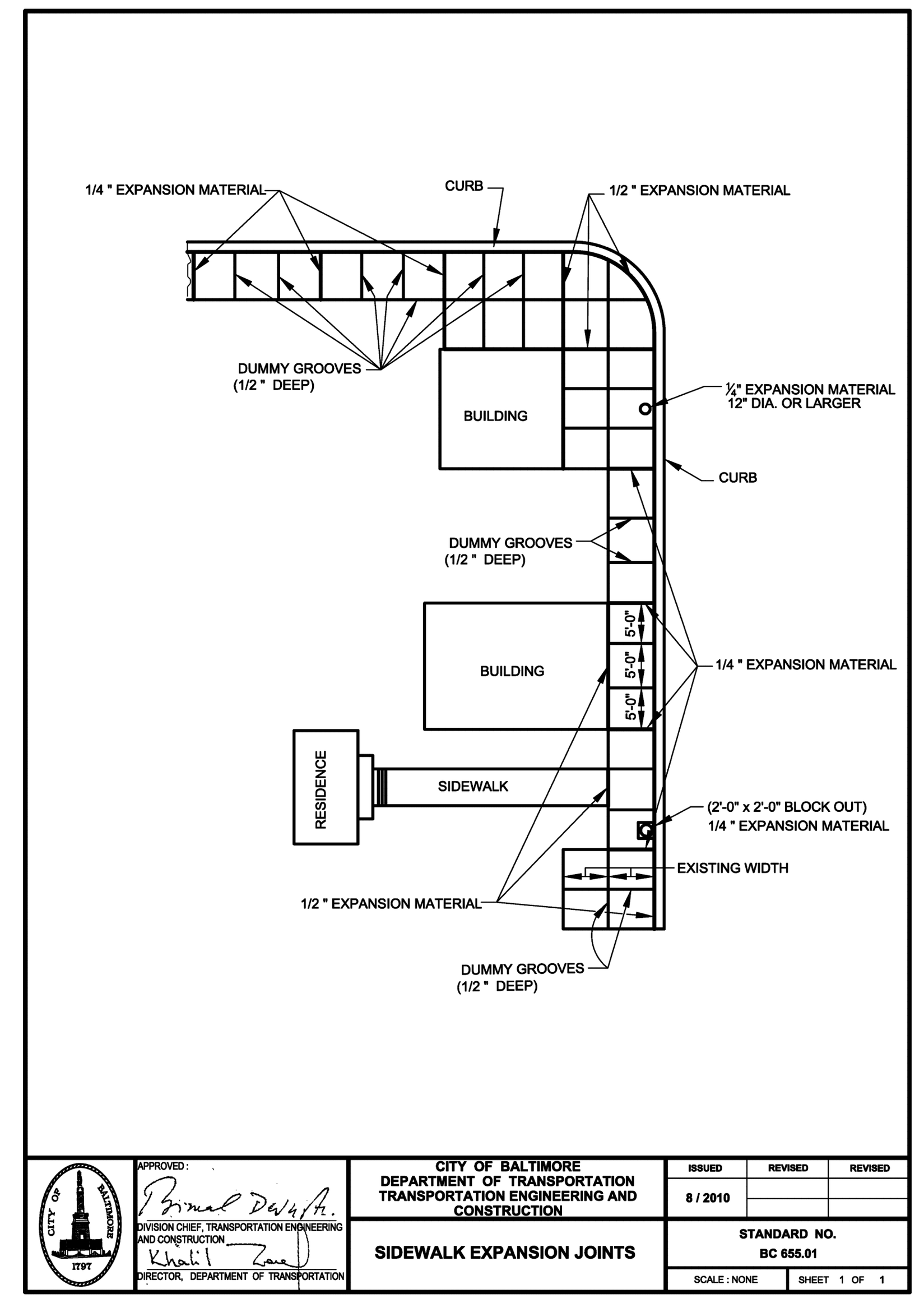
NO.	DATE	REVISIONS:	BY
			SLD

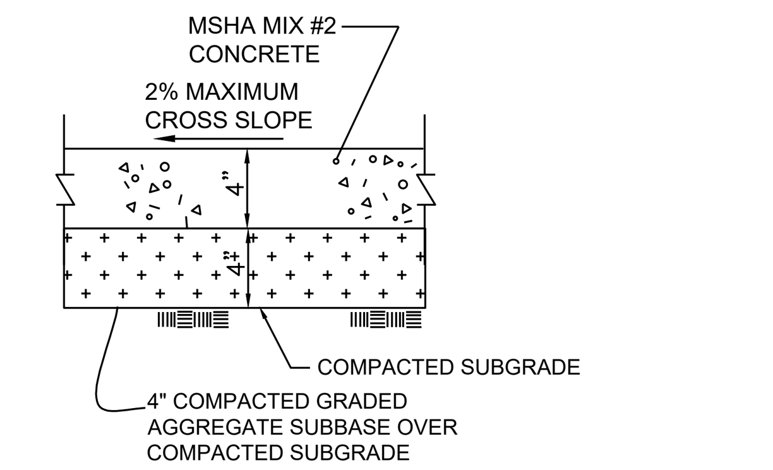
SCALE: 1"= 10'
DATE: JUNE 1, 2023
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SIT-2
SHEET 2 OF 10

Construction Notes

1. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
2. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE BALTIMORE CITY PLUMBING CODE, UNLESS OTHERWISE NOTED.
3. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN. ALL QUANTITIES SHOWN*, INCLUDING EARTH QUANTITIES ON SEDIMENT CONTROL DRAWINGS,* ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY AND MUST BE VERIFIED BEFORE FINALIZING BIDS OR ORDERING ANY MATERIALS.
6. THE LOCATIONS OF EXISTING AND PROPOSED UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM EXISTING RECORDS OR SITE PLANS AND DO NOT REPRESENT FIELD-VERIFIED LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO PLACEMENT OF ANY MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT COLBERT MATZ ROSENFELT, INC., THE OWNER/DEVELOPER AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY SUCH DISCOVERED EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
7. *CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION. WHERE REQUIRED BY BALTIMORE CITY, PRIOR TO BEGINNING ANY CONSTRUCTION, 3 FOOT HIGH ORANGE PLASTIC SAFETY NETTING OR WOODEN SNOW FENCE SHALL BE ERECTED AS SHOWN AROUND EACH TREE DESIGNATED FOR PROTECTION.*
8. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED AS PART OF THIS PROJECT. SAID REMOVAL SHALL BE INCLUDED IN THE BASE BID.
9. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO ANY DAMAGED EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN. ALL DEMOLITION/REMOVED MATERIALS SHALL BE DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY COLBERT MATZ ROSENFELT, INC. OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM COLBERT MATZ ROSENFELT, INC. WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE COMPLETION OF THIS PROJECT, UNLESS DIRECTED OTHERWISE.
12. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
13. SEE MECHANICAL AND ELECTRICAL PLANS FOR DETAILS AND LOCATIONS OF LIGHTING, GAS, ELECTRIC, ETC.
14. PREFORMED ELASTOMERIC COMPRESSION JOINT MATERIAL SHALL BE INSTALLED AT ALL MEETINGS OF EXISTING AND/OR PROPOSED CONCRETE CONSTRUCTION, INCLUDING CURBS, PAVING AND SIDEWALKS, AND AS NOTED HEREON.
15. REFER TO STANDARD NO BC 655.01 FOR LAYOUT OF SIDEWALK EXPANSION JOINTS.
16. SIDEWALK WITHIN PUBLIC RIGHT-OF WAY TO CONFORM TO BALTIMORE CITY DEPARTMENT OF TRANSPORTATION STANDARDS. SLOPE, WIDTH, AND LOCATION AS SHOWN ON THESE PLANS. SIDEWALK ONSITE SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN ON THESE PLANS. CROSS-SLOPES OF SIDEWALKS SHALL NOT EXCEED 2%.
17. ALL HANDICAPPED RAMPS SHALL BE IN ACCORDANCE WITH THE LATEST ADA REGULATIONS.
18. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE A MINIMUM 4 FOOT WIDE EARTHEN BENCH BEYOND EDGE OF PAVING OR FACE OF CURB IN ALL FILL AREAS. MAXIMUM SLOPE OF BENCH AWAY FROM PAVING IN ALL FILL AREAS SHALL BE 4 PERCENT. (1/2 IN PER FOOT), UNLESS OTHERWISE NOTED.
19. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
20. CONTRACTOR SHALL PLACE MINIMUM 4 INCHES TOPSOIL IN ALL LANDSCAPE AREAS. TOPSOIL SHALL MEET MDSHA STD. 920.01 AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.
21. EARTHWORK:
    21.1. ALL EARTHWORK SHALL BE AS DIRECTED BY GEOTECHNICAL ENGINEER OR AS OUTLINED IN THE GEOTECHNICAL REPORT. IF NO GEOTECHNICAL REPORT IS AVAILABLE AND NO GEOTECHNICAL ENGINEER IS ENGAGED FOR THIS PROJECT, ALL EXCAVATED AREAS SHALL BE BACKFILLED AND COMPACTED TO 90 PERCENT DENSITY AS DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR). ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND PLACEMENT OF ALL FILL MATERIAL SHALL BE IN 8 IN THICK LOOSE COURSES AND COMPACTED. COMPACTION UNDER PARKING SURFACE SHALL BE TO A MINIMUM OF 90 PERCENT DENSITY AS DETERMINED BY ASTM D-1557. COMPACTION WITHIN BUILDING AREAS AND UNDER ALL UTILITY STRUCTURES SHALL BE TO A MINIMUM OF 95 PERCENT DENSITY AS DETERMINED BY ASTM D-1557.
    21.2. ALL 2:1 SLOPES SHOWN ON THESE PLANS, EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEER DURING EARTH PLACEMENT.
22. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER ALL PROPOSED WATER LINES. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY VERTICAL BENDS TO MAINTAIN CLEARANCE AT CROSSINGS BETWEEN OTHER UTILITIES. THE CONTRACTOR IS ADVISED TO REVIEW THE STORM DRAIN AND SEWER PROFILES TO DETERMINE DEPTH OF WATER MAIN AT CROSSINGS.
23. ALL PRIVATE UTILITIES AND APPURTENANCES SHALL MEET THE LATEST STANDARDS AND SPECIFICATIONS OF THE BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS AND THE BALTIMORE CITY PLUMBING CODE, UNLESS OTHERWISE NOTED.
24. CONTRACTOR SHALL HAVE THE INSTALLATION OF ALL PRIVATE UTILITIES INSPECTED BY BALTIMORE CITY.
25. ALL WATER MAINS SHALL BE STERILIZED AND PRESSURE TESTED IN ACCORDANCE WITH THE BALTIMORE CITY REQUIREMENTS.
26. 4" FIRE SERVICE TO BE DUCTILE IRON PIPE SHALL BE CLASS 54, THICKNESS 0.35". AWWA C150/A.21.50.98/ TABLE 15 OR LATEST. DUCTILE IRON PIPE FITTINGS SHALL MEET THE LATEST AWWA C110/A.21.10 AND C153/A.21.51 (PRESSURE RATING SHALL BE 350 PSI). WATER SERVICE SHALL BE 2" TYPE K COPPER.
27. ALL FIRE LINE PIPING, FITTINGS, AND JOINTS SHALL MEET THE REQUIREMENTS SET FORTH IN NFPA. PIPE SHALL BE UL LISTED, FM APPROVED AND MEET AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
28. THRUST BLOCKS SHALL BE PROVIDED AT ALL CHANGES IN DIRECTION IN ALL WATER LINES 4 INCHES AND LARGER, AND AT ALL TEES, PLUGS, AND BENDS, 4 INCHES AND LARGER.
29. ALL VALVES LARGER THAN 2 IN CONTROLLING WATER SUPPLIES SHALL BE INSTALLED IN SECTIONAL VALVE VAULTS IN ACCORDANCE WITH THE BALTIMORE CITY STANDARDS. ROADWAY BOXES ARE NOT ACCEPTABLE.
30. THE TOPS OF ALL VALVE BOXES, VAULTS, INLETS, MANHOLES AND OTHER PROPOSED UTILITY STRUCTURES SHALL BE SET TO FINISH GRADE.
31. BOTTOM OF ALL TRENCHES SHALL BE EXCAVATED FOR PIPE BELLS TO ENSURE LENGTH OF MAIN IS SUPPORTED BY TRENCH BOTTOM.
32. CONTRACTOR SHALL MAINTAIN A 12 IN VERTICAL MINIMUM CLEARANCE BETWEEN ALL SEWER AND WATER SERVICES AND STORM DRAINS, UNLESS OTHERWISE NOTED. WHERE MINIMUM CLEARANCE REQUIREMENTS FOR THE SEWER AND WATER MAINS AND SERVICES CANNOT BE MET, 6 IN CONCRETE ENCASEMENT ON SANITARY SEWER SHALL BE PROVIDED FOR A LENGTH OF 10 FT EACH SIDE OF WATER MAIN.
33. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER ALL STORM DRAIN PIPES DURING CONSTRUCTION.
34. THE CONTRACTOR SHALL GRADE ALL AREAS WITHIN THE LIMITS OF CONSTRUCTION AND SHALL WARP ALL PAVING AS NECESSARY TO ENSURE POSITIVE DRAINAGE IN THE DIRECTION INDICATED ON THE PLAN. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS BETWEEN CONVENTIONAL AND REVERSE SLOPE CURB SO AS TO CREATE POSITIVE DRAINAGE AT ALL TIMES.
35. CONTRACTOR SHALL COORDINATE ANY ADJUSTMENT AND/OR RELOCATION OF SIGNAL, UTILITY AND/OR LIGHT POLES AND/OR STRUCTURES WITH PROPER UTILITY COMPANY. BRACING OF POLES TO BE PROVIDED DURING CONSTRUCTION AS NEEDED. SAID RELOCATION AND/OR POLE BRACING TO BE COORDINATED WITH OWNER OF UTILITY, OWNER'S ENGINEER AND COLBERT MATZ ROSENFELT, INC. ALL SUCH RELOCATION, ADJUSTMENT AND/OR POLE BRACING SHALL BE INCLUDED IN BASE BID.
36. CONTRACTOR SHALL PROVIDE FULL TRENCH COMPACTION FOR ALL SITE UTILITIES, UNLESS OTHERWISE NOTED.
37. THE TOP ELEVATION OF ALL EXISTING WATER METERS, VALVES, FIRE HYDRANTS, HANDBOXES, MANHOLES AND OTHER UTILITIES WITHIN THE WORK AREA WHICH ARE INTENDED TO REMAIN SHALL BE ADJUSTED AS NECESSARY TO MATCH PROPOSED GRADE SMOOTHLY AND FLUSH WITH SURFACE SO AS TO NOT CREATE ANY TRIPPING HAZARD OR OTHER IMPEDIMENT TO PEDESTRIAN PASSAGE. CONTRACTOR SHALL COORDINATE ADJUSTMENTS WITH THE OWNER OF EACH EXISTING UTILITY PRIOR TO MAKING ANY ADJUSTMENTS TO THE UTILITY.
38. ALL PRIVATE SANITARY SEWER PIPE SHALL BE PVC - SDR-26 WITH SDR-35 FITTINGS, OR APPROVED EQUAL, IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS AND THE BALTIMORE CITY PLUMBING CODE, UNLESS OTHERWISE NOTED.
39. ALL PRIVATE STORM DRAIN PIPE SHALL BE HDPE CONFORMING TO AASHTO M-294, TYPE 'S' OR PVC - SDR-26 WITH SDR-35 FITTINGS, AND SHALL BE AS MANUFACTURED BY NYOPLAST, NDS, ADS, OR APPROVED EQUAL. ALL CLEANOUTS IN TRAFFIC AREAS SHALL HAVE REMOVABLE CAST IRON OR BRONZE COVERS.
40. PROPOSED FENCE TO BE SPECIFIED BY OWNER AS SHOWN ON ARCHITECTURAL DRAWINGS.
41. ALL SIGNAGE SHALL MEET THE SPECIFICATIONS & STANDARDS OF THE US FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION, AS AMENDED.32.
42. TOPOGRAPHY WITHIN LIMITS OF PROPERTY BOUNDARIES, AND INCLUDING EXISTING SIDEWALK, SHOWN ON THESE PLANS ARE BASED ON SURVEY PREPARED BY COLBERT MATZ ROSENFELT, INC. TOPOGRAPHY OUTSIDE OF PROPERTY LIMITS IS TAKEN FROM GIS, PUBLIC RECORDS AND SITE PLANS AND DOES NOT REPRESENT A FIELD SURVEY.
43. GAS AND ELECTRICITY SERVICES SHALL BE COORDINATED WITH LOCAL PROVIDER. ORDERING GAS AND ELECTRICITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ROUTING SHOWN IS PICTORIAL REPRESENTATION ONLY- FINAL ROUTING AND CONNECTION POINTS TO BE DETERMINED BY LOCAL PROVIDER. CONTRACTOR IS RESPONSIBLE TO INSTALL ALL ITEMS REQUIRED BY LOCAL PROVIDER TO PROVIDE SERVICES.

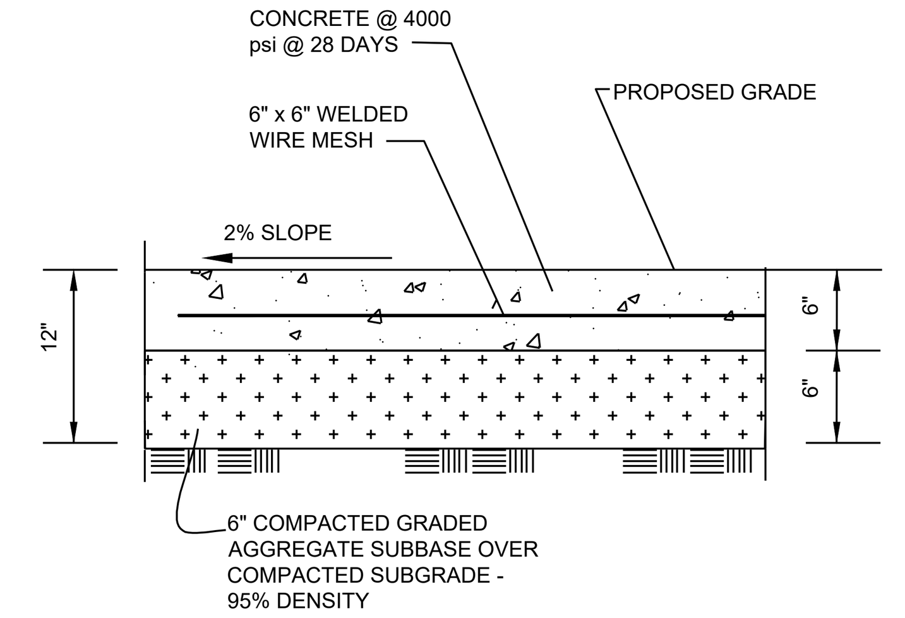






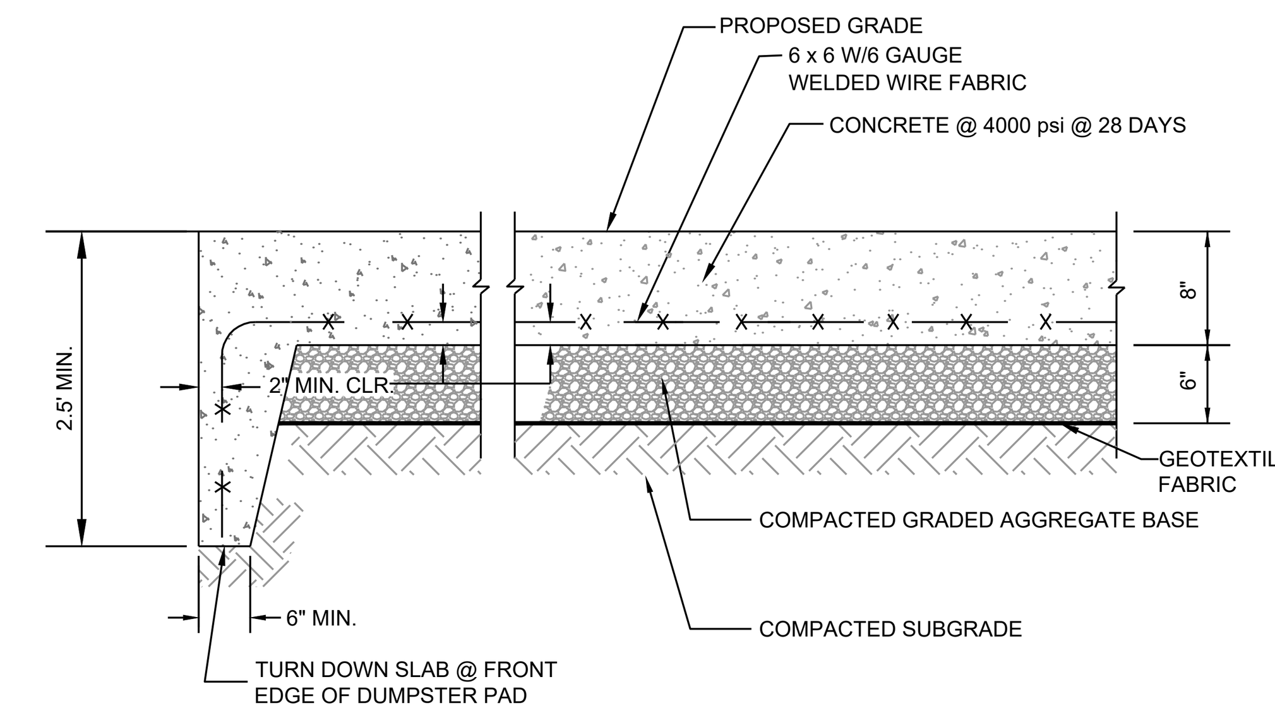
TYPICAL ONSITE CONCRETE WALK DETAIL

NOT TO SCALE



HEAVY-DUTY CONCRETE WALK DETAIL

NOT TO SCALE



HEAVY-DUTY CONCRETE PAD DETAIL

NOT TO SCALE

Notes for All Concrete Paving

1. PAVEMENT SECTION SHALL ADHERE TO GUIDELINES PROVIDED IN GEOTECHNICAL REPORT FROM D.W. KOZERA DATED 1/28/2021.
2. COMPACTED SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY GEOTECHNICAL ENGINEER OF RECORD. CONTRACTOR SHOULD EXPECT AN UNDERCUT AND REPLACEMENT OF 2-FT. WHERE SITE GRADES REQUIRE LESS THAN 2-FT. OF GRADE RAISE FILL
3. ALL EXPOSED CONCRETE EDGES, INCLUDING THOSE AT EXPANSION JOINTS, SHALL BE FINISHED TO ¼" RADIUS.
4. CONTRACTION JOINTS SHALL BE SPACED AT 10' O/C MAXIMUM, WITH ONE ADDITIONAL CONTRACTION JOINT ALONG CENTERLINE OF CONCRETE LANE. ALL CONTRACTION JOINTS SHALL BE SAWN WITHIN 24 HOURS OF POUR. ALTERNATE CONTRACTION JOINTS SHALL BE SAWN SAME DAY OF POUR.
5. REINFORCING WIRE MESH SHALL CONFORM TO AASHTO M55 AND SHALL BE SUPPLIED IN FLAT SHEETS. CURING COMPOUND SHALL BE WHITE PIGMENTED COMPOUND.
6. ALL PAVEMENT SHALL RECEIVE BROOM FINISH. BROOM STROKES SHALL BE PERPENDICULAR TO DIRECTION OF TRAFFIC FLOW.

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

ESD #7533

SITE DETAILS AND SPECIFICATIONS

ST. FRANCIS NEIGHBORHOOD CENTER
2401–09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653–3838
Facsimile: (410) 653–7953

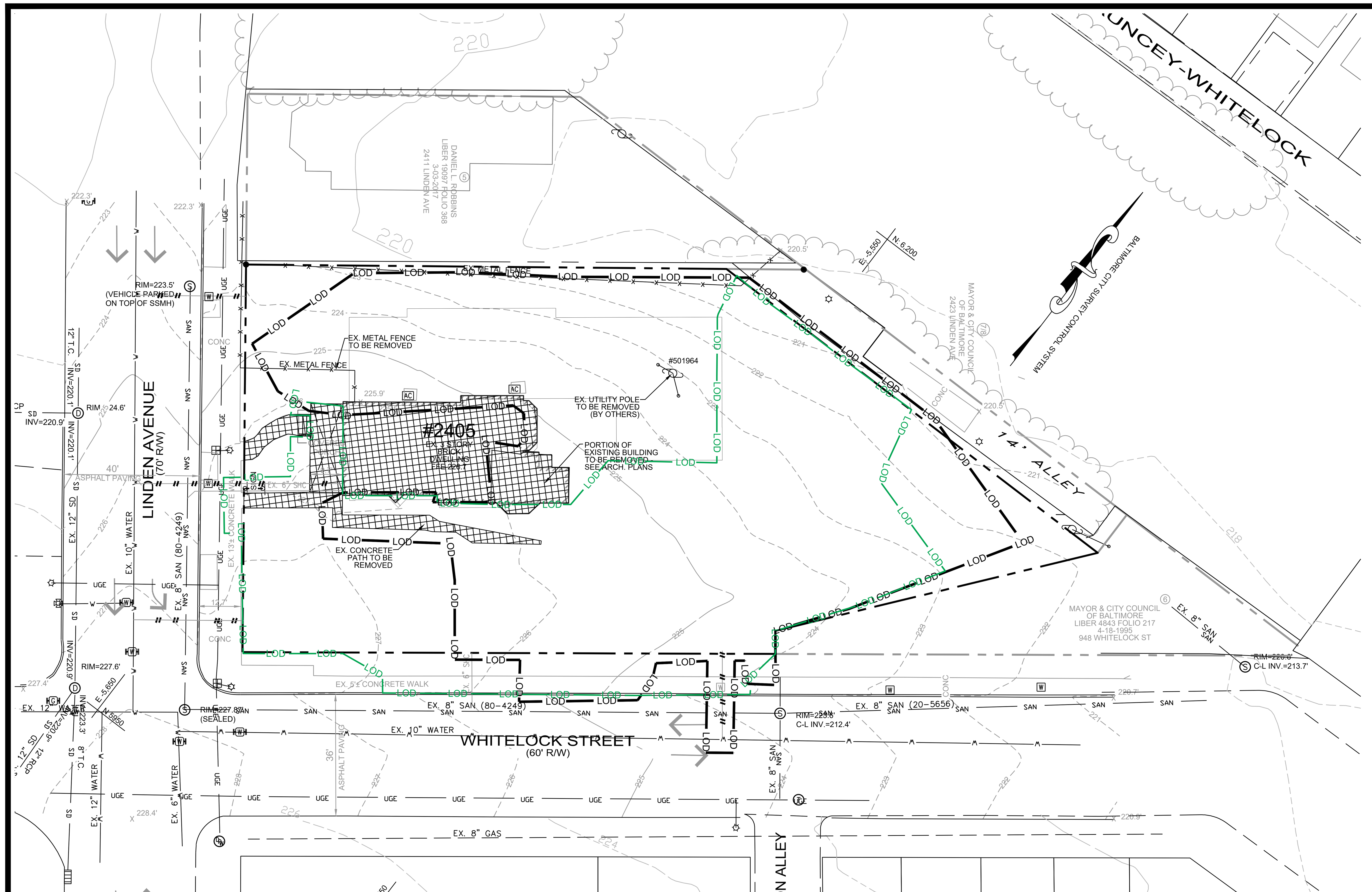
STATE OF MARYLAND · ROBERT S. ROSENFELT · 12311 · PROFESSIONAL ENGINEER
8/29/2023

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

NO.	DATE	REVISIONS:	BY

SCALE: 1"= 20'
DATE: MARCH 1, 2023
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SIT-3
SHEET 3 OF 10

Drawing file: N:\LD2I\PROJECT\2016\2016149.2 (ST FRANCIS ADDITION)\DWG\PLOT SHEETS\2016149.2 SIT-3.DWG Plotted by McGuire, Theresa on Wednesday, March 1, 2023.



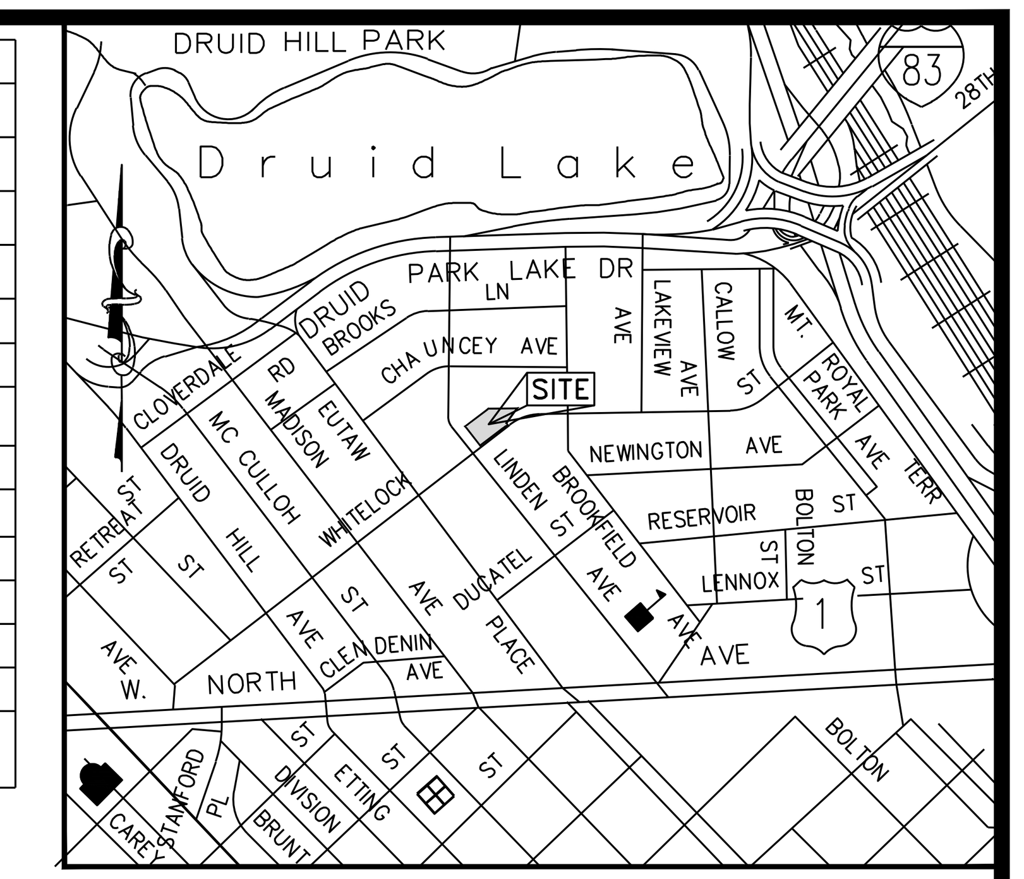
EXISTING CONDITIONS MAP
SCALE: 1"=20'

LEGEND:

- PROPERTY LINE
- ZONING BOUNDARY (R-1 / R-5)
- EXISTING CONTOURS
- EXISTING EDGE OF PAVING
- DIRECTION OF VEHICULAR TRAFFIC
- DENOTES FRONT OF BUILDING
- LIMITS OF WORK (LOW)
- LIMITS OF DISTURBANCE (LOD)
- EXISTING STORM DRAIN
- EXISTING SANITARY
- EXISTING WATER
- EXISTING GAS
- EXISTING ELEC. CONDUIT
- EXISTING TREE LINE
- EXISTING STORM DRAIN INLET
- EXISTING BUILDING

SYMBOL LEGEND

- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- TELEPHONE MANHOLE
- DPW MANHOLE
- UTILITY POLE
- HAND BOX
- LIGHT POLE
- HVAC UNIT
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- GAS VALVE
- SIGN
- TREE (DECIDUOUS)



VICINITY MAP
SCALE: 1" = 1000'

Natural Resources Inventory

Federal Regulated	
Present? (Y/N)	Feature
N	Wetlands
N	Major Waterways
N	Floodplains

State Regulated	
Present? (Y/N)	Feature
N	Tidal and Nontidal Wetlands
N	Wetlands of Special State Concern
N	Wetland Buffers
N	Stream Buffers
N	Floodplains
N	Forests/Forest Buffers
N	Critical Areas

Local Regulated	
Present? (Y/N)	Feature
Y	Steep Slopes
N	Highly Erodible Soils
N	Enhanced Stream Buffers
Y	Topography / Slopes
N	Springs
N	Seeps
N	Intermittent Streams
Y	Vegetative Cover
Y	Soils
N	Bedrock/Geology
Y	Existing Drainage Area
N	Existing SWM Facilities

BENCHMARK/DATUM

COORDINATES AND NORTH SHOWN HEREON REFER TO THE BALTIMORE CITY HORIZONTAL DATUM. BASED ON THE FOLLOWING BALTIMORE CITY CONTROL STATIONS:

STATION	NORTHING	EASTING
22145	7,044.618	-5,980.636
22146	6,947.011	-6,193.947

ELEVATIONS SHOWN HEREON REFER TO THE BALTIMORE CITY VERTICAL DATUM. BASED ON THE FOLLOWING BALTIMORE CITY BENCHMARK:

BENCHMARK	ELEVATION
6522	226.262

EX. SYMBOL LEGEND

- LIGHT POLE
- COMMUNICATIONS MANHOLE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- TRAFFIC SIGNAL POLE
- GAS VALVE
- SANITARY SEWER MANHOLE
- CLEAN-OUT
- STORM SEWER MANHOLE
- PUBLIC UTILITIES MANHOLE
- HAND BOX
- UNKNOWN MANHOLE
- UTILITY POLE
- GUY WIRE
- TRAFFIC SIGN
- DECIDUOUS TREE
- EXISTING BOLLARD

SOILS GROUPS

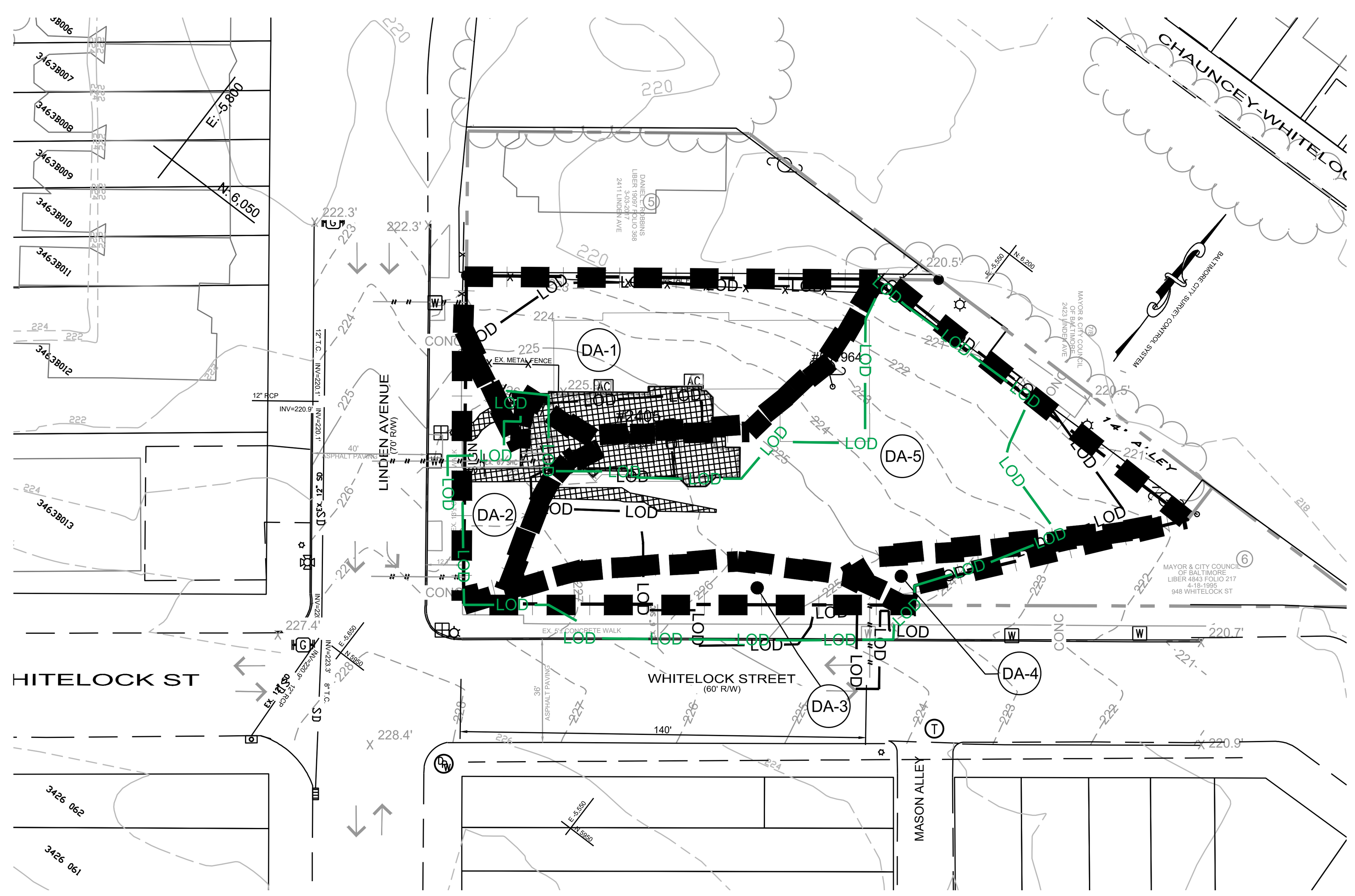
MAP SYMBOL	MAPPING UNIT	HSG
31UB	URBAN LAND-SASAFRASS, 0 TO 8 PERCENT SLOPES	D

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING EDGE OF PAVING
- LIMITS OF DISTURBANCE (LOD)
- EXISTING STORM DRAIN
- EXISTING SANITARY
- EXISTING WATER
- EXISTING GAS
- EXISTING IMPERVIOUS SURFACE W/IN STUDY AREA
- DRAINAGE AREA DIVIDE

11-23-2021
SWM AS-BUILT CERTIFICATION SUBMITTAL 11/23/2021
MODIFICATION FOR BUILDING ADDITION
Modification 8/29/2023

ESD #7533



DRAINAGE AREA MAP - EXISTING CONDITIONS
SCALE: 1"=40'

DRAINAGE AREA DATA

- DA-1: 0.139 AC
- DA-2: 0.046 AC
- DA-3: 0.037 AC
- DA-4: 0.015 AC
- DA-5: 0.269 AC

ESDv=(Pe/12) x Rv x A
Pe=ESDv x Rv x A/12
Rv=0.05+(0.009 x I)
I=Imp. AREA/DA
REv=S x Rv x A/12
S=0.08 ("D" SOILS)

IART REQUIRED	~~0.151~~ AC 0.181 AC
IART PROVIDED	~~0.118~~ AC 0.134 AC
Pe PROVIDED (FOR OVERALL PROJECT)	~~0.5~~ IN 0.6 IN
Pe REQUIRED (FOR OVERALL PROJECT)	2.0 IN.

LIMIT OF DISTURBANCE: 0.337 AC/14,700 SF
EXISTING IMPERVIOUS AREA: 0.010 AC
PROPOSED IMPERVIOUS AREA: 0.151 AC

TABLE 1-A: HYDROLOGY SUMMARY

STORMWATER MANAGEMENT STORAGE REQUIREMENTS–OVERALL SITE

	EXISTING CONDITIONS SITE DISCHARGE (CFS)	PROPOSED CONDITIONS SITE DISCHARGE w/ SWM (CFS)	REQUIRED STORAGE VOLUME (CF)	PROPOSED STORAGE VOLUME (CF.)	NOTES
ESDv	N/A	N/A	~~1041~~ 1248	~~237~~ 319	ESDv REQ'S TO BE MET BY RAINWATER HARVESTING, RAIN GARDEN AND FEE IN LIEU
REv	N/A	N/A	~~42~~ 50	~~42~~ 49	
CPv	N/A	N/A	N/A	N/A	
Q10 TO LOT 5	0.70	0.53	N/A	N/A	THE PROJECT HAS MINIMAL INCREASE IN SITE RUNOFF. A FEE-IN-LIEU WILL PROVIDE FOR QUANTITATIVE CONTROL.
Q100 TO LOT 5	1.10	0.82	N/A	N/A	
Q10 TO ALLEY	1.30	1.71	N/A	N/A	
Q100 TO ALLEY	2.08	2.60	N/A	N/A	
Q10 TO LOT 6	0.07	0.20	N/A	N/A	
Q100 TO LOT 6	0.11	0.32	N/A	N/A	
Q10 TO WHITELOCK	0.17	0.14	N/A	N/A	
Q100 TO WHITELOCK	0.28	0.21	N/A	N/A	
Q10 TO LINDEN	0.26	0.30	N/A	N/A	
Q100 TO LINDEN	0.40	0.46	N/A	N/A	

ENVIRONMENTAL SITE DESIGN SUMMARY TABLE

PRACTICE	SURFACE AREA (SF)	DRAINAGE AREA (ACRE)	IMPERVIOUS AREA TREATED, IART (ACRE)	REQUIRED STORAGE VOLUME, ESDv (CF)	PROVIDED STORAGE VOLUME, ESDv (CF)	P_E REQUIRED (INCHES)	P_E PROVIDED (INCHES)
RAIN GARDEN	~~210~~ 243	~~0.241~~ 0.182	~~0.117~~ 0.127	N/A	~~221~~ 358	2.0	~~0.5~~ 1.1
RAINWATER HARVESTING	~~4-30 GAL DRUMS~~ 12	~~0.001~~ 0.007	~~0.001~~ 0.007	N/A	~~16~~ 48	2.0	~~0.0~~ 2.1

NOTE: A FEE-IN-LIEU WILL BE PROVIDED FOR PORTION OF IART THAT WILL NOT BE TREATED BY ESDv PRACTICES.

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

STORMWATER MANAGEMENT PLAN EXISTING CONDITIONS AND DRAINAGE AREA MAP

ST. FRANCIS NEIGHBORHOOD CENTER
2401-09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

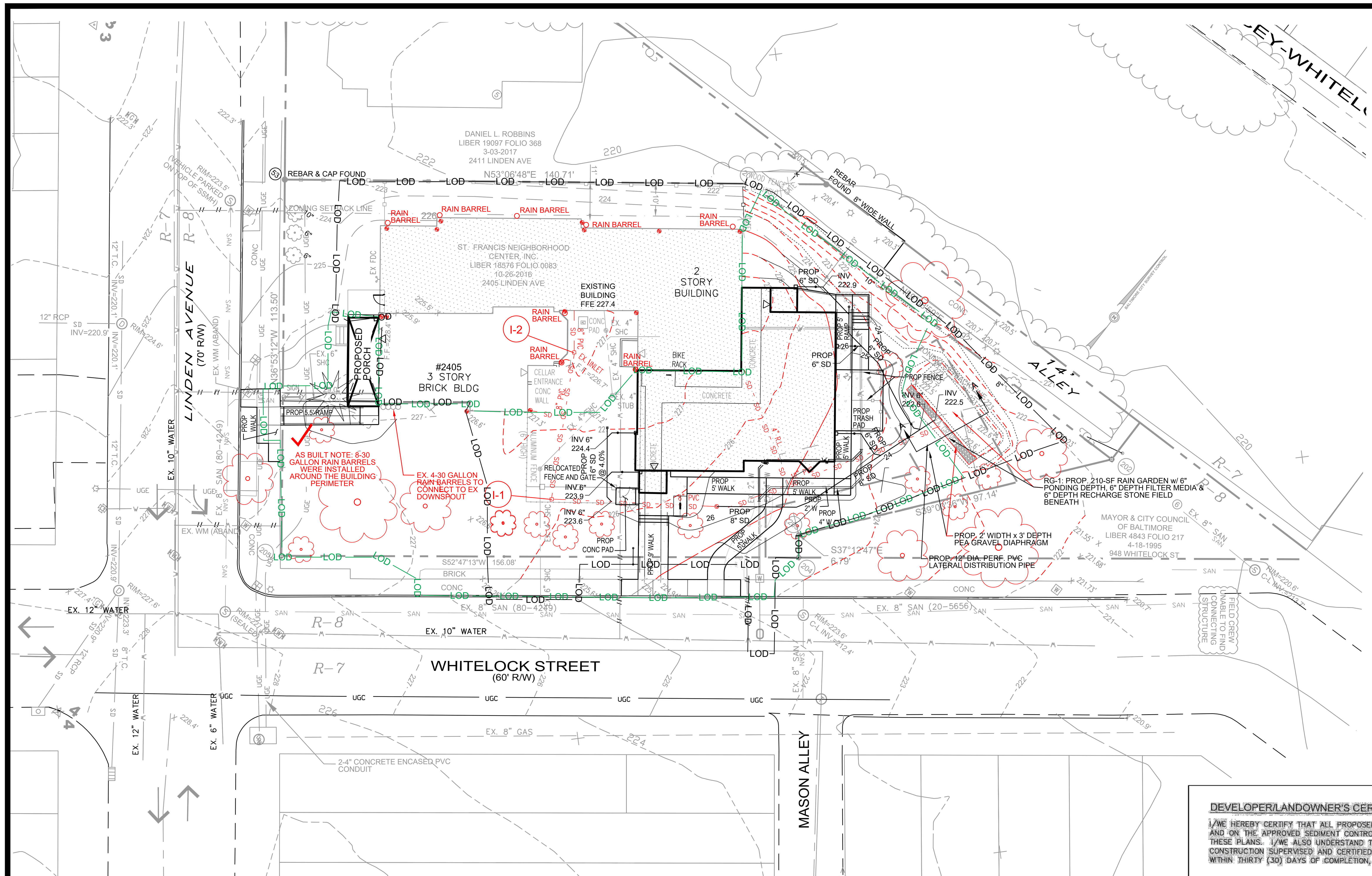
Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653-3838
Facsimile: (410) 653-7953

3/22/2019

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

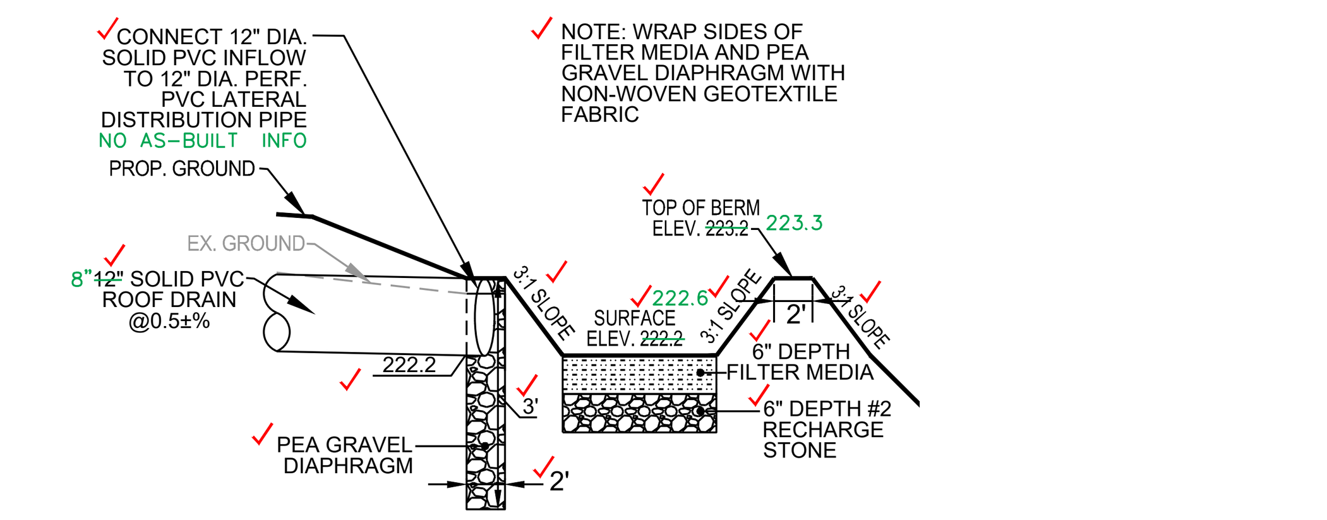
NO.	DATE	REVISIONS:	BY
1	03/01/2023	BUILDING ADDITION	CMR

SCALE: 1"= 20'
DATE: MARCH 22, 2019
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SWM-1
SHEET 4 OF 10



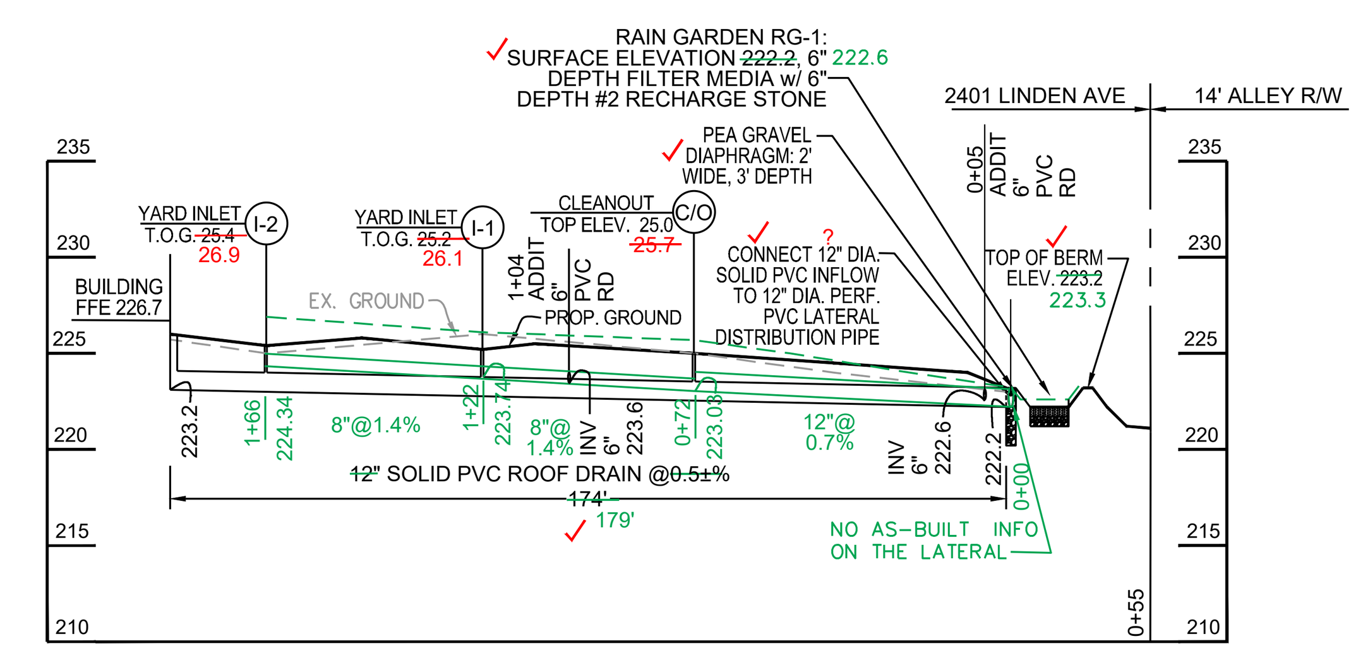
PROPOSED CONDITIONS PLAN

SCALE: 1"=20'



RAIN GARDEN RG-1 SECTION A-A

HORIZ. SCALE 1"=10'
VERTICAL SCALE 1"=2'



STORMWATER PROFILE

HORIZ. SCALE 1"=40'
VERTICAL SCALE 1"=10'

General SWM Plan Notes

1. COORDINATES ARE BASED ON THE MARYLAND STATE COORDINATE SYSTEM NAD 27 (OR 83) DATUM PROJECTED BY THE DEPARTMENT OF PUBLIC WORKS OF BALTIMORE CITY, MARYLAND.
2. ELEVATIONS ARE BASED ON THE U.S.C. AND G.S. 1929 DATUM PROJECTED BY THE BALTIMORE CITY DEPARTMENT OF PLANNING AND ZONING.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS STANDARD DETAILS FOR CONSTRUCTION OF STORM DRAINS, ROADS AND STORMWATER MANAGEMENT.
4. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM DUE TO THEIR NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
5. THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION. NEITHER THE OWNER NOR BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS WARRANT OR GUARANTEE THE COMPLETENESS OR THE CORRECTNESS OF THE INFORMATION GIVEN.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
7. THE CONTRACTOR SHALL NOTIFY BGE, (410) 685-0123, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
8. THE CONTRACTOR SHALL NOTIFY THE VERIZON TELEPHONE COMPANY, (410) 224-9497, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
9. THE CONTRACTOR SHALL NOTIFY THE BALTIMORE CITY DEPARTMENT OF PLANNING AND ZONING FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
10. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 1-800-257-7777 FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
11. ALL UTILITY POLES SHALL BE BRACED AS NECESSARY AT CONTRACTOR'S EXPENSE. UTILITY POLES SHALL BE RELOCATED AT THE OWNER'S EXPENSE IN CASES WHERE THEY WILL INTERFERE WITH CONSTRUCTION.
12. PIPE ELEVATIONS REFER TO INVERTS UNLESS OTHERWISE NOTED.
13. ALL STORM DRAIN PIPES SHALL BE HDPE, N-12, RCCP CL IV OR ACCMP, UNLESS OTHERWISE NOTED.

AS-BUILT DATA FOR STRUCTURE RG-1

*TO BE COMPLETED BY THE CERTIFYING ENGINEER

TYPE OF FACILITY: RAINGARDEN	DESIGN	AS-BUILT* 243 SF / 222.6 / 223.1
SURFACE AREA / SURFACE ELEVATION / ESDv WSEL	210 SF / 222.2 / 222.8	~~210 SF / 222.2 / 222.8~~
SURFACE PONDING DEPTH	6"	6"
ESDv STORAGE VOLUME	221 CF	~~221 CF~~ 358
FREEBOARD DEPTH	6"	6"
TOP OF BERM	223.2	~~223.2~~ 223.3
FILTER MEDIA DEPTH	6"	6"
PEA GRAVEL DIAPHRAGM: DIMENSIONS	2' WIDTH x 3' DEPTH	2' WIDTH x 3' DEPTH
PEA GRAVEL DIAPHRAGM: DISTRIBUTION PIPE MATERIAL / SIZE	PERFORATED PVC / 12" DIA.	PERFORATED PVC / 12" DIA.
RECHARGE STONE: DEPTH/TYPE/STORAGE VOLUME	6" / #2 / 42 CF	6" / #2 / 42 CF
MD STATE COORDINATES OF STRUCTURE (N/E)	605947 / 1414037	605947 / 1414037

AS-BUILT DATA FOR RAINWATER HARVESTING

*TO BE COMPLETED BY THE CERTIFYING ENGINEER

TYPE OF FACILITY: RAINWATER HARVESTING	DESIGN	AS-BUILT*
ESDv STORAGE VOLUME	16 CF	32 CF
STORAGE CONTAINER: TYPE / SIZE / #	PLASTIC DRUM / 30 GAL / 4	PLASTIC DRUM / 30 GAL / 8

STATE OF MARYLAND ROBERT S. ROSENFELT 12311 PROFESSIONAL ENGINEER

Modification 8/29/2023

STATE OF MARYLAND ROBERT S. ROSENFELT 12311 PROFESSIONAL ENGINEER

11-23-2021

SWM AS-BUILT CERTIFICATION SUBMITTAL 11/23/2021

MODIFICATION FOR BUILDING ADDITION

SWM Maintenance Criteria

PERIODIC INSPECTIONS:
Stormwater management facilities shall be inspected every three (3) months and after every major storm during the first year of operation. Thereafter, facilities shall be inspected semiannually. Repairs shall be performed by the owner or owner's representative at the owner's expense as necessary. Owner shall keep a written record of inspections and any remedial work necessary.

Requirements for maintenance include:

Rain Garden – Irrigate during prolonged dry periods. Remove any dead or dying vegetation and revegetate. Prune vegetation occasionally. Remove accumulated sediment from surface of filter bed when accumulation exceeds one inch. If water ponds for more than 48 hours, remove and replace the top few inches of filter media. Replace mulch layer as necessary.

STORMWATER MANAGEMENT SEQUENCE OF CONSTRUCTION

1. CONTACT THE ENGINEER-IN-CHARGE (EIC) AND BALTIMORE CITY STORMWATER MANAGEMENT INSPECTOR AT LEAST 5 DAYS BEFORE STARTING RAIN GARDEN INSTALLATION SO THAT AN ON-GOING AS-BUILT SURVEY MAY BE PREPARED.
2. INSTALL RAIN GARDEN PER SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION.
3. INSTALL RAIN BARRELS PER SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION.
4. COMPLETE AS-BUILT SURVEY.

SWM DESIGN DATA

1. LEVEL OF MANAGEMENT PROVIDED BY FACILITIES: ESDv
2. FACILITIES LOCATED WITHIN THE JONES FALLS WATERSHED.
3. THESE FACILITIES ARE PRIVATE AND SHALL BE MAINTAINED BY OWNERS.
4. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION, 2009, STANDARD SPECIFICATIONS FOR CONSTRUCTION & MATERIALS.

A REGISTERED PROFESSIONAL ENGINEER MUST BE NOTIFIED SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT HE CAN ARRANGE FOR:

A. INSPECTION OF FILTER MATERIALS, RAIN BARRELS AND FACILITY PIPES PRIOR TO INSTALLATION.
B. INSPECTION OF COMPLETED RAIN GARDEN AND RAIN BARREL INSTALLATIONS.
C. COMPLETION OF AS-BUILT SURVEY AND SUBMITTAL TO APPROPRIATE AGENCIES WITHIN 30 DAYS AFTER CONSTRUCTION.

DEVELOPER/LANDOWNER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWING(S) AND ON THE APPROVED SEDIMENT CONTROL DRAWING(S) WILL BE ACCOMPLISHED PURSUANT TO THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS WITHIN THIRTY (30) DAYS OF COMPLETION, BY A REGISTERED PROFESSIONAL ENGINEER.

Christi Green — ST. FRANCIS NEIGHBORHOOD CENTER, INC. 2405 LINDEN AVENUE BALTIMORE, MD 21217-4540 — 410.669.2612
PRINT NAME — ADDRESS — PHONE NUMBER

Christina A Green — 1.18.19
SIGNATURE — DATE

Torbin Green
Modification 9/5/2023
Torbin Green

MAINTENANCE AND LIABILITY

MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY AND APPURTENANT DRAINAGE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL ALSO BE FULLY LIABLE FOR ALL DAMAGES OR INJURIES THAT MAY BE SUSTAINED BY ANY PERSON OR PROPERTY AS A RESULT OF ANY FAILURE OR MALFUNCTION OF THE STORMWATER MANAGEMENT FACILITY AND APPURTENANCES.

Christi Green — ST. FRANCIS NEIGHBORHOOD CENTER, INC. 2405 LINDEN AVENUE BALTIMORE, MD 21217-4540 — 410.669.2612
OWNER/DEVELOPER — ADDRESS — PHONE NUMBER

Christina A Green — 1.18.19
SIGNATURE — DATE

Torbin Green
Modification 9/5/2023
Torbin Green

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE MINIMUM STANDARDS OF THE BALTIMORE CITY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS AND SPECIFICATIONS.

ROBERT S ROSENFELT — 2835 SMITH AVE. STE G BALTIMORE, MD 21209 — 410-653-3838
PRINT NAME — ADDRESS — PHONE NUMBER

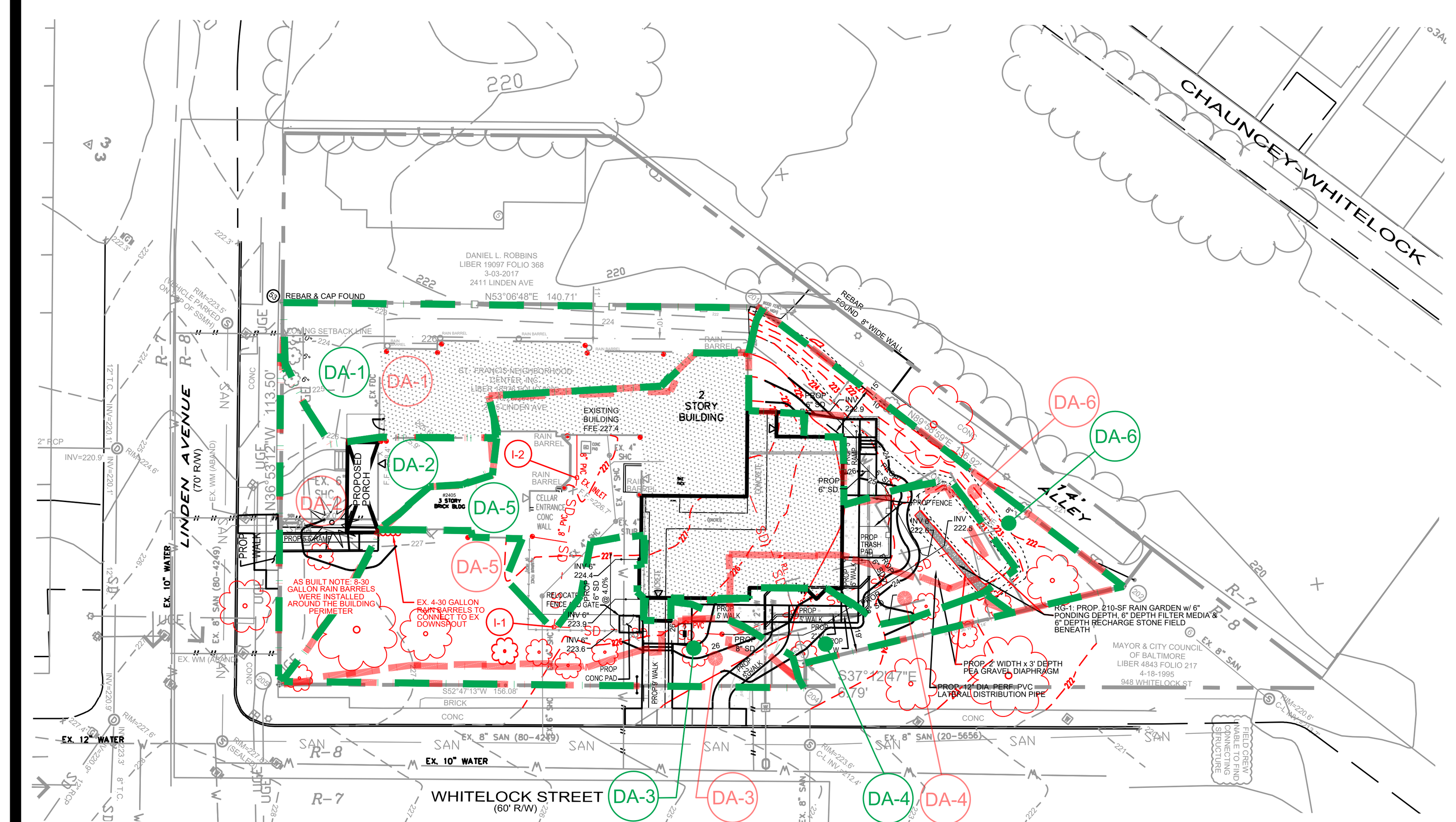
[illegible] — Modification 8/29/2023 9/13/2021 — 12311
SIGNATURE — DATE — LICENSE NUMBER

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.

ROBERT S ROSENFELT — 2835 SMITH AVE. STE G BALTIMORE, MD 21209 — 410-653-3838
PRINT NAME — ADDRESS — PHONE NUMBER

[illegible] — Modification 8/29/2023 11/23/2021 — 12311
SIGNATURE — DATE — LICENSE NUMBER



DRAINAGE AREA MAP - PROPOSED CONDITIONS

SCALE: 1"=40'

STORMWATER MANAGEMENT DISCHARGE SUMMARY									
	Existing Conditions			Proposed Conditions			Modified Conditions		
DA	2-YR (CFS)	10-YR (CFS)	100-YR (CFS)	2-YR (CFS)	10-YR (CFS)	100-YR (CFS)	2-YR (CFS)	10-YR (CFS)	100-YR (CFS)
1	0.33	0.7	1.10	0.28	0.53	0.81	0.28	0.53	0.81
2	0.13	0.26	0.4	0.16	0.3	0.46	0.16	0.3	0.46
3	0.08	0.17	0.28	0.24	0.51	0.80	0.24	0.51	0.80
4	0.03	0.07	0.11	0.06	0.12	0.19	0.06	0.12	0.19
5&6	0.61	1.30	2.08	0.81	1.48	2.20	0.81	1.48	2.20
Total	1.17	2.49	3.97	1.49	2.89	4.43	BASED ON MOD & SWM LOD		

DRAINAGE AREA DATA

- DA-1: ~~0.095~~ AC 0.092
- DA-2: 0.052 AC
- DA-3: ~~0.027~~ AC 0.101
- DA-4: ~~0.040~~ AC 0.022
- DA-5: ~~0.229~~ AC 0.182 TO RAIN GARDEN FOR QUALITY TREATMENT AND TO 14' ALLEY FOR SITE DISCHARGE ANALYSIS
- DA-6: ~~0.060~~ AC 0.054 TO 14' ALLEY FOR SITE DISCHARGE ANALYSIS

SYMBOL LEGEND	
Ⓢ	SANITARY SEWER MANHOLE
Ⓓ	STORM DRAIN MANHOLE
Ⓣ	TELEPHONE MANHOLE
ⓌⓌ	DPW MANHOLE
⊸○	UTILITY POLE
⊞	HAND BOX
☼	LIGHT POLE
AC	HVAC UNIT
⊠	FIRE HYDRANT
W	WATER VALVE
W	WATER METER
G	GAS VALVE
⊸	SIGN
✿	TREE (DECIDUOUS)

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

As-Built Plans and Certifications are required for this Stormwater Management Facility. These must be prepared and sealed by a Maryland REGISTERED PROFESSIONAL ENGINEER. Baltimore City will not perform the INSPECTION or prepare the AS-BUILT Plans or Certification. The STORMWATER MANAGEMENT PERMIT SECURITY will not be released until the As-Built Plans and Certifications are approved by Baltimore City. In order to prepare the required As-Built Plans and Certification, this Stormwater Management Facility must be INSPECTED by the ENGINEER at specific stages during construction as required by the current Baltimore City STORMWATER MANAGEMENT POLICY AND DESIGN MANUAL. The Contractor shall notify the Engineer at least five (5) Working Days prior to starting any work shown on these plans.

PROPOSED CONCRETE WALK ▨

ESD #7533

STORMWATER MANAGEMENT PLAN PROPOSED CONDITIONS AND DRAINAGE AREA MAP

ST. FRANCIS NEIGHBORHOOD CENTER
2401–09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

STATE OF MARYLAND ROBERT S. ROSENFELT 12311 PROFESSIONAL ENGINEER
3/22/19

Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653–3838
Facsimile: (410) 653–7953

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

NO.	DATE	REVISIONS:	BY
1	03/01/2023	BUILDING ADDITION	CMR

SCALE: 1"= 20'
DATE: MARCH 22, 2019
JOB NO.: 2016–149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SWM-2
SHEET 5 OF 10

Drawing file: N:\LD2\PROJECT\2016\2016149.2 (ST FRANCIS ADDITION)\DWG\PLOT SHEETS\2016149 SWM-2 AS BUILT ADDIT.DWG Plotted by McGuire, Theresa on Thursday, August 31, 2023.

Construction Specifications

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 50 foot radius around the inlet structure shall be cleared. All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

Earth Fill

Material – The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL. Consideration may be given to the use of other materials in the embankment if design and construction are supervised by a geotechnical engineer.

Placement – Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction – The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of the equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble yet not be so wet that water can be squeezed out. Where a minimum required density is specified, it shall not % of maximum dry density with a moisture content within +2% of the optimum. Each layer of fill be less than 95 shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T–99.

Structure Backfill – Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

Pipe Conduits
All pipes shall be circular in cross section.

High Density Polethylene (All Pipe and Fittings shall be ADS N–12 Double Wall or approved equal)
1. Materials – Shall conform to the requirements of S.H.A. Spec. Sect. 908.01 as follows:
   a.) Less than 8" diam. shall conform to AASHTO M252 or PVC conforming to ASTM F758 (Type PS 28), except PVC for observation wells which will have perforations all around. See ASTM D3350.
   b.) Greater than 8" but less than 12" diam. shall comform to AASHTO M252.
   c.) Greater than 12" but less than 21" diam. shall conform to AASHTO D252 or M294.
   d.) Perforated pipe furnished under AASHTO M294 shall meet the perforation requirements of AASHTO M252.
   e.) Fittings shall conform to ASTM F405.
   f.) Install in accordance with the manufacturer's recommendations.
2. Joints and connections to anti–seep collars shall be completely watertight.
3. Bedding – The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
4. Backfilling shall conform to "Structure Backfill."
5. Other details (anti–seep collars, valves, etc.) shall be as shown on the drawings.

PVC PIPE: PVC PIPE SHALL BE PVC–1120 OR PVC–1220 CONFORMING TO ASTM D–1785 OR ASTM–D–2241.

Aluminum Coated Steel Pipe, Type 2
1. Materials – (Aluminum Coated Steel Pipe, Type 2) – This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M–274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M–190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with coal applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.
2. Coupling bands, anti–seep collars, end sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.
3. Connections – All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti–seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bonds are not considered to be watertight. All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re–rolled an adequate number of corrugations to accommodate the band width. The following type connections are acceptable for pipes less than 24 inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket, pre–punched to the flange bolt circle, sandwiched between adjacent flanges; a 12–inch wide standard lap type band with 12–inch wide by 3/8–inch thick closed cell circular neoprene gasket; and a 12–inch wide hugger type band with o–ring gaskets having a minimum diameter of 1/2 inch greater than the corrugation depth. Pipes 24 inches in diameter and larger shall be connected by a 24–inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24–inch wide by 3/8–inch thick closed cell circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flanged joints with 3/8–inch closed cell gaskets the full width of the flange is also acceptable. Helically corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene bead.
4. Bedding – The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
5. Backfilling shall conform to "Structure Backfill".
6. Other details (anti–seep collars, valves, etc.) shall be as shown on the drawings.

Concrete

Concrete shall meet the minimum requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 608, Mix No. 3.

Filter Fabric

Non–woven filter fabric shall be Mirafi 140N or approved equivalent. Woven filter fabric shall be Amoco 2006 or approved equivalent.
All materials not otherwise shown or specified shall conform to the applicable requirements of the applicable requirements of the MSHA publication "Standard Specification for Construction and Materials" 1982 as amended by the 1988 supplement.
– fabric laydown:
The filter fabric roll shall be cut to the proper width prior to installation. The cut width must include sufficient material to conform to well perimeter irregularities and for an 18" minmum top overlap. Place the fabric roll over the well and unroll a sufficient length to allow placement of the fabric down into the well, stones or other anchoring objects should be placed on the fabric at the edge of the well to keep the lined well open during windy periods when overlaps are required between rolls, the upstream roll shall lap a minimum of 2 feet over The downstream roll in order to provide a shingled effect. The overlap ensures fabric continuity or the fabric continuity or the fabric conforms to the excavation surface during aggregate Placement and compaction.

Overlapping and covering:
– following aggregate placement, the fabric previously weighted by stones should be folded over the aggregate to form an 18" minimum longitudinal lap. The desired fill soil should be placed over the lap at sufficient intervals to maintain the lap during subsequent Backfiling

Voids behind fabric:
– voids can be created between the fabric and excavation sides and should be avoided, removing boulders or other obstacles from the trench walls is one source of such voids. Natural soils should be placed in these voids at the most convenient time during construction to ensure fabric conformity to the excavation sides. Soil piping, fabric clogging, and possible surface subsidence will be avoided by this remedial process.

Care of Water During Construction
All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works.
The contractor shall also furnish, install, operate and maintain all necessary pumping and other equipment required for removal of water from the various parts of the work and for maintaining the excavations, foundation and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom of required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water to sumps from which the water shall be pumped.

Erosion and Sediment Control
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.

Stone/Sand
Stone and sand for SWM Facility shall be as shown on these plans and in accordance with the latest MSHA Standards.

Stone shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials.
The stone shall be placed to the required thickness in one operation. The stone shall be delivered and placed in a manner that will insure the stone in place, shall be reasonably homogeneous with the larger stones uniformly distributed and firmly in contact one to another with the smaller stones filling the voids between the larger stones. Filter cloth shall be placed under all stone and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 919.12.

– Aggregate placement and compaction:
Drainage aggregate shall be placed in lifts and compacted using plate compactors, as a rule of thumb, a maximum loose lift thickness of 12 in. Is recommended. The compaction process ensures fabric conformity to the excavation sides, thereby reducing the potential for soil piping and fabric clogging.
– Contamination:
Care shall be exercised to prevent natural or fill soils from intermixing with the drainage Aggregate. All contaminated aggregate shall be removed and replaced with uncontaminated aggregate.
Any stone or sand which becomes contaminated during the construction process shall be removed and replaced with uncontaminated material meeting these specifications.

CARE OF WATER DURING CONSTRUCTION

ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFERDAMS, DRAINAGE CHANNELS, AND STREAM DIVERSIONS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS.

THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM THE VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY WAY WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FULL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS. THE REMOVAL OF WATER FROM THE REQUIRED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM OF REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS. DURING THE PLACING AND COMPACTING OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER TO SUMPS FROM WHICH THE WATER SHALL BE PUMPED.

EROSION AND SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS POLLUTION MINIMIZED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES TO BE EMPLOYED DURING THE CONSTRUCTION PROCESS.

GEOTEXTILE SPECIFICATIONS

geotextile fabric (if required)	ASTM-D-4833 (puncture strength - 125 lb.) ASTM-D-4632 (Tensile Strength - 300 lb.)	**0.08"** thick equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
impermeable liner (if required)	ASTM-D-4833 (thickness) ASTM-D-412 (tensile strength 1,100 lb., elongation 200%) ASTM-D-624 (Tear resistance - 150 lb./in) ASTM-D-471 (water adsorption: +8 to -2% mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	F 758, Type PS 28 or AASHTO-M-278	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes, not necessary underneath pipes
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, f'_c = 3500 psi, normal weight, air-entrained; re-inforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) *not using previously approved State or local standards* requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast)	per pre-cast manufacturer	n/a	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	n/a	structural steel to be hot-dipped galvanized ASTM-A-123

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

11-23-2021

Modification 8/29/2023

SWM AS-BUILT CERTIFICATION SUBMITTAL 11/23/2021

ESD #7533

STORMWATER MANAGEMENT CONSTRUCTION SPECIFICATIONS

ST. FRANCIS NEIGHBORHOOD CENTER
2401–09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

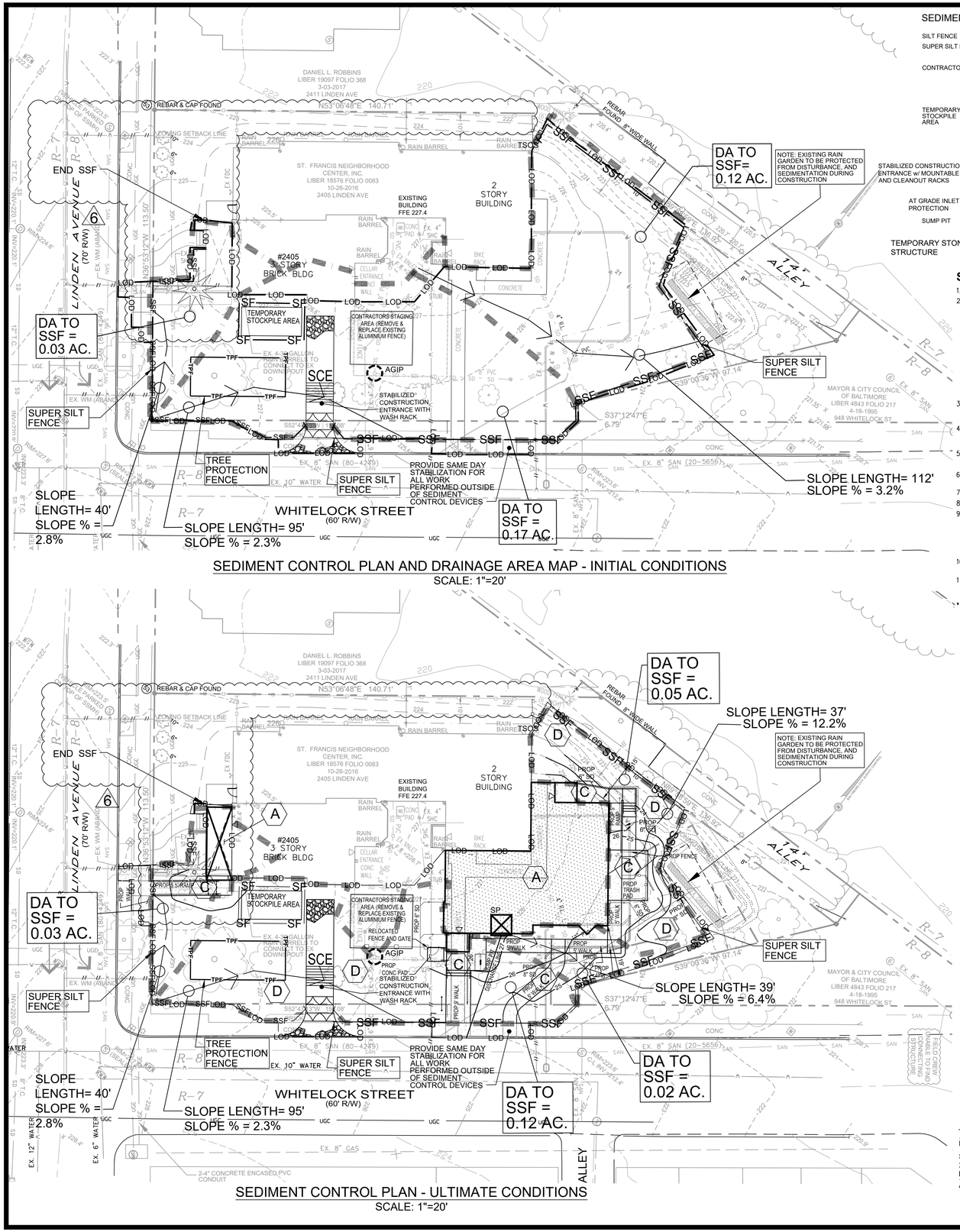
3/22/19

Colbert Matz Rosenfelt
*Engineers * Surveyors * Planners*
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653–3838
Facsimile: (410) 653–7953

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

NO.	DATE	REVISIONS:	BY
1	03/01/2023	BUILDING ADDITION	CMR

SCALE: 1"= 20'
DATE: MARCH 22, 2019
JOB NO.: 2016–149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SWM-3
SHEET 6 OF 10



SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP - INITIAL CONDITIONS

SCALE: 1"=20'

SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP - ULTIMATE CONDITIONS

SCALE: 1"=20'

SEDIMENT CONTROL LEGEND:

SILT FENCE — SF — SF —

SUPER SILT FENCE — SSF —

CONTRACTOR'S STAGING AREA — CONTRACTORS STAGING AREA

TEMPORARY STOCKPILE AREA — TEMPORARY STOCKPILE AREA

STABILIZED CONSTRUCTION ENTRANCE w/ MOUNTABLE BERM AND CLEANOUT RACKS — SCE

AT GRADE INLET PROTECTION — AGIP

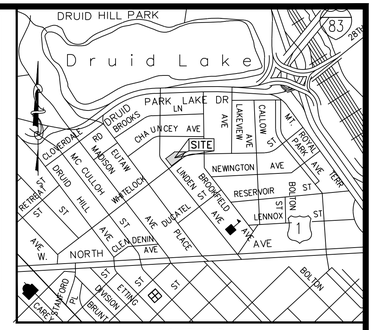
SUMP PIT — SP

TEMPORARY STONE OUTLET STRUCTURE — TSOS

LEGEND:

PROPERTY LINE	
ZONING BOUNDARY	R-7 / R-8
EXISTING CONTOURS	102
EXISTING EDGE OF PAVING	
DIRECTION OF VEHICULAR TRAFFIC	
DENOTES FRONT OF BUILDING	
LIMITS OF WORK	LOW
LIMITS OF DISTURBANCE	LOD — LOD
EXISTING STORM DRAIN	
EXISTING SANITARY	
EXISTING WATER	
EXISTING GAS	
EXISTING ELEC. CONDUIT	
EXISTING TREE LINE	
EXISTING STORM DRAIN INLET	

SYMBOL LEGEND	
S	SANITARY SEWER MANHOLE
D	STORM DRAIN MANHOLE
T	TELEPHONE MANHOLE
DPW	DPW MANHOLE
	UTILITY POLE
	HAND BOX
	LIGHT POLE
AC	HVAC UNIT
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	GAS VALVE
	SIGN
	TREE (DECIDUOUS)



VICINITY MAP
SCALE: 1" = 1000'

SEQUENCE OF OPERATIONS

1. OBTAIN PROPER PERMITS.
2. SUBMIT A WRITTEN NOTIFICATION TO THE DEPARTMENT OF PUBLIC WORKS, OFFICE OF RESEARCH AND ENVIRONMENTAL PROTECTION: 3001 DRUID PARK DRIVE, ROOM 228, BALTIMORE, MD 21215. PHONE NUMBER, 410-396-0732, FAX 410-523-9047; EMAIL: DPW.ESCINSPECTIONS@BALTIMORECITY.GOV, AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION STATING:
   A. A REQUEST FOR A PRECONSTRUCTION MEETING,
   B. WHEN CONTRACTOR INTENDS TO BEGIN CONSTRUCTION,
   C. SOURCE OF BORROW MATERIAL
   D. LOCATION OF DISPOSAL AREA WITH AN ACTIVE PERMIT TO ACCEPT SITE MATERIAL
   E. CONTRACTOR'S TENTATIVE CLOSING DATE.
3. INSTALL ORANGE HIGH VISIBILITY FENCE MANUALLY WHERE SHOWN AND LABELED AS TREE PROTECTION FENCE ON THIS PLAN, SEE DETAIL THIS SHEET.
4. CLEAR AND GRUB FOR THOSE AREAS NECESSARY FOR INSTALLATION OF PERIMETER SEDIMENT CONTROLS ONLY, WITH WRITTEN PERMISSION FROM SEDIMENT CONTROL INSPECTOR.
5. INSTALL SUPER SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM AND WASH RACK.
6. WITH WRITTEN PERMISSION FROM SEDIMENT CONTROL INSPECTOR, BEGIN SITE WORK: CLEAR AND GRUB PROJECT SITE.
7. DESIGNATE STOCKPILE AREAS FOR RELATED TOPSOIL AND RELATED FILL.
8. DESIGNATE CONTRACTOR'S RELATED STAGING AREA.
9. CONSTRUCT PROPOSED BUILDING ADDITION AND CONCRETE WALKS AND PADS AND PROVIDE FOR UTILITY CONNECTIONS PER PLANS. APPLY TEMPORARY/PERMANENT STABILIZATION AS PER STABILIZATION SCHEDULE. IF STANDING WATER OCCURS IN ANY EXCAVATED AREA, DEWATER USING A PORTABLE SEDIMENT TANK. INSTALL RAIN GARDEN AND RAIN BARRELS PER SWM SEQUENCE OF CONSTRUCTION.
10. PROVIDE PERMANENT STABILIZATION/PAVING AS PER STABILIZATION SCHEDULE.
11. OBTAIN WRITTEN PERMISSION FROM SWM/ESC INSPECTIONS BEFORE REMOVAL OF EROSION AND SEDIMENT CONTROLS. PROVIDE PERMANENT STABILIZATION FOR ANY AREAS DISTURBED BY THIS PROCESS.

* ADDRESS:
PLANS REVIEW AND INSPECTIONS SECTION
ASHBURTON TREATMENT PLANT, RM 228
3001 DRUID PARK DRIVE
BALTIMORE, MD 21215
PHONE: 410-396-0732
FAX: 410-523-9047
EMAIL: dpw.escinspections@baltimorecity.gov

SYMBOL	STABILIZATION TYPE & AREA	TYPE OF STABILIZATION	SEQUENCE OF OPERATIONS
A	BUILDING 5,500 SQ. FT.	TEMPORARY: TEMP. SEEDING	TEMPORARY: 8
		PERMANENT: STRUCTURE	PERMANENT: 8
B	ROADWAYS DRIVEWAYS 0 SQ. FT.	TEMPORARY: STONE BASE	TEMPORARY:
		PERMANENT: CONC./BIT. PAVING	PERMANENT:
C	SIDEWALKS AND CURBS 1,230 SQ. FT.	TEMPORARY: SEEDING	TEMPORARY: 8
		PERMANENT: CONC. CURB	PERMANENT: 8
D	PERVIOUS AREAS 7,970 SQ. FT.	TEMPORARY: SEEDING	TEMPORARY: 8,9
		PERMANENT: SEED/LANDSC.	PERMANENT: 8,9
E	SEDIMENT CONTROLS	TEMPORARY: SEED & STONE	TEMPORARY: 3,4,6,7,8
		PERMANENT: PAVING/SEED	PERMANENT: 8,9,10

AREAS ARE TO BE VEGETATIVELY STABILIZED TO SATISFY THE 3/7 DAY REQUIREMENT AS PER THE BALTIMORE CITY STANDARD EROSION AND SEDIMENT CONTROL NOTES.

STANDARD STABILIZATION NOTE

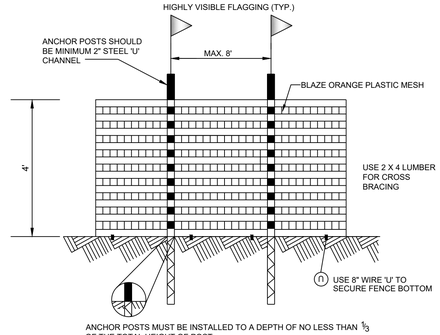
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:

A.) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND

B.) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS NOT UNDER ACTIVE GRADING.

SAME DAY STABILIZATION NOTE

THE CONTRACTOR SHALL OPEN ONLY A SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKDAY. NO DISTURBED AREA SHALL BE LEFT UNSTABLIZED OVERNIGHT. ANY EXCESS MATERIAL SHALL BE REMOVED FRM THE SITE AT THE END OF EACH WORKDAY.



ORANGE HIGH VISIBILITY FENCE
(PROTECTIVE FENCING DETAIL)
NTS

MAINTENANCE NOTE:
SILT FENCE SHALL BE INSPECTED AND MAINTAINED AFTER EACH STORM EVENT. MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF ALL ACCUMULATED SEDIMENT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NEEDED TO ENSURE PROPER FUNCTION.

NOTE:
REMOVE ALL EXCESS MATERIALS FROM SITE AND DISPOSE OF AT A SITE WITH AN OPEN GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

NOTE:
NO WORK SHALL BE PERFORMED OUTSIDE OF THE LIMITS OF DISTURBANCE.

NOTE:
CONTRACTOR'S STAGING AREA MUST BE LOCATED WITH THE LIMITS OF DISTURBANCE.

EARTHWORK TABULATION*:
TOTAL CUTS: 20 CY±
TOTAL FILLS: 140 CY±
ALL FILL MATERIAL SHALL BE PRE-APPROVED BY GEOTECHNICAL ENGINEER.
CUT/FILL RATIO: 1:20

* THE SITE GRADING DATA IS FOR PERMIT REQUIREMENTS. THE CONTRACTOR SHALL MAKE HIS OWN MATERIALS ESTIMATE.

CONTRACTOR SHALL , WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREA WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL"

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

ENGINEER'S CERTIFICATION

I DO HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED UPON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BALTIMORE CITY OFFICE OF RESEARCH AND ENVIRONMENTAL PROTECTION.

ROBERT S ROSENFELT, P.E. — SIGNATURE — 8/29/2023 DATE
PRINT NAME

COLBERT MATZ ROSENFELT
2835 SMITH AVE., SUITE G
BALTIMORE, MD 21209
ADDRESS — 410 - 653 - 3838 TELEPHONE NUMBER

OWNER'S CERTIFICATION

I/WE DO HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED PLAN AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT AN APPROVED MARYLAND DEPARTMENT OF THE ENVIRONMENT, SEDIMENT AND EROSION CONTROL TRAINING PROGRAM PRIOR TO THE BEGINNING OF WORK. THE CITY'S DPW AND DHCD AND MDE WILL BE ALLOWED RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION.

TORBINI GREEN, EXECUTIVE DIRECTOR — SIGNATURE
PRINT NAME

ST FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD. 21217 — 410-669-2612 TELEPHONE NUMBER
ADDRESS

LIMIT OF DISTURBANCE FOR SEDIMENT CONTROL = 13,250 SF OR 0.304 AC

EROSION AND SEDIMENT CONTROL SHALL BE STRICTLY ENFORCED.

NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED OVERNIGHT UNLESS THE RUNOFF IS DIRECTED TO AN MDE APPROVED SEDIMENT CONTROL DEVICE.

THIS PLAN TO BE USED FOR SEDIMENT CONTROL ONLY

ESD #7533

SEDIMENT CONTROL PLAN

ST. FRANCIS NEIGHBORHOOD CENTER
2401-09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

STATE OF MARYLAND — ROBERT S. ROSENFELT — 12311 — PROFESSIONAL ENGINEER — 8/29/2023

Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653-3838
Facsimile: (410) 653-7953

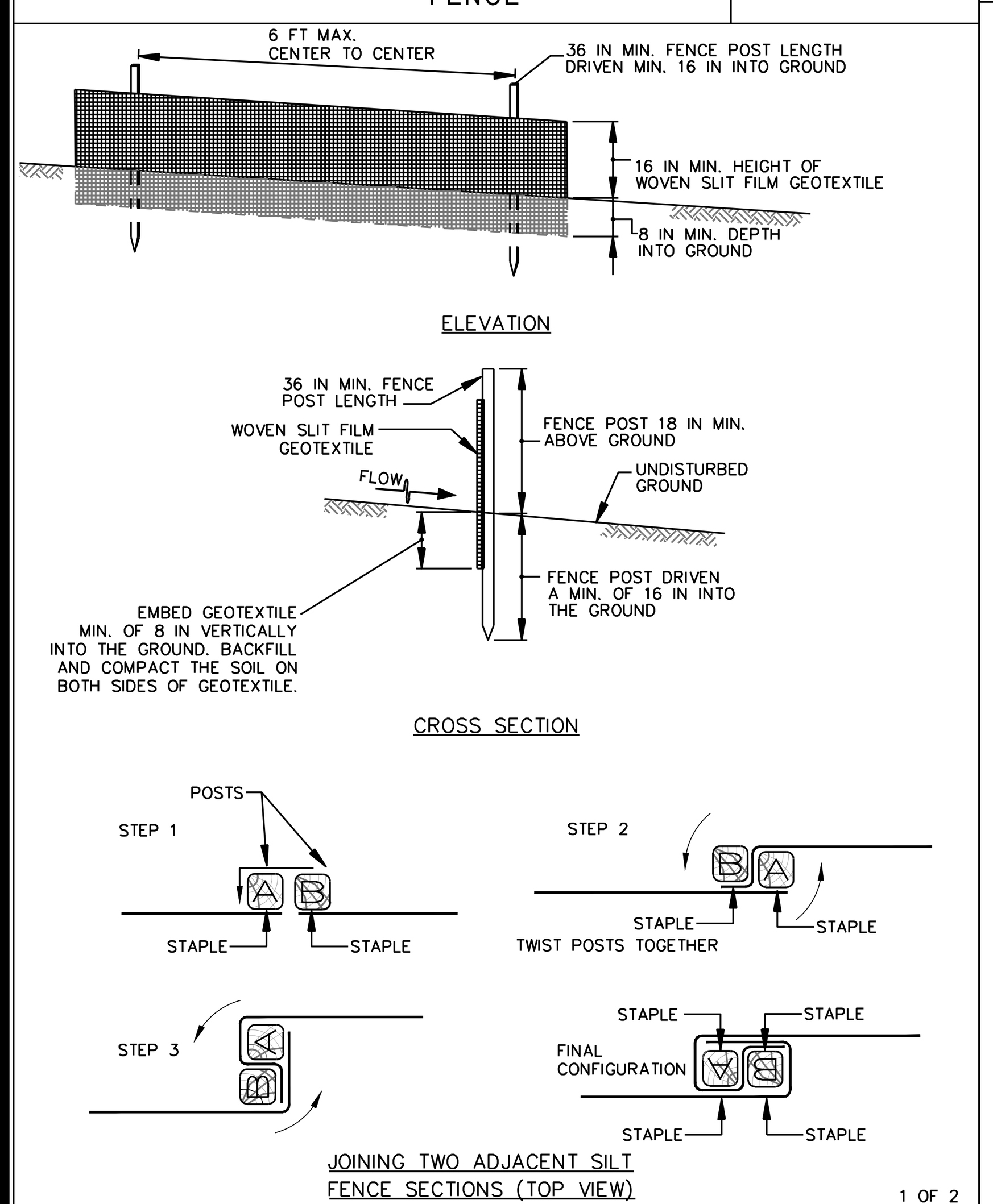
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

NO.	DATE	REVISIONS:	BY

SCALE: 1"= 20'
DATE: JUNE 1, 2023
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SED-1
SHEET 7 OF 10

DETAIL E-1 SILT FENCE

STANDARD SYMBOL: ⊢—SF—⊣



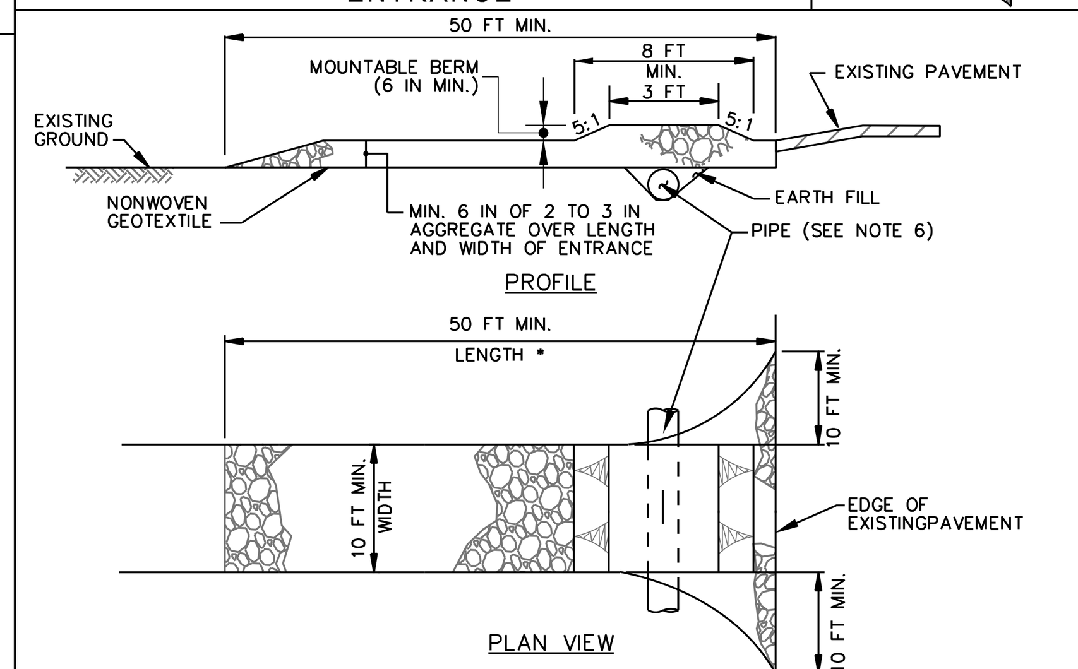
1 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL: SCE



CONSTRUCTION SPECIFICATIONS

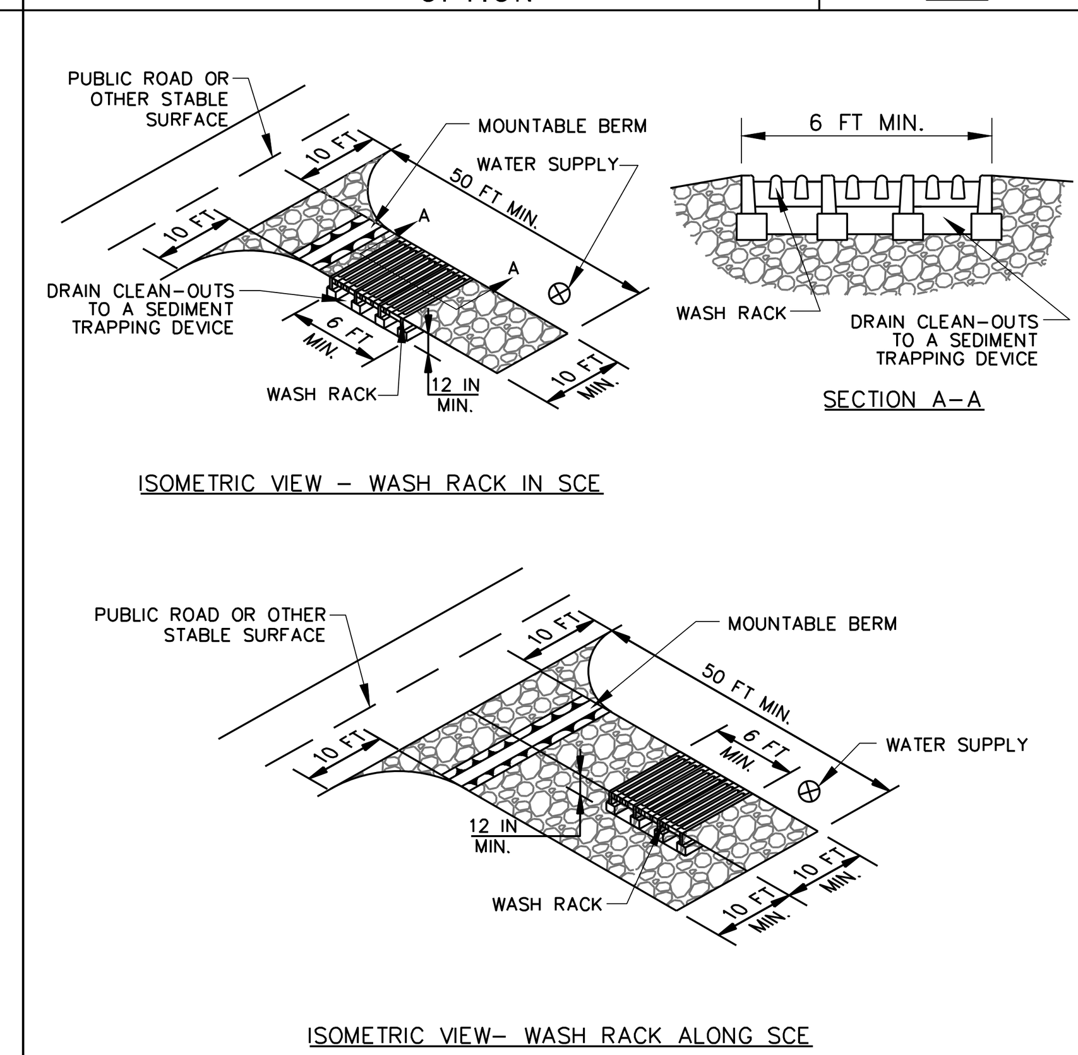
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
2. PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
3. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
4. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
5. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL B-2 WASH RACK OPTION

STANDARD SYMBOL: WR



CONSTRUCTION SPECIFICATIONS

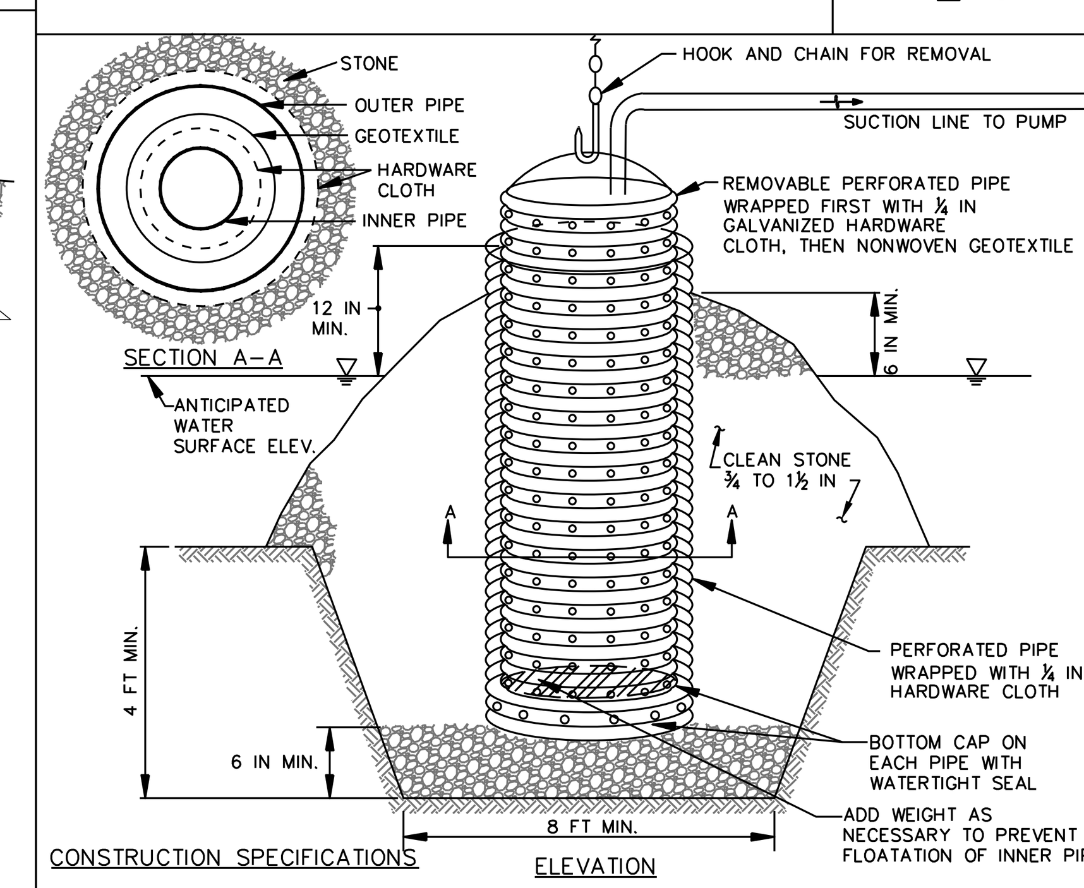
1. USE A WASH RACK DESIGNED AND CONSTRUCTED/MANUFACTURED FOR THE ANTICIPATED TRAFFIC LOADS. CONCRETE, STEEL, OR OTHER MATERIALS ARE ACCEPTABLE. PRE-FABRICATED UNITS SUCH AS CATTLE GUARDS ARE ACCEPTABLE. USE MINIMUM DIMENSION OF 6 FEET x 10 FEET. ORIENT DIRECTION OF RIBS AS SHOWN ON THE DETAIL.
2. INSTALL PRIOR TO, ALONG SIDE OF, OR AS PART OF THE SCE.
3. DIRECT WASH WATER TO AN APPROVED SEDIMENT TRAPPING DEVICE.
4. KEEP AREA UNDER WASH RACK FREE OF ACCUMULATED SEDIMENT. IF DAMAGED, REPAIR OR REPLACE WASH RACK.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL F-1 REMOVABLE PUMPING STATION

STANDARD SYMBOL: ⊠RPS



CONSTRUCTION SPECIFICATIONS

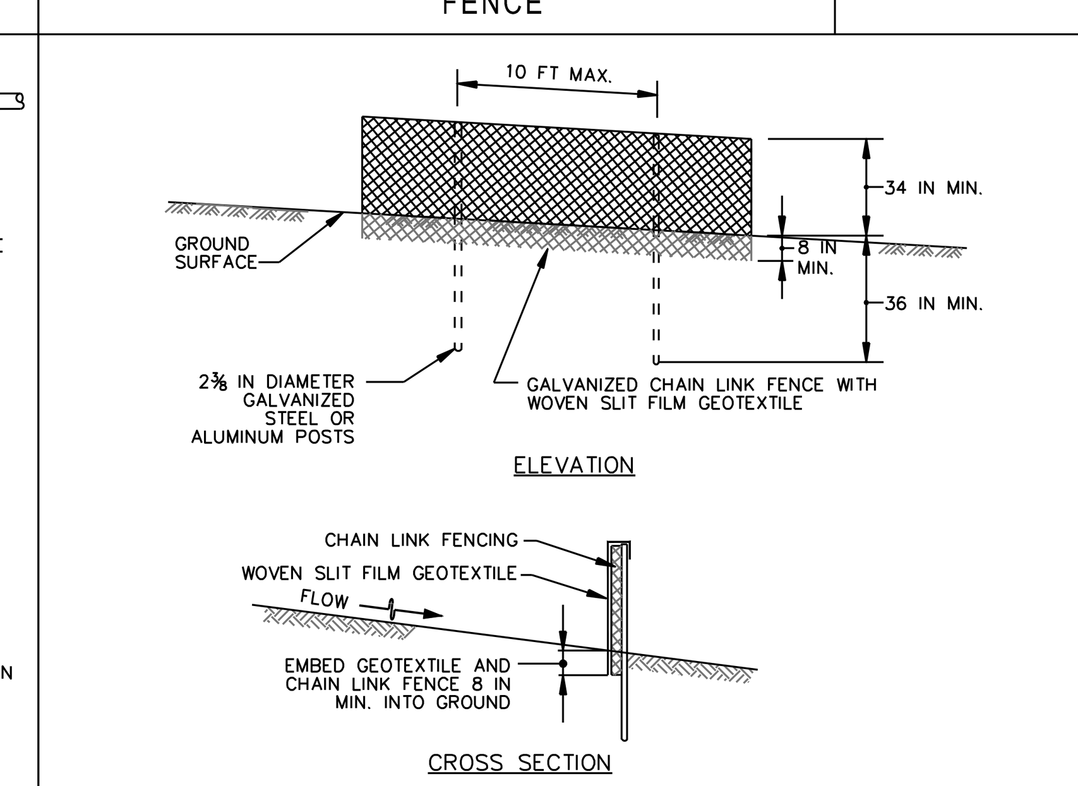
1. USE CORRUGATED METAL OR PLASTIC PIPE WITH 1 INCH DIAMETER PERFORATIONS 6 INCHES ON CENTER.
2. USE A MINIMUM 12 INCH DIAMETER INNER PIPE WITH AN OUTER PIPE A MINIMUM 6 INCHES LARGER IN DIAMETER. BOTTOM OF EACH PIPE MUST BE CAPPED WITH WATERTIGHT SEAL.
3. WRAP EACH PIPE WITH ¼ INCH GALVANIZED HARDWARE CLOTH. ON INNER PIPE WRAP NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE HARDWARE CLOTH.
4. EXCAVATE 8 FEET X 8 FEET X 4 FEET DEEP PIT FOR PIPE PLACEMENT. PLACE CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 6 INCHES IN DEPTH PRIOR TO PIPE PLACEMENT.
5. SET TOP OF INNER AND OUTER PIPES MINIMUM 12 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION (OR RISER CREST ELEVATION WHEN DEWATERING A BASIN).
6. BACKFILL PIT AROUND THE OUTER PIPE WITH ¾ TO 1½ INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
7. DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE.
8. A REMOVABLE PUMPING STATION REQUIRES FREQUENT MAINTENANCE. IF SYSTEM CLOGS, PULL OUT INNER PIPE AND REPLACE GEOTEXTILE. KEEP POINT OF DISCHARGE FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-3 SUPER SILT FENCE

STANDARD SYMBOL: ⊢—SSF—⊣



CONSTRUCTION SPECIFICATIONS

1. INSTALL 2⅜ INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2⅜ INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
3. FASTEN WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
4. WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
5. EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
6. PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
7. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

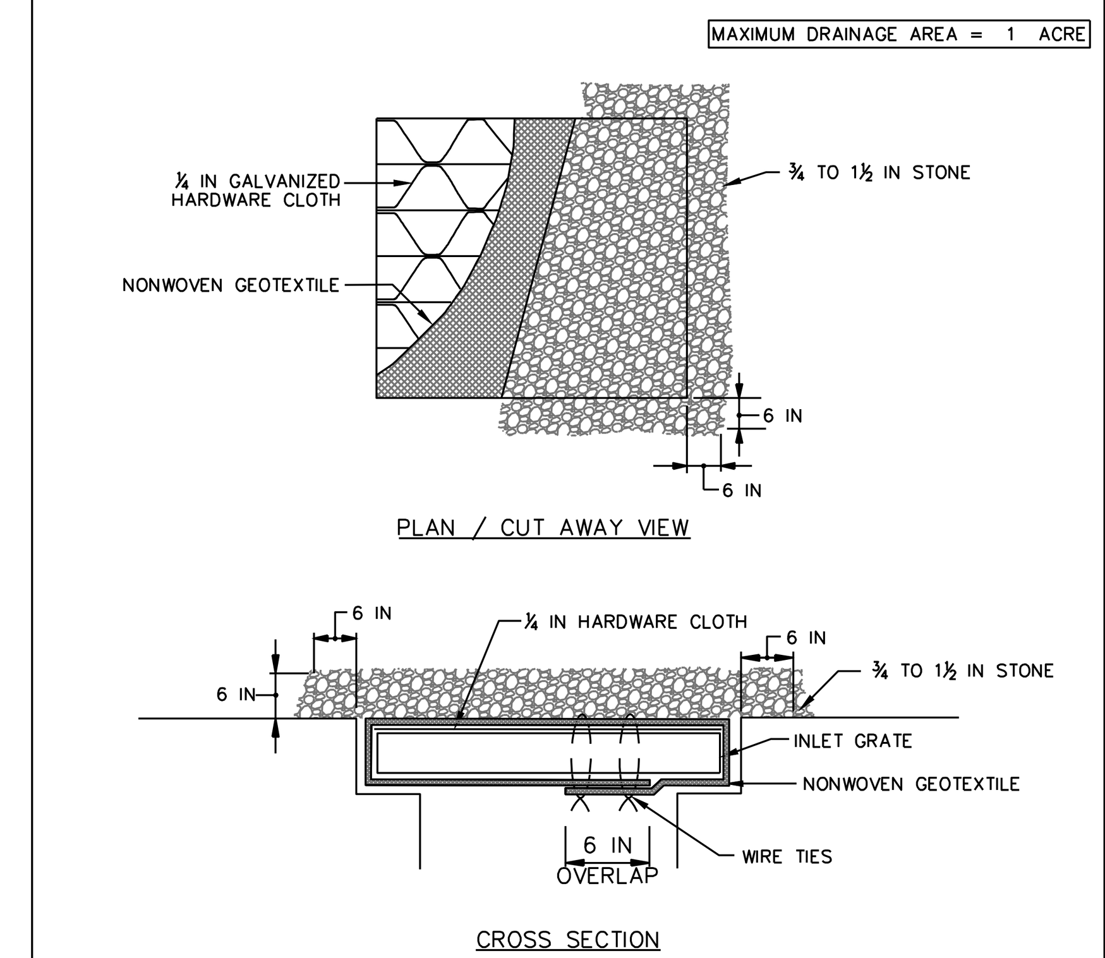
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-9-2 AT-GRADE INLET PROTECTION

STANDARD SYMBOL: AGIP

MAXIMUM DRAINAGE AREA = 1 ACRE



CONSTRUCTION SPECIFICATIONS

1. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
2. LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
3. PLACE CLEAN ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
4. STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL E-1 SILT FENCE

STANDARD SYMBOL: ⊢—SF—⊣

CONSTRUCTION SPECIFICATIONS

1. USE WOOD POSTS 1¾ X 1¾ ± 1/16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
3. USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
4. PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
5. EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
6. WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN: OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
7. EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
8. REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL FENCE.

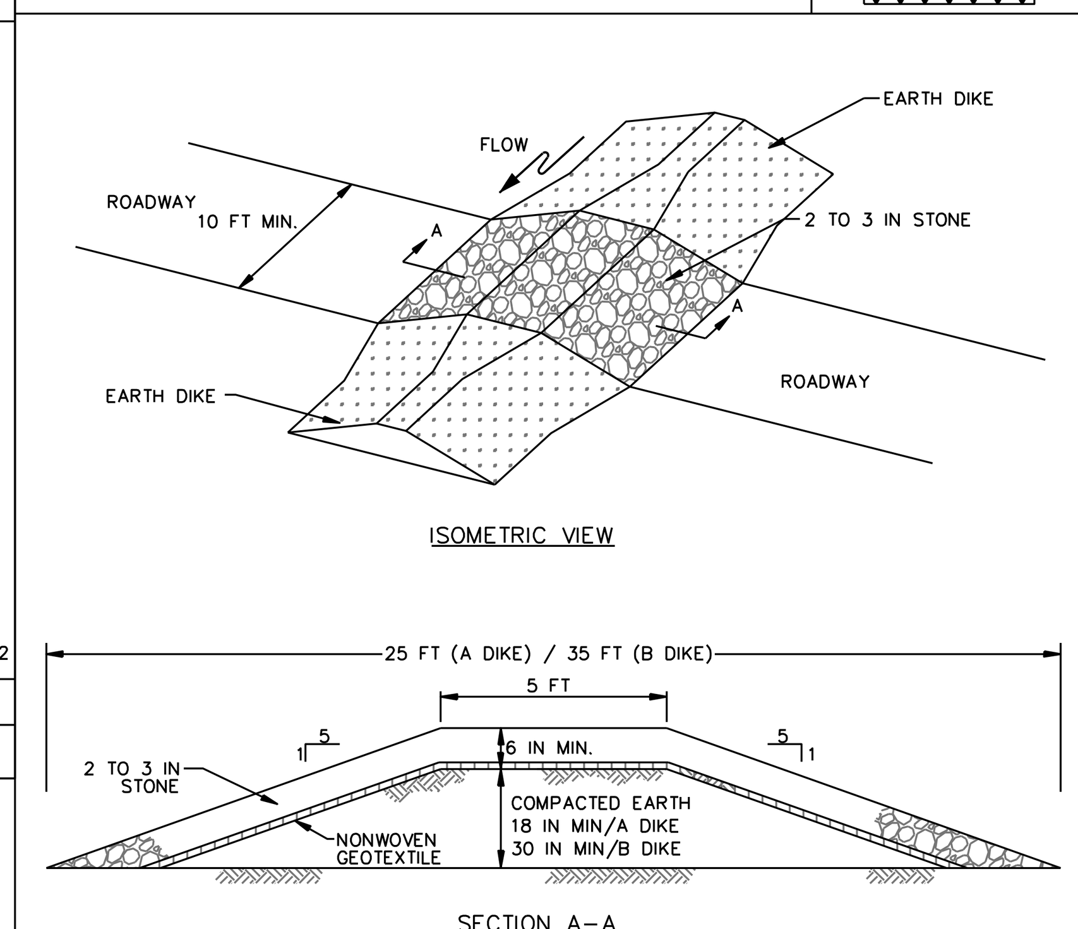
2 OF 2

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL C-8 MOUNTABLE BERM

STANDARD SYMBOL: MB



CONSTRUCTION SPECIFICATIONS

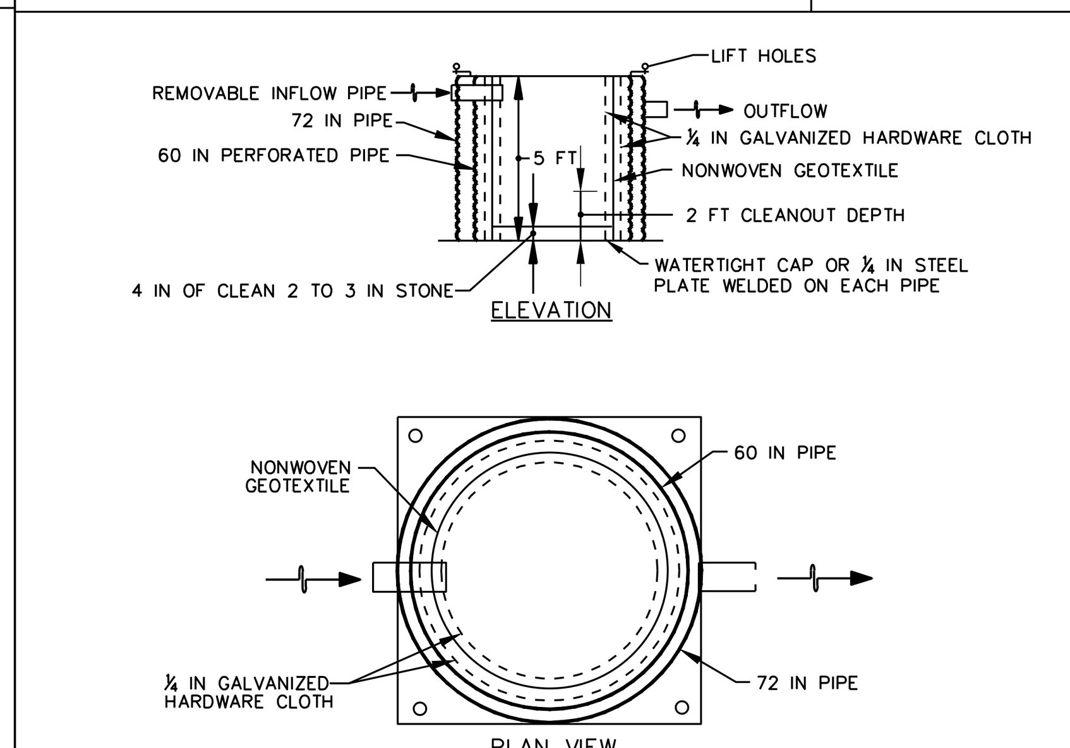
1. USE MINIMUM WIDTH OF 10 FEET TO ALLOW FOR VEHICULAR PASSAGE.
2. PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE EARTH MOUND PRIOR TO PLACING STONE.
3. PLACE 2 TO 3 INCH STONE OR EQUIVALENT RECYCLED CONCRETE AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE MOUNTABLE BERM.
4. MAINTAIN LINE, GRADE, AND CROSS SECTION. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN SPECIFIED DIMENSIONS. REMOVE ACCUMULATED SEDIMENT AND DEBRIS. MAINTAIN POSITIVE DRAINAGE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL F-3 PORTABLE SEDIMENT TANK

STANDARD SYMBOL: ⊠PST



CONSTRUCTION SPECIFICATIONS

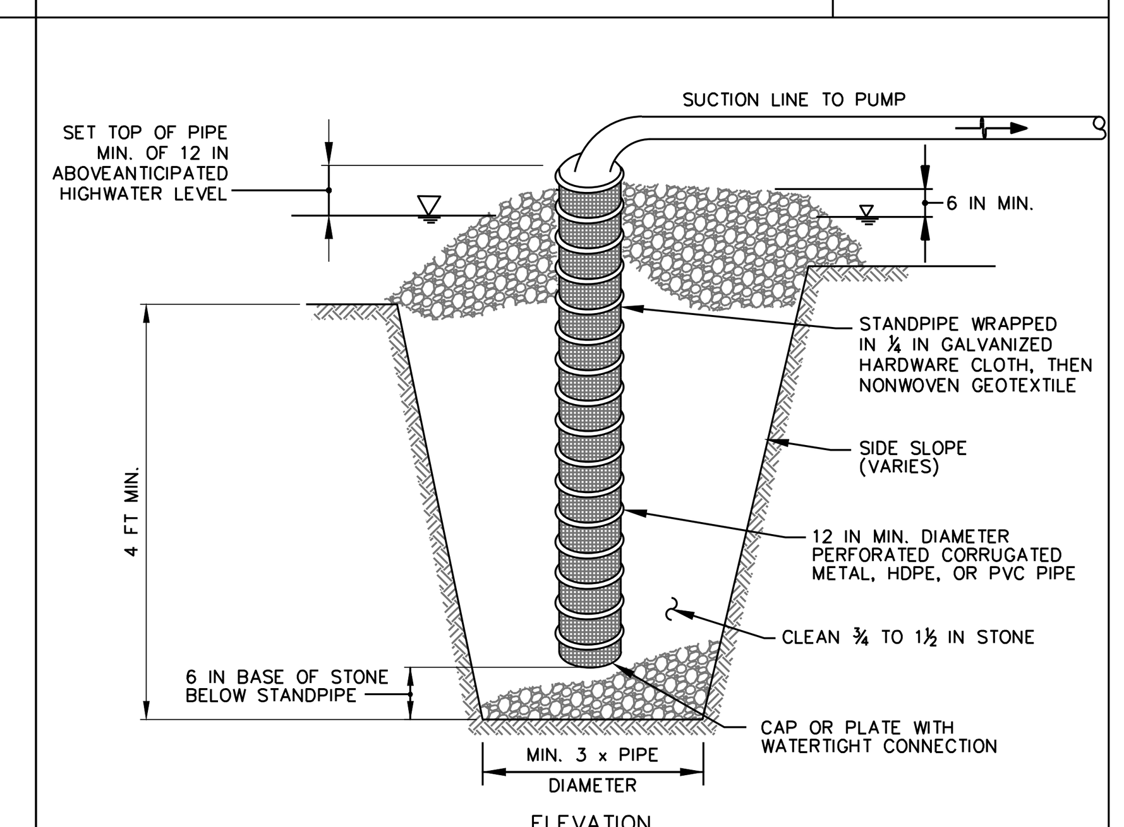
1. PROVIDE 1 CUBIC FOOT OF STORAGE FOR EACH GALLON PER MINUTE OF PUMP CAPACITY. REQUIRED STORAGE VOLUME MAY BE ATTAINED BY PLACEMENT OF TANKS IN PARALLEL WITH INFLOW EVENLY DISTRIBUTED AMONG TANKS. OVERTOPPING OF TANKS IS NOT PERMITTED.
2. USE 60 INCH CORRUGATED METAL OR PLASTIC PIPE WITH 1 INCH DIAMETER PERFORATIONS, 6 INCHES ON CENTER FOR THE INNER PIPE. LINE PIPE WITH NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, SANDWICHED BETWEEN, AND ATTACHED TO, ¼ INCH HARDWARE CLOTH.
3. OVERLAP GEOTEXTILE 8 INCHES MINIMUM AT VERTICAL SEAM AND AT THE BOTTOM PLATE.
4. ANCHOR GEOTEXTILE AT BOTTOM OF TANK WITH 4 INCHES OF 2 TO 3 INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE.
5. USE 72 INCH CORRUGATED METAL OR PLASTIC OUTER PIPE WITH PERMANENT OUTFLOW PIPE WITH INVERT LOWER THAN INFLOW PIPE
6. INFLOW PIPE MUST DISCHARGE INTO INNER PIPE AND BE REMOVABLE.
7. PLACE TANK ON LEVEL SURFACE AND DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE.
8. A PORTABLE SEDIMENT TANK REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT FROM INNER PIPE WHEN IT REACHES TWO FEET IN DEPTH. IF SYSTEM CLOGS, PULL OUT INNER PIPE, REMOVE ACCUMULATED SEDIMENT, AND REPLACE GEOTEXTILE. KEEP POINT OF DISCHARGE FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL F-2 SUMP PIT

STANDARD SYMBOL: ⊠SP



CONSTRUCTION SPECIFICATIONS

1. USE 12 INCH OR LARGER DIAMETER CORRUGATED METAL, HDPE, OR PVC PIPE WITH 1 INCH DIAMETER PERFORATIONS, 6 INCHES ON CENTER. BOTTOM OF PIPE MUST BE CAPPED WITH WATERTIGHT SEAL.
2. WRAP PIPE WITH ¼ INCH GALVANIZED HARDWARE CLOTH AND WRAP NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE HARDWARE CLOTH.
3. EXCAVATE PIT TO THREE TIMES THE PIPE DIAMETER AND FOUR FEET IN DEPTH. PLACE ¾ TO 1½ INCH STONE OR EQUIVALENT RECYCLED CONCRETE, 6 INCHES IN DEPTH PRIOR TO PIPE PLACEMENT.
4. SET TOP OF PIPE MINIMUM 12 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
5. BACKFILL PIT AROUND THE PIPE WITH ¾ TO 1½ INCH CLEAN STONE OR EQUIVALENT RECYCLED CONCRETE AND EXTEND STONE A MINIMUM OF 6 INCHES ABOVE ANTICIPATED WATER SURFACE ELEVATION.
6. DISCHARGE TO A STABLE AREA AT A NONEROSIVE RATE.
7. A SUMP PIT REQUIRES FREQUENT MAINTENANCE. IF SYSTEM CLOGS, REMOVE PERFORATED PIPE AND REPLACE GEOTEXTILE AND STONE. KEEP POINT OF DISCHARGE FREE OF EROSION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

ESD #7533

SEDIMENT CONTROL DETAILS

ST. FRANCIS NEIGHBORHOOD CENTER 2401-09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

STATE OF MARYLAND — ROBERT S. ROSENFELT — 12311 — PROFESSIONAL ENGINEER
8/29/2023

Colbert Matz Rosenfelt
*Engineers * Surveyors * Planners*
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653-3838
Facsimile: (410) 653-7953

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 12311 Expiration Date: 02-09-25

NO.	DATE	REVISIONS:	BY

SCALE: 1"= 20'
DATE: MARCH 1, 2023
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SED-2
SHEET 8 OF 10

Drawing file: N:\LD2I\PROJECT\2016\2016149.2 (ST FRANCIS ADDITION)\DWG\PLOT SHEETS\2016149.2 SED1-3.DWG Plotted by McGuire, Theresa on Wednesday, March 1, 2023.

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Definition

Using vegetation as cover to protect exposed soil from erosion.

Purpose

To promote the establishment of vegetation on exposed soil.

Conditions Where Practice Applies

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization; and permanent stabilization.

Effects on Water Quality and Quantity

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.

Adequate Vegetative Establishment

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

1. Adequate vegetative stabilization requires 95 percent groundcover.
2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates originally specified.
4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION

Definition

Establishment of vegetative cover on cut and fill slopes.

Purpose

To provide timely vegetative cover on cut and fill slopes as work progresses.

Conditions Where Practice Applies

Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

Criteria

A. Incremental Stabilization - Cut Slopes
 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
 2. Construction sequence example (Refer to Figure B.1):
  a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.
  b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
  c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as necessary.
  d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

B. Incremental Stabilization - Fill Slopes
 1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all slopes as the work progresses.
 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading operation ceases as prescribed in the plans.
 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
 4. Construction sequence example (Refer to Figure B.2):
  a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
  b. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
  c. Place Phase 1 fill, prepare seedbed, and stabilize.
  d. Place Phase 2 fill, prepare seedbed, and stabilize.
  e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

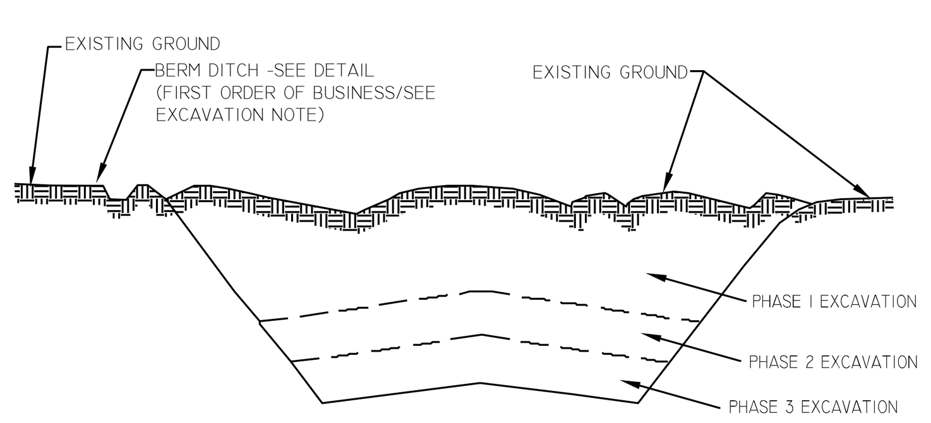


FIGURE B-1: INCREMENTAL STABILIZATION - CUT

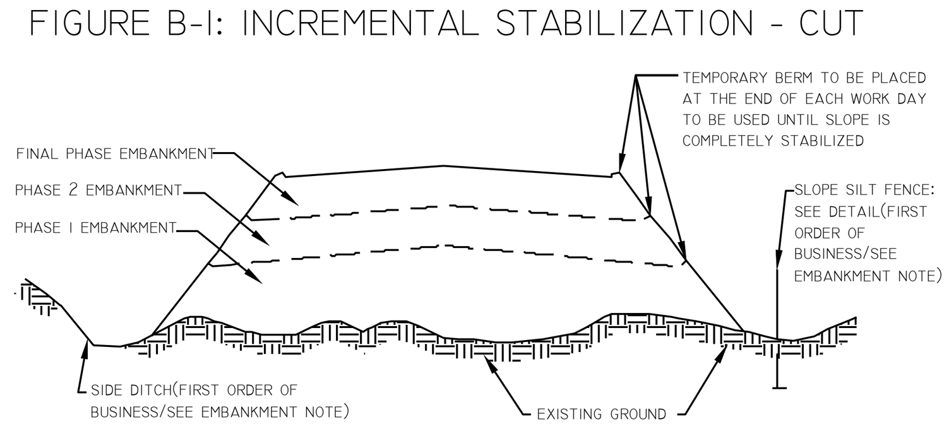


FIGURE B-2: INCREMENTAL STABILIZATION-FILL

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition

The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose

To provide a suitable soil medium for vegetative growth.

Conditions Where Practice Applies

Where vegetative stabilization is to be established.

Criteria

A. Soil Preparation
 1. Temporary Stabilization
  a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
  b. Apply fertilizer and lime as prescribed on the plans.
  c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
 2. Permanent Stabilization
  a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
   i. Soil pH between 6.0 and 7.0.
   ii. Soluble salts less than 500 parts per million (ppm).
   iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
   iv. Soil contains 1.5 percent minimum organic matter by weight.
   v. Soil contains sufficient pore space to permit adequate root penetration.
  b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
  c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
  d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
  e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

B. Topsoiling
 1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
 2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
  a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  c. The original soil to be vegetated contains material toxic to plant growth.
  d. The soil is so acidic that treatment with limestone is not feasible.
 4. Areas having slopes steeper than 2:1 require special consideration and design.
 5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
  a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1½ inches in diameter.
  b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
  c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 6. Topsoil Application
  a. Erosion and sediment control practices must be maintained when applying topsoil.
  b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
  c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

C. Soil Amendments (Fertilizer and Lime Specifications)
 1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
 2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
 3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
 4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

Permanent Seeding Summary

Hardiness Zone (from Figure B.3): 7a Seed Mixture (from Table B.1)					Fertilizer Rate (10-20-20)			Lime Rate
Mix	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths (in)	N	P_2O_5	K_2O	
8	TALL FESCUE	100	2/15-4/30 8/15-11/30	$\frac{1}{4}$ - $\frac{1}{2}$ in	45 lb/ac (1.0 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)
9	TALL FESCUE OR	60						
	HARD FESCUE AND ADD	40						
	KENTUCKY BLUEGRASS	40						
	AND PERENNIAL RYEGRASS	20						

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition

The application of seed and mulch to establish vegetative cover.

Purpose

To protect disturbed soils from erosion during and at the end of construction.

Conditions Where Practice Applies

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

Criteria

A. Seeding
 1. Specifications
  a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject to re testing by a recognized seed laboratory. All seed used must have been tested within the 6 months immediately preceding the date of sowing such material on any project. Refer to Table B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to verify type of seed and seeding rate.
  b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is frozen. The appropriate seeding mixture must be applied when the ground thaws.
  c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used later than the date indicated on the container. Add fresh inoculants as directed on the package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can weaken bacteria and make the inoculant less effective.
  d. Sod or seed must not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
 2. Application
  a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
   i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1, Permanent Seeding Table B.3, or site-specific seeding summaries.
   ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction. Roll the seeded area with a weighted roller to provide good seed to soil contact.
  b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.
   i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
   ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in each direction.
  c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
   i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P2O5 (phosphorous), 200 pounds per acre; K2O (potassium), 200 pounds per acre.
   ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
   iii. Mix seed and fertilizer on site and seed immediately and without interruption.
i
   v. When hydroseeding do not incorporate seed into the soil.

B. Mulching
 1. Mulch Materials (in order of preference)
  a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. **Note: Use only sterile straw mulch in areas where one species of grass is desired.**
  b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
   i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
   ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
   iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
   iv. WCFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
   v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.
 2. Application
  a. Apply mulch to all seeded areas immediately after seeding.
  b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the application rate to 2.5 tons per acre.
  c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 3. Anchoring
  a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
   i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
   ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
   iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA 70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. **Use of asphalt binders is strictly prohibited.**
   iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

Definition

To stabilize disturbed soils with vegetation for up to 6 months.

Purpose

To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Temporary Seeding Summary

Hardiness Zone (from Figure B.3): 7a Seed Mixture (from Table B.1)					Fertilizer Rate (10-20-20)	Lime Rate
Mix	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths (in)		
Mix	CEREAL RYE	112	2/15-4/30 8/15-12/15	1.0	436 lb/ac (10 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)
Mix	FOXTAIL MILLET	30	5/1-8/15	0.5		

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Definition

To stabilize disturbed soils with permanent vegetation.

Purpose

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

A. Seed Mixtures
 1. General Use
  a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
  b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA- NRCS Technical Field Office Guide, Section 342 Critical Area Planting.
  c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
  d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 ½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary .
 2. Turfgrass Mixtures
  a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
  b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
   i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
   ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
   iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
   iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1½ to 3 pounds per 1000 square feet.

Notes:
Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"

Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

  c. Ideal Times of Seeding for Turf Grass Mixtures
   Western MD: March 15 to June 1, August 15 to October 1 (Hardiness Zones: 5b, 6a)
   Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)
   Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)
  d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1½ inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
  e. If soil moisture is deficient, supply new seedings with adequate water for plant growth (½ to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).
 1. General Specifications
  a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
  b. Sod must be machine cut at a uniform soil thickness of ¾ inch, plus or minus ¼ inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
  c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
  d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
  e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.
 2. Sod Installation
  a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
  b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
  c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
  d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.
 3. Sod Maintenance
  a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
  b. After the first week, sod watering is required as necessary to maintain adequate moisture content.
  c. Do not mow until the sod is firmly rooted. No more than 1/3 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

Definition

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria

1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access the stockpile area from the upgrade side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

B-4-7 STANDARDS AND SPECIFICATIONS FOR HEAVY USE AREA PROTECTION

Definition

The stabilization of areas frequently and intensively used by surfacing with suitable materials (e.g. mulch and aggregate).

Purpose

To provide a stable, non-eroding surface for areas frequently used and to improve the water quality from the runoff of these areas.

Conditions where practice applies

This practice applies to intensively used areas (e.g. equipment and material storage, staging areas, heavily used travel lanes).

Criteria

1. A minimum 4-inch base course of crushed stone or other suitable materials including wood chips over nonwoven geotextile should be provided as specified in Section H-1 materials.
2. Select the stabilizing material based on the intended use, desired maintenance frequency, and runoff control.
3. The transport of sediments, nutrients, oils chemicals, particulate matter associated with vehicular traffic and equipment, and material storage needs to be considered in the selection of material. Additional control measures may be necessary to control some of these potential pollutants.
4. Surface erosion can be a problem on large heavy use areas. In these situations, measures to reduce the flow length of runoff or erosive velocities need to be considered.

Maintenance

The heavy use areas must be maintained in a condition that minimizes erosion. This may require adding suitable material, as specified on the approved plans, to maintain a clean surface.

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR WILL COMPLY WITH ALL REQUIREMENTS OF SEDIMENT AND EROSION CONTROL AS SET FORTH IN THE MARYLAND SEDIMENT AND EROSION MANUAL AND BALTIMORE CITY CODE ARTICLE 7.
2. SUBMIT A WRITTEN NOTIFICATION TO: THE DEPARTMENT OF PUBLIC WORKS, OFFICE OF RESEARCH AND ENVIRONMENTAL PROTECTION: 3001 DRUID PARK DRIVE, ROOM 228, BALTIMORE, MD 21215, PHONE NUMBER, 410-396-0732, FAX, 410-523-9047, dpw.escinspections@baltimorecity.gov AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION STATING:
 A. A REQUEST FOR A RECONSTRUCTION MEETING,
 B. WHEN THE CONTRACTOR INTENDS TO BEGIN CONSTRUCTION,
 C. SOURCE OF BORROW MATERIAL,
 D. LOCATION OF DISPOSAL AREA WITH AN ACTIVE PERMIT FOR THE RECEIPT OF SITE MATERIAL,
 E. CONTRACTOR'S TENTATIVE CLOSING DATE.
3. INITIAL DISTURBANCE WILL BE LIMITED TO THAT NECESSARY TO GAIN ENTRANCE TO THE SITE AND INSTALL NECESSARY SEDIMENT CONTROLS AS PER THE APPROVED PLANS.
4. ALL SEDIMENT CONTROLS AND CRITICAL SLOPES MUST BE STABILIZED WITHIN THREE CALENDAR DAYS. ALL OTHER INACTIVE DISTURBED AREAS ON THE PROJECT SITE MUST BE STABILIZED WITHIN SEVEN CALENDAR DAYS.
5. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE WHENEVER POSSIBLE AND CONFINED TO AN AREA WHERE IT WILL NOT OBSTRUCT THE NORMAL COURSE OF DRAINAGE.
6. PUMPING OF SEDIMENT LADEN WATER WILL NOT BE ALLOWED UNLESS IT IS FILTERED BY WAY OF AN APPROVED SEDIMENT TRAPPING DEVICE.
7. CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES IS MANDATORY.
8. ANY SEDIMENT CONTROL DEVICES DISTURBED DURING UTILITY CONSTRUCTION MUST BE RESTORED IMMEDIATELY.
9. ALL POINTS OF INGRESS AND EGRESS SHALL BE PROTECTED TO MINIMIZE TRACKING OF MUD ON TO PUBLIC RIGHT-OF-WAYS.
10. ANY EARTH, GRAVEL, AND/OR OTHER MATERIAL TRACKED, SPILLED OR WASHED ON TO ADJACENT ROADS MUST BE IMMEDIATELY REMOVED AND DISPOSED OF IN A PROPER MANNER. NO FLUSHING WILL BE PERMITTED. ALL MATERIAL MUST BE REMOVED BY MEANS OF SHOVELING AND SWEEPING.
11. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 5,000 SQ. FT , THE CONTRACTOR SHALL HAVE A BALTIMORE CITY SWM/ESC INSPECTOR INSPECT AND APPROVE THE WORK COMPLETED AT THE STAGES OF CONSTRUCTION SPECIFIED BELOW:
 A. UPON COMPLETION OF THE INSTALLATION OF THE PERIMETER SEDIMENT CONTROLS;
 B. DURING ALL GRADING AND BUILDING OPERATIONS;
 C. UPON FINAL STABILIZATION OF THE ENTIRE SITE PRIOR TO REMOVAL OF THE SEDIMENT CONTROLS.
12. THE CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED SEDIMENT AND EROSION CONTROL PLAN WITHOUT FIRST RECEIVING APPROVAL FROM THE OFFICE OF RESEARCH AND ENVIRONMENTAL PROTECTION. VARIATIONS TO THE ORIGINAL PLAN MUST BE SUBMITTED IN WRITING WITH ALL PROPOSED MODIFICATIONS STILL BEING HIGHLIGHTED. SUBSTANTIAL CHANGES WILL NECESSITATE AMENDMENT OF THE GRADING / BUILDING PERMIT.

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

ESD #7533

SEDIMENT CONTROL SPECIFICATIONS AND NOTES

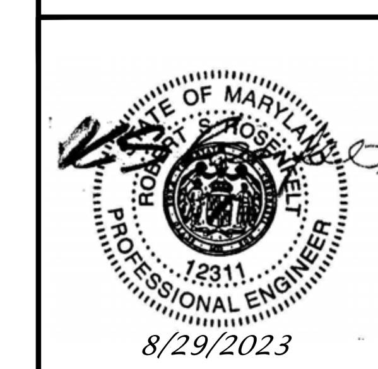
ST. FRANCIS NEIGHBORHOOD CENTER
2401-09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.



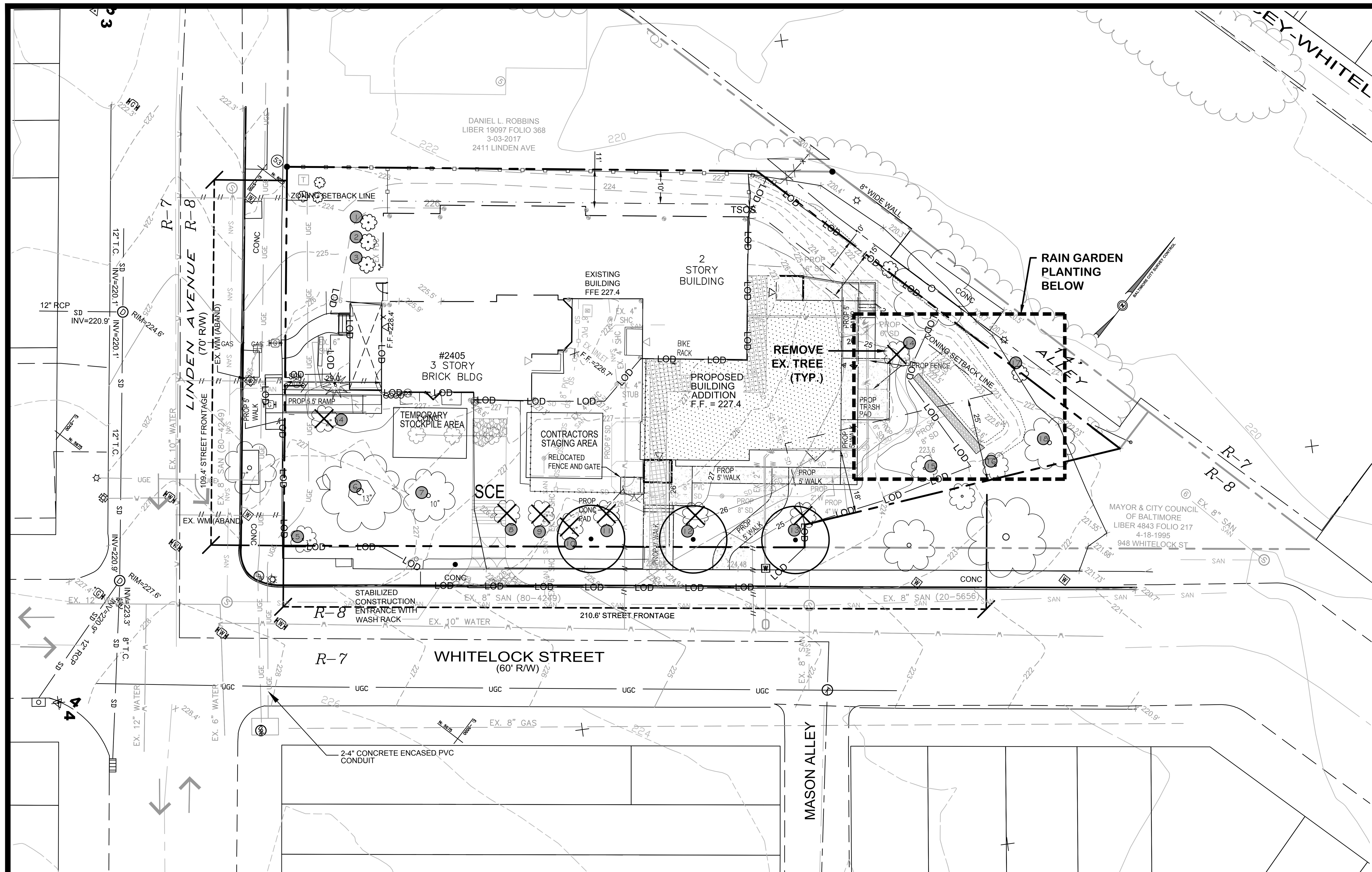
Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653-3838
Facsimile: (410) 653-7953

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 12311 Expiration Date: 02-09-25

NO.	DATE	REVISIONS:	BY

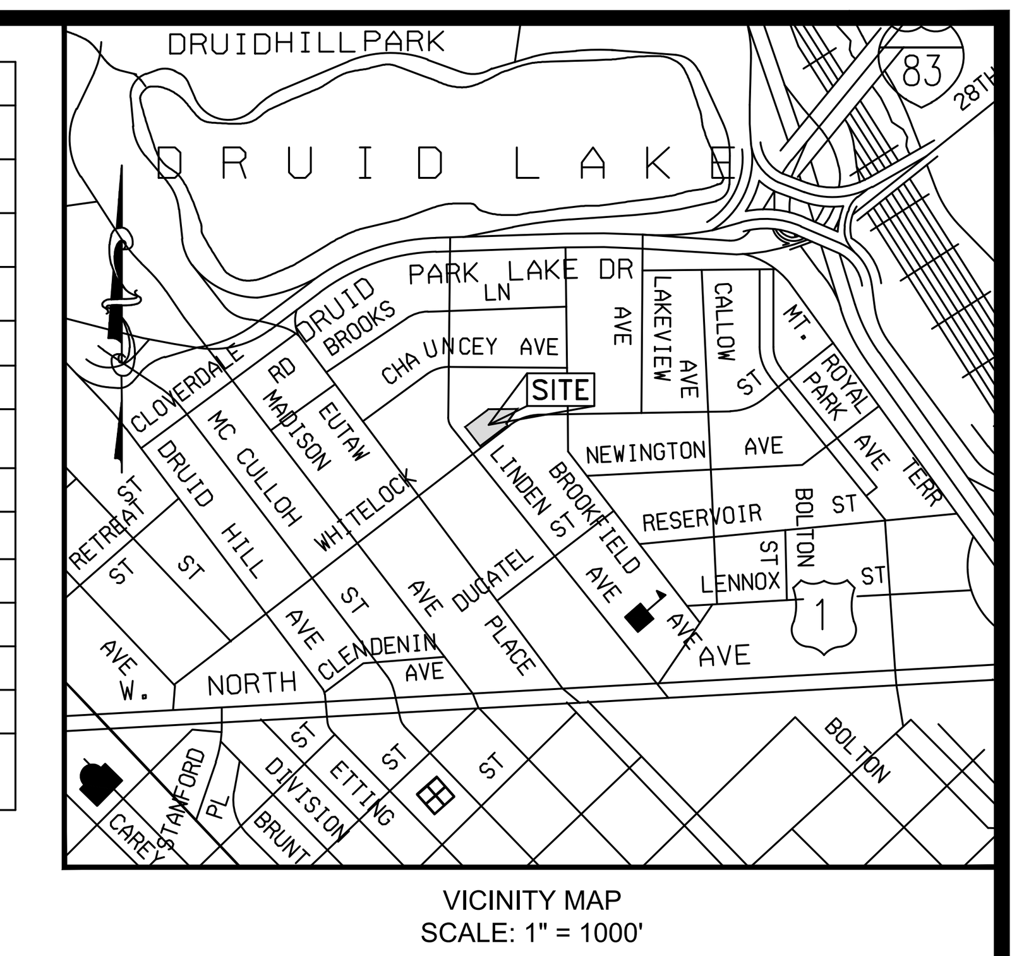
SCALE: 1"= 20'
DATE: MARCH 1, 2023
JOB NO.: 2016-149
DESIGNED: AK
DRAWN: AK
CHECKED: RSR
FILE: 2016149 BASE.dwg
DRAWING NUMBER: SED-3
SHEET 9 OF 10



LEGEND:

PROPERTY LINE
ZONING BOUNDARY R–7 / R–8
EXISTING CONTOURS
EXISTING EDGE OF PAVING
DIRECTION OF VEHICULAR TRAFFIC
DENOTES FRONT OF BUILDING
LIMITS OF WORK
LIMITS OF DISTURBANCE
EXISTING STORM DRAIN
EXISTING SANITARY
EXISTING WATER
EXISTING GAS
EXISTING ELEC. CONDUIT
EXISTING TREE LINE
EXISTING STORM DRAIN INLET
EXISTING BUILDING
EXISTING RETAINING WALL
PROPOSED BUILDING
PROPOSED CONTOURS

SYMBOL LEGEND
SANITARY SEWER MANHOLE
STORM DRAIN MANHOLE
TELEPHONE MANHOLE
DPW MANHOLE
UTILITY POLE
HAND BOX
LIGHT POLE
HVAC UNIT
FIRE HYDRANT
WATER VALVE
WATER METER
GAS VALVE
SIGN
EX. TREE: SIGNIFICANT / SPECIMEN / TO REMAIN



VICINITY MAP
SCALE: 1" = 1000'

PLANTING NOTES:

1. CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-257-7777.
2. THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
3. THIS PLAN IS FOR PLANTING ONLY.
4. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
5. SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.

SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION:
All plants shall be identified in accordance with the latest edition of Hortus Third, by "The Staff of the Hortorim".

LIST OF PLANT MATERIALS:
The contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant List.

PLANT QUANTITY:
All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI z60.1, latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

PLANT SPACING:
Plant spacing is to scale on the plan or as shown on the plant list.

SOIL MIX:
Soil mix will be ⅔ existing soil and ⅓ LEAFGRO or equal organic material, thoroughly mixed and homogenized.

BALL SIZE:
The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard For Nursery Stock, ANSI z60.1, latest edition.

EXCAVATION:
Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., LEAFGRO) will be incorporated into plant beds by tilling again.

PLANTING:
Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, Bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landscape Architect and Owner for adjustments before planting. The plant shall be set plumb and straight and shall be staked at the time of planting. Backfill shall be well worked about the roots and settled by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1" higher and trees will be 3" higher. Remove rope from around tree trunks and lay back burlap from top of all B&B material. Nylon or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

TRANSPLANTING TREES BY TREE MACHINES:
Trees shall be moved by machines that provide a minimum of 9" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is presently growing, in terms of soil type and moisture content. Fertilize and guy as described in these plans and specifications.

CULTIVATION:
All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 3" with shredded hardwood. The area around isolated plants shall be mulched to at least 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

MAINTENANCE:
The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

FERTILIZER:
The Contractor shall apply granular fertilizer to the soil mix with 10-6-4 analysis, 50% organic, at the following rates: Trees @ 2-3 lbs. per caliper inch; Shrub Beds @ 3-5 lbs per 100 sq.ft.; and Groundcover Beds @ 2-3 lbs. per 100 sq.ft.

GROUNDCOVER:
All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as stated above.

GUARANTEE AND REPLACEMENT:
All material shall be unconditionally guaranteed for two (2) years. The Contractor is responsible for watering but not for losses or damage caused by mechanical injury or vandalism.

BENCHMARK/DATUM

COORDINATES AND NORTH SHOWN HEREON REFER TO THE BALTIMORE CITY HORIZONTAL DATUM. BASED ON THE FOLLOWING BALTIMORE CITY CONTROL STATIONS:

STATION	NORTHING	EASTING
22145	7,044.618	-5,980.636
22146	6,947.011	-6,193.947

ELEVATIONS SHOWN HEREON REFER TO THE BALTIMORE CITY VERTICAL DATUM. BASED ON THE FOLLOWING BALTIMORE CITY BENCHMARK:

BENCHMARK	ELEVATION
6522	226.262

PLANTING CALCULATIONS

CON	ELEMENT	RATE	LINEAR FEET	PLANTING UNITS (PU)
F	STREET FRONTAGE & STREETSCAPE	1 PU / 30 LF	320.0 LF	10.7
TOTAL REQUIRED				10.7 req'd. P.U.'S

*PROJECT SITE IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS (AREA IS BELOW 20,000 SF THRESHOLD). IMPACTED SPECIMEN TREES ARE IN POOR CONDITION AND DO NOT REQUIRE MITIGATION.

PLANTING PROVIDED

TYPE	RATE	QUANTITY	PLANTING UNITS (PU)
MAJOR TREE - PROPOSED	1:1	3	3.0
MAJOR TREE - EX. TO REMAIN OR BE RELOCATED	1:1	7	7.0
MINOR TREE - EX. TO REMAIN	2:1	3	1.5
TOTAL PROVIDED			11.5 prov'd. P.U.'S

TWO YEAR MAINTENANCE AGREEMENT

THE COMPANY RESPONSIBLE FOR TREE CARE
The landscape contractor shall be responsible for maintenance and tree care for a period of two years. Service shall include, but not be limited to, the following:

A. WATERING
- Watering shall be provided during the growing season as required.
- First Growing Season: Once per week.
- Second Growing Season: As needed, but not less than once per month during July and August.

B. REINFORCEMENT PLANTING PROVISIONS
- A minimum of 100% of the total number of trees planted per acre is required to survive at the end of the two year maintenance period.

C. PROTECTION FROM DISEASE AND INJURY
- Periodic inspection shall be made for any evidence of disease or damage.

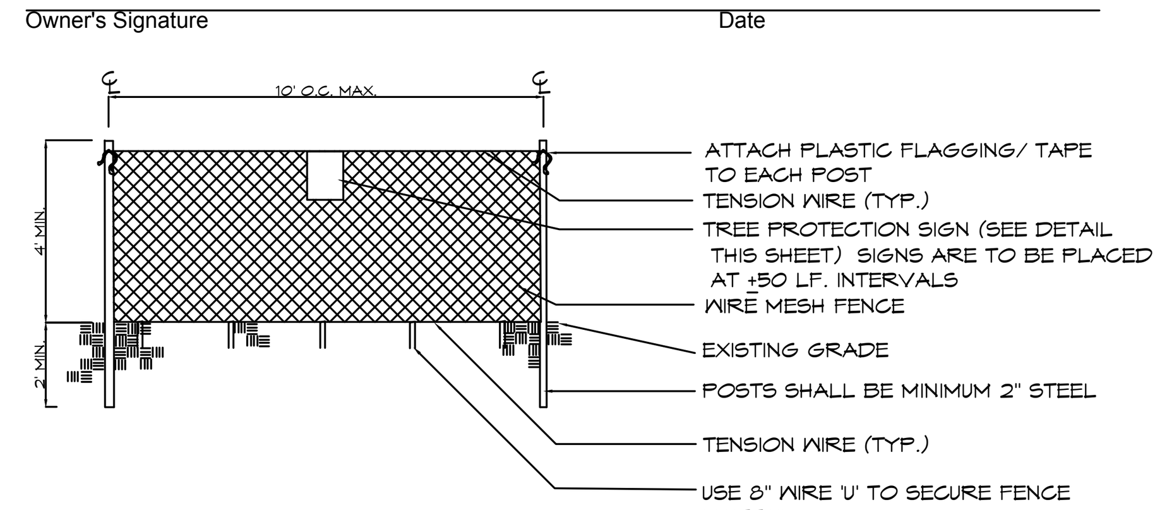
LANDSCAPE CERTIFICATION
OWNER'S SIGNATURE AND CERTIFICATION FORM
Baltimore City, Maryland
Department of Planning

I am aware of the requirements of the Baltimore City Forest Conservation Program and I agree to comply with these regulations and all applicable policy, guidelines, and ordinances. I agree to certify implementation of the approved Landscape Plan upon completion of the landscape installation not later than one (1) year from the date of occupancy to the Baltimore City Planning Department, 417 E. Fayette Street, 8h floor, Baltimore, MD 21202.

Developer's Signature ______________________ Date

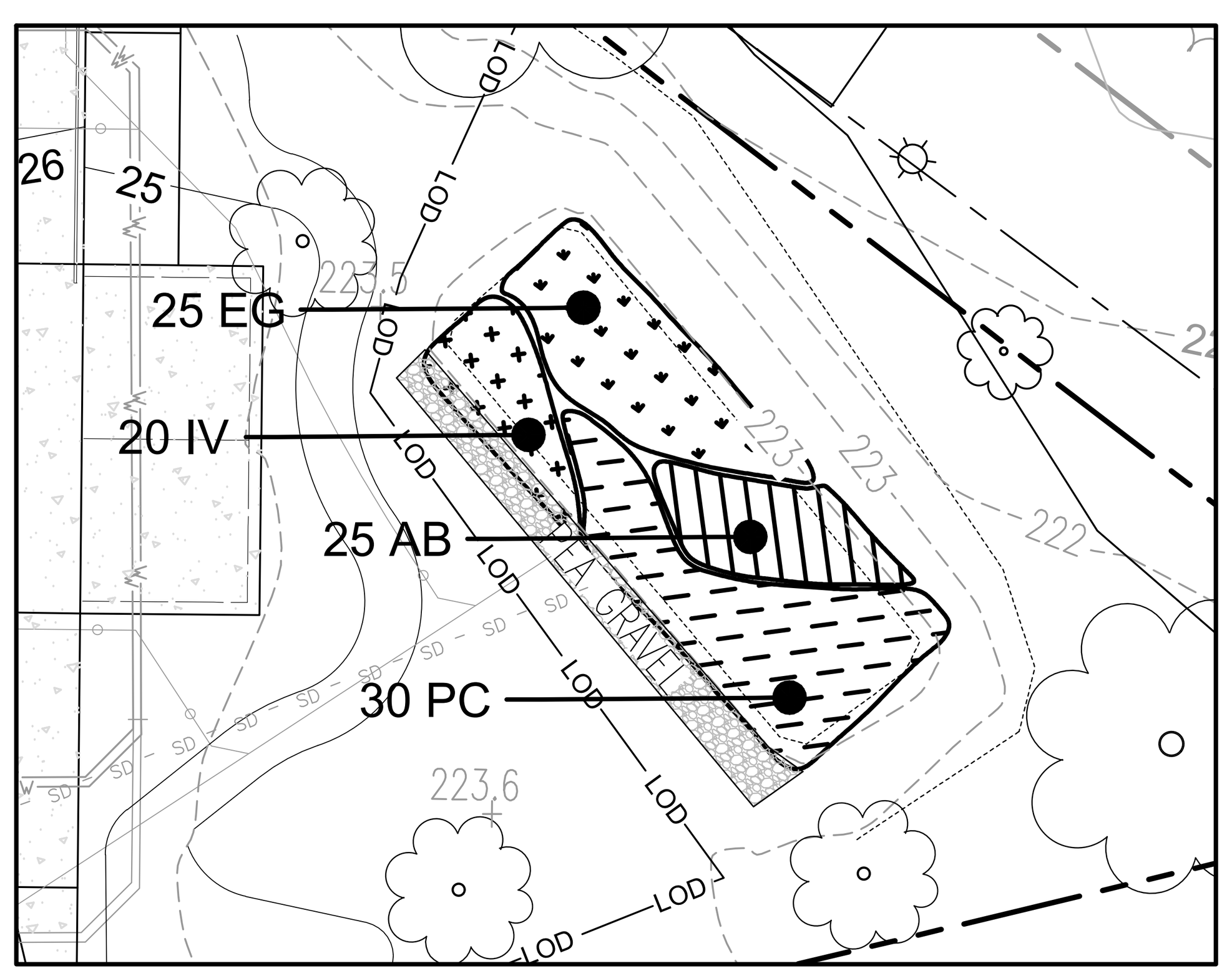
Owner's Name ______________________ Date

Owner's Signature ______________________ Date



TREE PROTECTION FENCING (TEMPORARY)
NTS

NOTE: TEMPORARY PROTECTIVE FENCING IS TO BE PLACED ALONG THE TREE PRESERVATION LIMITS AS DEPICTED ON THE PLAN. IF SUPER SILT FENCE IS SCHEDULED FOR THE SAME LOCATION, AND WILL SERVE THE SAME PURPOSE, IT MAY BE USED IN PLACE OF THE PROTECTIVE FENCING.



RAIN GARDEN PLANTING - EX. TO REMAIN
SCALE: 1" = 10'

EXISTING TO REMAIN PERENNIALS AND GRASSES - RAIN GARDEN

AB	25	AMSONIA 'BLUE ICE' BLUE STAR
EG	25	EUPATORIUM MACULATUM 'GATEWAY' GATEWAY JOE PYE WEED
IB	20	IRIS VERSICOLOR BLUE FLAG IRIS
PC	30	PANICUM VIRGATUM 'CAPE BREEZE' CAPE BREEZE SWITCHGRASS

EXISTING TREES FOR CREDIT

KEY	BOTANICAL NAME COMMON NAME	SIZE (dbh) (inches)	MAJOR	MINOR	REMOVE?	CREDIT?
1	AMELANCHIER GRANDIFLORA SERVICEBERRY	2"	-	Y	-	Y
2	AMELANCHIER GRANDIFLORA SERVICEBERRY	2"	-	Y	-	Y
3	AMELANCHIER GRANDIFLORA SERVICEBERRY	2"	-	Y	-	Y
4	AMELANCHIER GRANDIFLORA SERVICEBERRY	2"	-	Y	Y	-
5	ULMUS AMERICANA AMERICAN ELM	3"	Y	-	-	Y
6	TILIA AMERICANA BASSWOOD	13"	Y	-	-	Y
7	ULMUS AMERICANA AMERICAN ELM	10"	Y	-	-	Y
8	ACER RUBRUM RED MAPLE	3"	Y	-	Y	-
9	PRUNUS SPP. APPLE	2"	-	Y	Y	-
10	PRUNUS SPP. APPLE	2"	-	Y	Y	-
11	PRUNUS SPP. APPLE	2"	-	Y	Y	-
12	ACER RUBRUM RED MAPLE	2"	Y	-	Y	-
13	ACER RUBRUM RED MAPLE	2"	Y	-	Y	-
14	QUERCUS PHELLOS WILLOW OAK	2"	-	-	Y	-
15	QUERCUS PHELLOS WILLOW OAK	2"	Y	-	-	Y
16	QUERCUS PHELLOS WILLOW OAK	2"	Y	-	-	Y
17	PRUNUS SPP. PEAR	6"	Y	-	-	Y
18	PRUNUS SPP. PEAR	5" DBL.	Y	-	-	Y

PLANT LIST
MAJOR TREES

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS	PU
⊙	3	ULMUS AMERICANA 'PRINCETON' PRINCETON ELM	2" - 2½" CAL.	B&B	FULL SPECIMEN, HEADED TO 6' HT	3

OWNER/DEVELOPER/APPLICANT
ST. FRANCIS NEIGHBORHOOD CENTER, INC.
2405 LINDEN AVENUE
BALTIMORE, MD 21217-4540

LANDSCAPE PLAN - 1ST AMENDED

ST. FRANCIS NEIGHBORHOOD CENTER
2401–09 LINDEN AVENUE

WARD 13, SECTION 10, BLOCK 3463-A, LOTS 1, 2, 3, & 4
BALTIMORE CITY, MARYLAND

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

Colbert Matz Rosenfelt
Engineers * Surveyors * Planners
2835 Smith Avenue, Suite G
Baltimore, Maryland 21209
Telephone (410) 653–3838
Facsimile: (410) 653–7953

STATE OF MARYLAND
REGISTERED LANDSCAPE ARCHITECT

HUMAN & ROHDE, INC.
Landscape Architects
512 Virginia Ave.
Towson, Maryland 21286
(410) 825-3885 Phone
(410) 825-3887 Fax

NO.	DATE	REVISIONS:	BY

SCALE: 1"= 20'
DATE: MAY 15, 2023
JOB NO.: 2016–149
DESIGNED: MRV
DRAWN: MRV
CHECKED: DML
FILE:
DRAWING NUMBER: L-1
SHEET 1 OF 1

OCCUPANT LOAD IBC 2018

TABLE 1004.5

		OCCUPANCY	FLOOR AREA (SQ FT)	FLR AREA (SF)/OCCUPANT	TOTAL
1ST FLOOR	LOBBY	1/5 SF NET	271	54	54
	BUSINESS	1/150 SF GROSS	396 SF	3	3
	CLASS ROOM	1/20 SF NET	404 SF	20	20
	CAFE	1/15 SF NET	436 SF	29	29
	LIBRARRY	1/50 SF NET	662 SF	13	13
	ASSEMBLY/MP ROOM	1/15 SF NET	1221 SF	81	81
	ACCESSORY AREA	1/300 SF GROSS	3706 SF	12	12
			7096		**213**
2ND FLOOR	BUSINESS	1/150 SF GROSS	1,111 SF	7	7
	CLASS ROOM	1/20 SF NET	1,305 SF	65	65
	ACCESSORY AREA	1/300 SF GROSS	3,320 SF	11	11
			5736		**84**
			OVER ALL TOTAL	**297 OCC**	

EGRESS WIDTH IBC 2018

TABLE 1005.3.1

STAIR EGRESS WIDTH

TABLE 1005.3.1

ROOM	# OF OCCUPANT	WIDTH PER OCCUPANT (IBC/NFPA)	MIN. REQ'D WIDTH	PROVIDED WIDTH	EGRESS CAPACITY
2ND FLOOR	84	0.3 IN	25 IN	84 "	280

OTHER EGRESS WIDTH

TABLE 1005.3.2

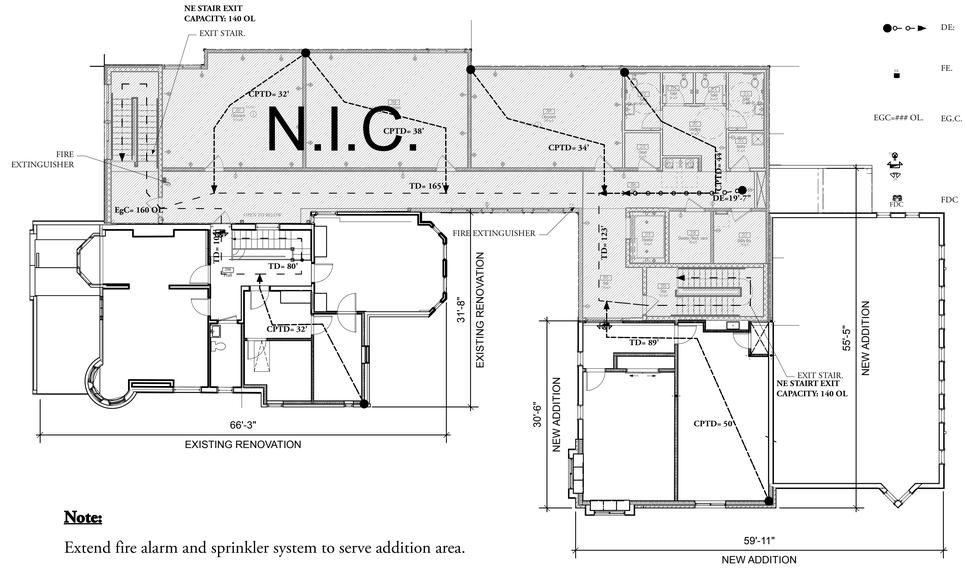
ROOM	# OF OCCUPANT	WIDTH PER OCCUPANT (IBC/NFPA)	MIN. REQ'D WIDTH	PROVIDED WIDTH	EGRESS CAPACITY
1ST FLOOR	213	0.2 IN	43 IN	64 "	320
2ND FLOOR	84	0.2 IN	17 IN	64 "	320

Plumbing Fixture IBC 2018

TABLE 1005.1 TABLE 1005.1

Occupancy	MALE	unisex	Water closet FEMALE	Lavatories MALE / FEMALE	Shower	Drinking fountain	Other Service sink
1ST FLOOR	0.9		1.6	1.1	-	0.4	
TOTAL REQUIRED		2		1	-	1	1
TOTAL PROVIDED		**4**		**4**	**-**	**2**	**1**
2ND FLOOR	0.3		0.6	0.4	-	0.2	
TOTAL REQUIRED		1		1	-	1	1
TOTAL PROVIDED		**5**		**5**	**1.0**		**2**

OCCUPANT LOAD/EGRESS WIDTH AND PLUMBING FIXTURE REQUIREMENT | C3



LEGEND:

- CPTD: COMMON PATH OF TRAVEL DISTANCE REQUIRED: LESS THAN 75' MAX. CPTD PROVIDED 50'
- TD: TRAVEL DISTANCE REQUIRED: LESS THAN 250' MAX. TD PROVIDED 127'
- DE: DEAD END CORRIDOR REQUIRED: LESS THAN 50' MAX. DE PROVIDED 21'
- FE. FIRE EXTINGUISHER REQUIRED: CLASS A AND CLASS B PROVIDE: CLASS A (GENERAL SPACE), CLASS B (KITCHEN)
- EGC=### OL. EG.C. DOOR EGRESS CAPACITY TOTAL REQUIRED: 55"=273 OL TOTAL PROVIDED: 64"= 320 OL
- EXIT LIGHT INTERIOR EMERGENCY LIGHT EXTERIOR EMERGENCY LIGHT
- FDC FIRE DEPARTMENT CONNECTION

Note:

Extend fire alarm and sprinkler system to serve addition area.

Shaded part: not in the scope of work (N.I.C.)

2ND FLOOR LIFE SAFETY PLAN

Scale: 1" = 10'-0" | C6

AWs(AN+AS)/4					
					AWs(AN+AS)/4
	AN	AS	(AN+AS)/4	Ax	True or false
AE	103 sq ft	130 sq ft	58 sq ft	216	False
AW	103 sq ft	130 sq ft	58 sq ft	18	True
			(An*SHGCc+As*SHGCc)/6	Ax*SHGCw	
Aw*SHGCws(An*SHGCc+As*SHGCc)/6			13.281	6.156	True
Ae*SHGCes(An*SHGCc+As*SHGCc)/6			13.281	13.224	True
SHGCe	0.152				
SHGCw	0.342				
SHGCc	0.342				

IECC 2018
ZONE 4 NON RESEDENTIAL R VALUE/ U FACTOR AND SHGC REQUIRMENTS

IGCC 2018

GC to meet the Green Building requirment
Green Building requirment
5% less per 701.4.2.1 (7.4.2.1)

OPAQUE THERMAL ENVELOPE INSULATION COMPONENT

	REQUIRED MINIMUM REQUIREMENTS, R-VALUE METHOD	U Factor		
ROOF				
Insulation entirely above roof deck	R-30ci	U-0.032		**U-0.03**
WALL				
Wood framed and other	R-13 + R-3.8ci or R-20	U-0.064		**U-0.061**
SLAB				
Slab-on-grade floors Unheated slabs	R-10 for 24" below	F-0.52		**F-0.494**

BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR REQUIREMENTS

U-factor			
Fixed fenestration	0.38		**U-0.361**
Operable fenestration	0.45		**U-0.427**
Entrance doors	0.77		**U-0.731**

BUILDING ENVELOPE FENESTRATION MAXIMUM SHGC REQUIREMENTS

SHGC Orientationa	SEW	N		**SEW**	**N**
PF < 0.2	U-0.36	U-0.48		**U-0.342**	**U-0.456**
0.2 ≤ PF < 0.5	U-0.43	U-0.53		**U-0.408**	**U-0.503**
PF ≥ 0.5	U-0.58	U-0.58		**U-0.551**	**U-0.551**

BUILDING ENVELOPE SKYLIGHT FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

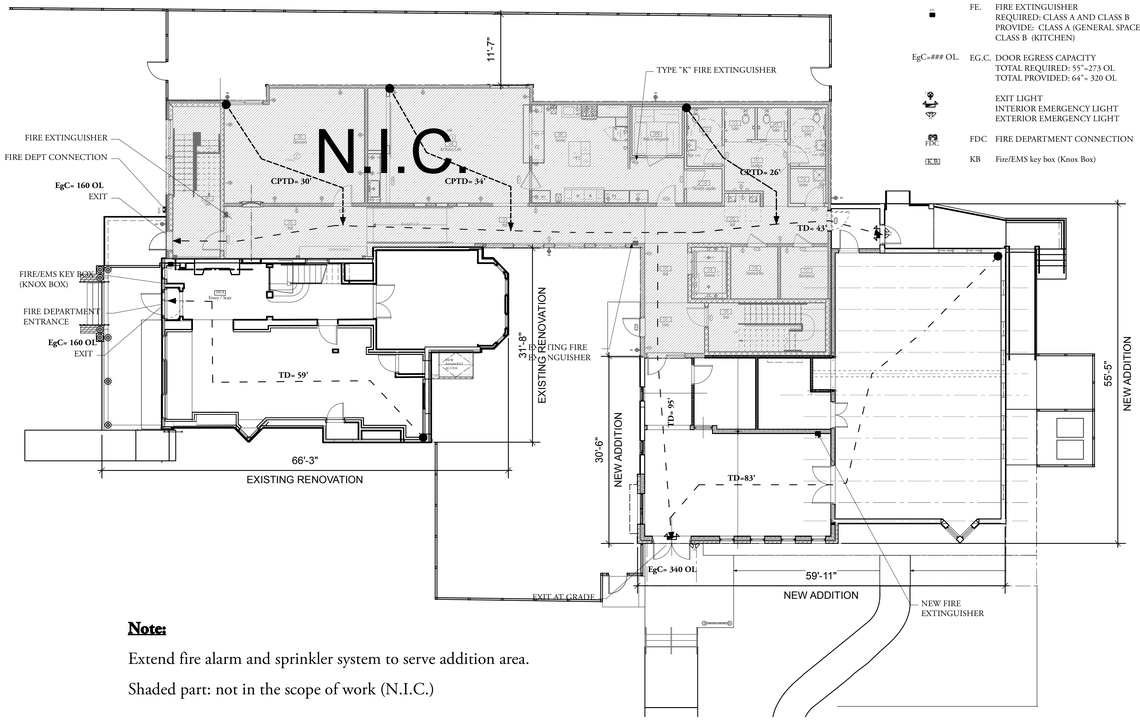
U-factor	0.5		**0.5**
SHGC	0.4		**0.4**

Fenestration - Envelope wall area

	Wall length	Hieght	Wall Area	Window Area
N-Wall-1	44'6"	22'0"	979 sq ft	103 sq ft
N-Wall-2	7'3"	12'9"	92 sq ft	
N-Wall-3	3'2"	12'9"	40 sq ft	
E-Wall-1	27'3"	21'9"	593 sq ft	38 sq ft
E-Wall-2	32'8 1/2"	26'6"	867 sq ft	178 sq ft
S-Wall-1	30'2 1/2"	23'9"	717 sq ft	130 sq ft
W-Wall-1	20'0"	23'9"	475 sq ft	18 sq ft
W-Wall-1	8'10"	12'9"	113 sq ft	0
	Total		**3876 sq ft**	**467 sq ft**

Percentage of opening **12%**
Percentage of opening not to exceed **40%**

THERMAL ENVELOPE REQUIREMEN | E2



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- TD: TRAVEL DISTANCE REQUIRED: LESS THAN 250' MAX. TD PROVIDED 127'
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- EGC=### OL. EG.C. DOOR EGRESS CAPACITY TOTAL REQUIRED: 55"=273 OL TOTAL PROVIDED: 64"= 320 OL
- EXIT LIGHT INTERIOR EMERGENCY LIGHT EXTERIOR EMERGENCY LIGHT
- FDC FIRE DEPARTMENT CONNECTION
- KB Fire/EMS key box (Knox Box)

Note:

Extend fire alarm and sprinkler system to serve addition area.

Shaded part: not in the scope of work (N.I.C.)

1st FLOOR LIFE SAFETY PLAN

Scale: 1" = 10'-0" | E6

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T- 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

ARCHITECT 6771-A RANDALL MICHAEL SOVICH STATE OF MARYLAND

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 6771-A
EXPIRATION DATE: 9-18-2024

A001

CODE SHEET

21005 221104 Drawing.vwx

1 The General Contractor Shall Be Responsible For Obtaining All Required Subcontractor Permits Prior To Construction.

2 The Contract Documents Consist Of Drawings Listed On Sheet A0 And The Project Manual.

3 The Contract Documents Are Instruments Of Service And Shall Remain The Property Of RM Sovich Architecture (The Architect) Whether The Project For Which They Are Prepared Is Executed Or Not. The Contract Documents Shall Not Be Used By Owner Or Tenant For Other Projects Or Extensions To The Project Nor Are They To Be Modified In Any Manner Whatsoever Except By Agreement In Writing With The Appropriate Compensation To The Architect.

4 The Work Will Conform With The Requirements Of All Agencies Having Jurisdiction.

5 "Owner" Means As Per Title Block Or Representative.

6 "Furnish" Means Supply Only. Installation Is Not Part Of This Contract.

7 "Provide" Means Furnish And Install, Complete And In Place.

8 "Similar" Means Comparable Characteristics For Conditions Noted. Contractor To Verify Dimensions.

9 "Typical" Means Identical For Conditions Noted.

10 Do Not Scale Drawings, Dimensions Govern. Verify Dimension With Field Conditions. If Discrepancies Are Discovered Between Field Conditions And Drawings Or Between Drawings, Contact The Architect For Resolution Before Proceeding.

11 Horizontal Dimensions Indicated Are To/From Finish Face Of Construction, Unless Otherwise Noted.

12 Vertical Dimensions Are From Top Of Floor Slab, Except Where Noted To Be From Above The Finish Of Floor (A.F.F.)

13 Dimensions Are Not Adjustable Without Approval Of The Architect Unless Noted (+/-).

14 All Work Shall Be Erected And Installed Plumb, Level Space And True, And In Proper Alignment.

15 Cut And Fit Components For Alterations Of Existing Work And Installation Of New Work. Patch Disturbed Areas To Match Adjacent Materials And Finishes.

16 Patch And Repair All Fireproofing Damaged Or Removed During Performance Of The Work.

17 Co-ordinate And Provide Blocking/Backing In Partitions Behind All Wall Mounted Millwork, Shelving, And Standards. All Concealed Wood To Be Fire Rated.

18 Contractor Shall Be Responsible To Coordinate And Incorporate Owner Furnished Items Including Recognition Of Lead Times And Proper Scheduling. Contractor Shall Provide Necessary Protection Of Owner Items.

19 Contractor Shall Be Responsible For Checking Contract Documents, Field Conditions And Dimensions For Accuracy And Confirming That Work Is Buildable As Shown Before Proceeding With Construction. Clarifications Regarding Any Conflicts Shall Be Approved Prior To Related Work Being Started. The Contractor Shall Notify The Owner In Writing Of Any Deficiencies In Base Building Work Prior To The Commencement Of This Work, Any Unreported Deficiencies Will Become The Responsibility Of The Contractor To Correct.

20 Contractor Shall Verify That No Conflicts Exist In Locations Of Any And All Mechanical, Telephone, Electrical, Plumbing And Sprinkler Equipment (To Include All Piping, Ductwork And Conduit) And That All Required Clearances For Installation And Maintenance Of The Above Equipment Are Provided. Elements To Be Exposed Or Concealed Shall Be Determined And Reviewed By The Architect Prior To Proceeding With Construction.

21 General Contractor Is Responsible For And Shall Provide Protection For Any Existing Finishes Including Elevators, Lobbies And Corridors Of The Base Building. Any Repair To Existing Areas Are Not Part Of This Project Or Contract Unless Noted.

22 Mechanical, Electrical, Plumbing & Fire Protection Systems, Shop Drawings And Layouts Shall Be Submitted As Soon As Possible After Award Of Contract To The Owner & RM Sovich Architecture Allowing 5 Working Days For Review. No Construction Shall Proceed Until Approval Of These Drawings Has Been Received By Contractor. Construction That Preceeds Approval Of These Drawings Is Done So At The Risk Of The Contractor.

23 Contractor Shall Provide Manufacturer's Specifications Installation Instruction, Shop Drawings & Samples For Review And Approval Of All Materials And Methods To Be Used Prior To Ordering Or Proceeding With The Work.

24 Contractor Shall Follow Manufacturer's Recommended Specifications And Installation Procedures, If These Are Contrary To The Contract Documents, Contractor Shall Notify RM Sovich Architecture, In Writing Immediately To Resolve Discrepancies Prior To Proceeding.

25 Exercise Extreme Care And Precaution During Construction Of The Work To Minimize Disturbances To Adjacent Tenants And Their Occupants, Property, Public Thoroughfares, Etc. Contractor Shall Take Precautions And Be Responsible For The Safety Of All Building Occupants From Construction Procedures.

26 Within five days of the contract date the Contractor shall re-submit to owner and RM Sovich the negotiated and agreed-upon schedule; with detailed activities and any Owner related items which may affect the schedule.

27 Abbreviations Used In Referring To Standards That Apply To The Work Include, But Are Not Necessarily Limited To The Following:

A. American Society Of Testing Materials (ATM)
B. American Institute Of Steel Construction (AISC)
C. American Welding Society (AWS)
D. American Concrete Institute (ACI)
E. American National Standards Institute (ANSI)
F. Architectural Aluminum Manufacturer's Association (AAMA)
G. Aluminum Association, Inc. (AA)
H. Concrete Reinforcing Steel Institute (CRSI)
I. National Association Of Architectural Metal Manufacturer's (NAAMM)
J. National Fire Protection Association (NFPA)
K. National Woodwork Manufacturer's Association (NWMA)
L. Woodwork Institute Of America (WIA)
M. Architectural Woodwork Institute (AWI)

28 NOT USED

29 The Finished Work Shall Be Firm Well Anchored, In True Alignment, Plumb, Level, With Smooth, Clean, Uniform Appearance Without Waves, Distortions, Holes, Marks, Cracks, Stains, Or Discoloration. Joints Shall Be Close Fitting, Neat And Well Scribed. The Finish Shall Not Present Hazardous, Unsafe Corners. All Work Shall Have The Provision For Expansion, Contraction, And Shrinkage As Necessary To Prevent Crack, Buckling And Warping Due To Temperature And Humidity Conditions.

30 Attachments, Connections, Or Fastenings Of Any Nature Are To Be Properly And Permanently Secured In Conformance With Standards Established By, But Not Limited To, Those Referenced In General Note 27. Contractor Is Responsible For Improving Them Accordingly. The Drawings Show Only Special Conditions To Assist The Contractor, They Do Not Illustrate Every Such Detail.

31 NOT USED

32 The Contractor Shall Co-ordinate Architectural And Structural Clearances For Accessibility Of Millwork, Equipment And Mechanical And Electrical Systems. No Allowance Of Any Kind Will Be Made For The Contractor's Negligence To Foresee Means Of Installing Equipment Into Position Inside Structures.

33 No Work Defective In Construction Or Quality Or Deficient In Any Requirements Of Drawings And/Or Specifications Will Be Acceptable In Consequence Of Owner's Or Architect's Failure To Discover Or To Point Out Defects Or Deficiencies During Construction. Defective Work Revealed Within Required Time Guarantees Shall Be Replaced By Work Conforming With Intent Of Contract. No Payment Whether Partial Or Final, Shall Be Construed As An Acceptance Of Defective Work Or Improper Materials.

34 Materials And Workmanship Specified By The Reference To Number Symbol, To Title Of A Specification Such As Commercial Standards, Federal Specification, Trade Association Standard, Or Other Similar Standard, Shall Comply With Requirements In Latest Edition Or Revision Thereof And With Any Amendment Or Supplement Thereto In Effect On Date Of Origin Of This Project's Contract Documents. Such Standard, Except As Modified Herein, Shall Have Full Force And Effects As Though Printed In Contract Documents.

35 Contractor Shall Waive "Common Practice" And Common Usage" As Construction Criteria Wherever Details And Contract Documents Of Governing Codes, Ordinances, Etc. Require Greater Quantity Or Better Quality Than Common Practice Or Common Usage Would Require.

36 Contractor Shall Order And Schedule Delivery Of Materials In Ample Time To Avoid Delays In Construction. If An Item Is Found To Be Unavailable, Contractor Shall Notify The Architect Immediately To Allow The Architect A Reasonable Amount Of Time To Select A Suitable Substitute.

37 If At Any Time Before Commencement Of Work, Or During Progress Thereof, Contractor's Methods, Equipment Or Appliances Are Inefficient Or Inappropriate For Securing Quality Of Work, Or Rate Of Progress Intended By Contract Documents, Owners May Order Contractor To Improve Their Quality Or Increase Their Efficiency. This Will Not Relieve Contractor Of His Sureties From Their Obligations To Secure Quality Work And Rate Of Progress Specified In Contract.

38 With Reference To Ceilings, Contractor Shall Co-ordinate With All Trades Involved And Prepare Composite Shop Drawings To Insure Clearances For Fixtures, Ducts, Ceilings, Etc., Necessary To Maintain The Specified Finish Ceiling Height Above The Finish Floor As Noted On The Drawings. Clarify Conflicts With The Architect.

39 RM Sovich Architecture, Acting As The Owner's Designated Agent For Designing This Project, Will Exercise Sole Authority For Determining Conformance Of Materials, Equipment And Systems With The Intent Of The Design. Review And Acceptance Of All Items Proposed By Contractor For Incorporation Into This Work Will Be Completed By The Architect. This Function Of The Architect Will Apply Both To Contract As Initially Signed, And To The Changes To Contract By Modification During Progress Of Work.

40 Reference To Makes, Brands, Models, Etc. Is To Establish Type And Quality Desired. Substitution Of Acceptable Equals Will Not Be Permitted Unless Specifically Noted. Substitutions Must Be Submitted To Owner And Architect For Approval.

41 With Regard To Core Drilled Slab Openings, Contractor Shall Submit A Drawing Showing The Location And Size Of All Openings To The Building Owner's Representative For Review By The Owner's Structural Engineer. The Following Procedure Shall Be Effected:

A. Review core drilled locations with Structural Engineer prior to drilling.
B. Not Used
C. Openings Shall Not Be Permitted Either Horizontally Or Vertically Through Beams.
D. Openings Shall Not Be Cored Until It Is Determined That The Reinforcing Or Tendons Will Not Be Damaged.
E. Openings And/Or Damaged Areas Shall Then Be Patched With Non-shrink Grout, In Areas Subject To Moisture Such As Restrooms, Pantries, Janitor Closets, Garages, Etc. The Non Shrink Grout Shall Be Placed At The Lower Half Of The Opening And The Upper Half Of The Opening Then Filled Joint Sealer As Used In Base Building Construction. Be Co-ordinated With The Owner.

42 The Contractor Shall Take All Reasonable Control And Precaution To Eliminate Dust, Noise, Odor Nuisance And The Like To The Premises And The Occupancy. In Addition, The Contractor Shall Establish Clean And Effective Means Of Trash And Waste Removal. A Plan For The Location Of Any Dumpsters, Trash Chutes, Material Lifts, Or Staging Areas (complete With Fencing Diagrams) Shall Be Submitted Prior To The Commencement Of Construction.

43 Sound Caulk All Acoustical Walls- Top And Bottom Joints With Approved Acoustical Caulking.

44 In The Event That Asbestos Or Other Environmental Hazard Is Found In Walls, Ceilings, Etc., Then Its Removal Or Encapsulation Shall Be Co-ordinated With The Owner.

45 Contractor Shall Co-ordinate Location And Quantity Of Fire Extinguishers and Cabinets indicated on drawings with Inspector prior to installation.

46 Contractor To Be Responsible For The Disposal Or Relocation Of The Existing Building And Maintenance Materials Located Within The Space.

47 Contractor To Ensure That All Gas Lines Are Turned Off Before Removing, Cutting Or Capping Existing Piping.

48 Contractor To Determine Adequacy Of The Existing Hvac Units. Upon Completion Of Construction, G.c. To Rebalance Entire Space If Applicable.

49 Contractor Shall Provide Maintenance Spec For All Finishes. In Addition, The Contractor Shall Provide O&m Manuals For All Mechanical, Electrical, Plumbing, Sprinkler, And Other Equipment.

50 Contractor Shall Provide A Minimum One Year Warranty On All Work. Contractor Shall Assisted The Owner In Enforcing All Warranties In Excess Of One Year

51 Contractor Shall Submit To RM Sovich Architecture All Equipment Cut Sheets, Custom Millwork Shop Drawings, Design Build And Ordinances And Shall Receive Verification Of Inspection, Approval Drawings, And Hardware, Etc To Be Used On This Project For Approval.

52 If Applicable, Contractor To Ensure That Fire Suppression System Shall Comply With All Applicable Codes And Ordinances And Shall Receive Verification Of Inspection And Approval. In Addition, The Contractor Shall Ensure That The Fire Suppression System Will Remain Active And Code Compliant During The Construction Period.

53 Contractor Is Responsible For The Safety, Actions And Conduct Of His Employees And His Subcontractors' Employees While In The Project Area, Adjacent Areas And In The Building And Its Vicinity. The Contractor Shall Employ Or Subcontract A Safety Manager To Make Weekly Site Visits, And Hold Weekly Safety Meetings As Required By OSHA And MOSH.

54 Requests To Substitute Any Product, Technique, Or Material Shall Be Submitted In Writing To Architect For Approval. Samples, Product Information, And Drawings Shall Be Required Prior To Substitution Approval. Proposed Substitution Shall Be Of Equal Quality And Performance Specification To That Originally Specified.

55 All Workmanship, Material, And Equipment Shall Be Guaranteed For One Year From Date Of Owner Acceptance. Any Failure Or Deterioration Within This Period Shall Be Corrected By The Contractor At The Contractor's Expense.

56 The Contractor Shall Supply Artic Stock Of All Finish Materials Equal To 5% Of The Material Supplied "rounded Up" To The Nearest Whole Gallon, Bucket, Box, Or Other Typical Manufacturer's Container.

Plumbing General Notes:

1 All Plumbing Work To Be Completed By Licensed Plumber And Comply With All Plumbing, And Fire Codes And Regulations.

Electrical/Telephone General Notes:

1 All Electrical/Telephone Work To Be Completed By Licensed Electrician And Comply With All Electrical And Fire Codes And Regulations.

2 All Electrical Outlets To Be Mounted Per Contract Document. Contractor Shall Submit To Architect Color Samples For Receptacles And Coverplates For Approval.

General Reflected Ceiling Notes:

1 It Is The Responsibility Of The Contractor To Review The General Notes.

2 All Rooms To Be Switched Individually. Install Light Switch At 3'-6" A.f.f. And Within 8" Of Door Frame, Unless Otherwise Noted.

3 Switches Located In The Same Area To Be Ganged On Same Plate, If Applicable. Plates In Same Area To Be Adjacent To Each Other And Are To Align. Contractor Shall Submit Color Samples For Switch And Cover Plates, To Architect For Approval.

Millwork General Notes:

1 Contractor To Provide Grommets At Countertops, Coordinate With Telephone & Electrical And Owner. Exact Location And Color Shall Be Co-ordinated On Shop Drawings.

2 Contractor To Review Millwork Drawings And Assure That Outlets Clear Millwork.

3 Contractor To Submit Samples Of Millwork And Surface Material To Architect And Client For Approval.

4 Contractor Shall Install Fire Treated Blocking In New Partitions To Receive New Millwork To Ensure Sturdy Installation.

The following general notes shall be adhered to during construction:

1 Guards for stairs, landings, balconies, corridors, passageways, floor or roof openings, ramps, aisles, porches or mezzanines that are more than 30 inches above grade shall be provided with guardrails which are at least 42 inches high as per section 7-2.2.4.5.2, NFPA 101.

2 Guards for the landing higher than 30 inches above the floor shall conform to 42 inch minimum height so that a 4 inch diameter sphere cannot pass per section 7-2.2.4.5.2, NFPA 101.

3 Ramp(s) shall conform to the slope, integrity and handrail requirements of section 7-2.5, NFPA 101.

4 HVAC systems greater than 2000 CFM and 25,000 cubic feet in volume shall comply with the duct detector provisions of section 4-4 of NFPA 90A. Installing contractor shall provide all necessary equipment/materials necessary for final acceptance testing.

5 Every bathroom door lock shall be designed to permit opening of the locked door from the outside in an emergency. The opening device shall be readily accessible to the staff.

6 Minimum clear width of corridors and passageways shall be 72 inches.

7 Provide portable fire extinguishers as per NFPA 10.

8 Stairs shall conform to the requirements of section 7-2.2, NFPA 101 which include, but are not limited to the following:
A. Riser height - 7 inch maximum
B. Tread Depth - 11 inch minimum (clear of nosing)
C. Head Room - 6 feet 8 inch minimum.
D. Handrails - 34 inches to 38 inches above tread surface.
E. Width - 44 inches minimum.
F. Guardrails - 42 inches high.

9 Exit door locks, if provided, shall not require the use of a key, tool, special knowledge or effort for operation within a building, per section 7-2.1.5.2, NFPA 101.

10 A separate permit is required for any alterations to the sprinkler system. Four (4) sets of shop drawings of the proposed automatic sprinkler system or alterations shall be submitted to and approved by this office prior to installation per section 1-7.1, NFPA 72.

11 Provide OSHA And MOSH Compliant Cleated Floor Protection With Painted Edge For Any Floor Opening

General Notes to GC:

1. Correlation and Intent of the Contract Documents
1.2 The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all; performance by the Contractor shall be required only to the extent consistent with the Contract Documents and reasonably inferable from them as being necessary to produce the indicated results.

1.2. Because the Contract Documents are complementary, the Contractor shall, before starting each portion of the Work, carefully study and compare the various Contract Documents relative to that portion of the Work, as well as the information furnished by the Owner, shall take field measurements of any existing conditions related to that portion of the Work, and shall observe any conditions at the site affecting it. These obligations are for the purpose of facilitating coordination and construction by the Contractor and are not for the purpose of discovering errors, omissions, or inconsistencies in the Contract Documents; however, the Contractor shall promptly report to the Architect any errors, inconsistencies or omissions discovered by or made known to the Contractor as a request for information in such form as the Architect may require. It is recognized that the Contractor's review is made in the Contractor's capacity as a contractor and not as a licensed design professional, unless otherwise specifically provided in the Contract Documents.

1.3 The Contractor is not required to ascertain that the Contract Documents are in accordance with applicable laws, statutes, ordinances, codes, rules and regulations, or lawful orders of public authorities, but the Contractor shall promptly report to the Architect any nonconformity discovered by or made known to the Contractor as a request for information in such form as the Architect may require.

GENERAL NOTES

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

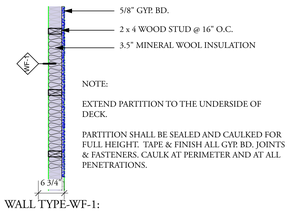
ARCHITECT 6171-A RANDOLPH MICHAEL SOVICH STATE OF MARYLAND

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 6171-A
EXPIRATION DATE: 9-18-2024

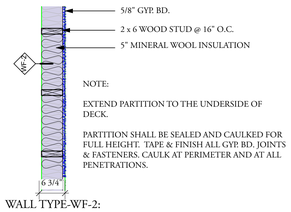
A002

GENERAL NOTES

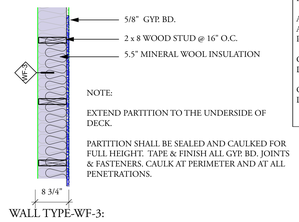
21005 221104 Drawing.vwx



WALL TYPE-WF-1:



WALL TYPE-WF-2:



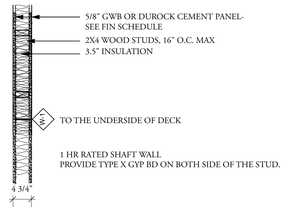
WALL TYPE-WF-3:

GENERAL NOTE:
PROVIDE MOISTURE RESISTANCE GYP. BD WET LOCATIONS INCLUDING BUT NOT LIMITED TO BEHIND ALL PLUMBING FIXTURES, WATER FOUNTAINS AND EVERY WALL IN ALL RESTROOMS AND JANITORS CLOSET.

ALL PARTITIONS BETWEEN CLASS ROOMS AND CORRIDOR SHALL NOT TO BE LESS THAN **STC VALUE OF 50**. USE TL66-253 ACOUSTICAL DESIGN (5/8" TYPE X GYP. BD. SPOT-LAMINATED TO STUDS WITH DAUBS OF ADHESIVE 12"O.C. TO GET **STC 51** PER RIVERBANK ACOUSTICAL LABS) FOR SUCH PARTITIONS.

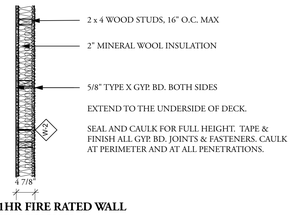
CONTRACTOR SHALL CAULK CONTINUOUSLY AT JUNCTION OF FLOOR, WALL, CEILING AND DECK. CAULK AROUND DUCT, JUNCTION BOXES AND OPENINGS FOR SWITCH, TOILET FIXTURES, PLUMBING, ETC...).

GENERAL CONTRACTOR IS RESPONSIBLE TO REVIEW AND VERIFY THE UL DESIGN NUMBERS FOR THE WALL TYPES LISTED



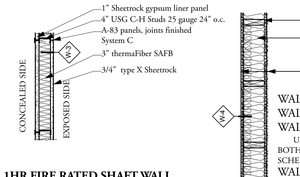
UNRATED PARTITION

WALL TYPE-1



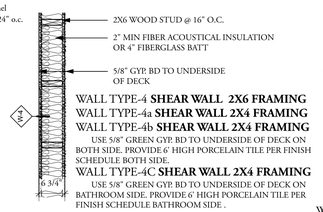
1HR FIRE RATED WALL
UL DESIGN U344

WALL TYPE-2

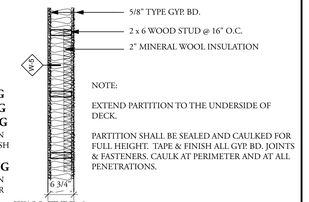


1HR FIRE RATED SHAFT WALL
UL DESIGN U415

WALL TYPE-3



WALL TYPE-4 **SHEAR WALL 2X6 FRAMING**
WALL TYPE-4a **SHEAR WALL 2X4 FRAMING**
WALL TYPE-4b **SHEAR WALL 2X4 FRAMING**
USE 5/8" GREEN GYP. BD TO UNDERSIDE OF DECK ON BOTH SIDE. PROVIDE 6' HIGH PORCELAIN TILE PER FINISH SCHEDULE BOTH SIDE.
WALL TYPE-4C **SHEAR WALL 2X4 FRAMING**
USE 5/8" GREEN GYP. BD TO UNDERSIDE OF DECK ON BATHROOM SIDE. PROVIDE 6' HIGH PORCELAIN TILE PER FINISH SCHEDULE BATHROOM SIDE .

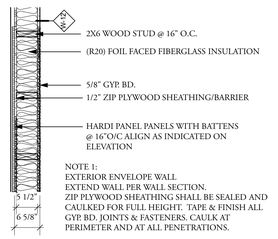


WALL TYPE-5:

WALL TYPES

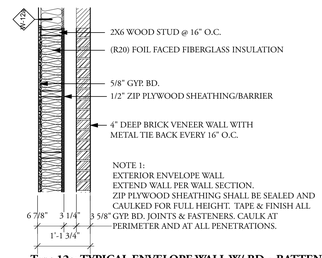
Scale: 3/4" = 1'-0"

D3



Type 12: TYPICAL ENVELOPE WALL W/ BD + BATTEN

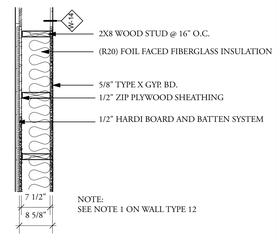
EXTERIOR WALL TYPE-12



Type 12a: TYPICAL ENVELOPE WALL W/ BD + BATTEN

EXTERIOR WALL TYPE-12a

NOTE:
On all exterior walls, the batt insulation is to be cut to fit around wiring so that insulation can completely fill the wall cavity



Type 14: ENVELOPE WALL WITH 2X8 FRAMING

EXTERIOR WALL TYPE-14

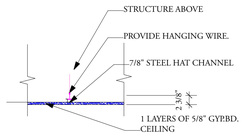
IECC 2015

R501.6 Historic buildings.
No provision of this code relating to the construction, repair, alteration, restoration and movement of structures, and change of occupancy shall be mandatory for historic buildings provided a report has been submitted to the code official and signed by the owner, a registered design professional, or a representative of the State Historic Preservation Office or the historic preservation authority having jurisdiction, demonstrating that compliance with that provision would threaten, degrade or destroy the historic form, fabric or function of the building.

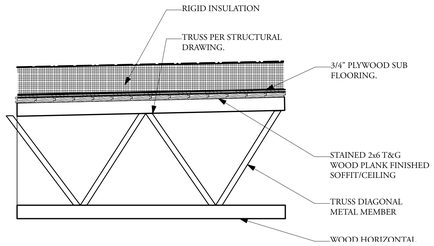
EXTERIOR WALL TYPES

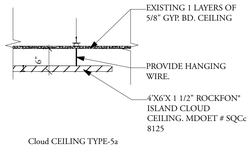
Scale: 3/4" = 1'-0"

C6

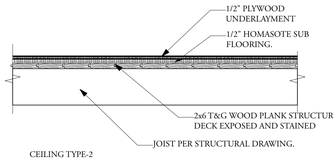


CEILING TYPE-5

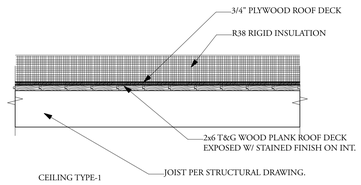




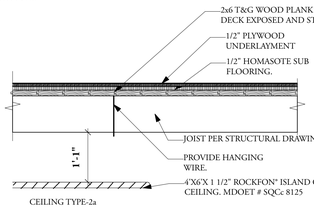
Cloud CEILING TYPE-5a



CEILING TYPE-2



CEILING TYPE-1



CEILING TYPE-2a

FLOOR / CEILING TYPES

Scale: 3/4" = 1'-0"

C3

Door #	Door pair	Nominal Size: Width	Height	Thickness	Door Type	Door Material	Door Finish	Glaz. Style	Door Frame: Frame Type	Frame Material	Frame Finish	Fire Rating: Frame	Door Slab	HW Set	Comments
130	PR.	6'0"	7'0"	1 3/4"	N-2	WD	STAIN	1/4" TEMP.	SF-5	HM	PTD	-	-	DHW-5	EXIT DOOR
131		3'0"	8'0"	1 3/4"	F-3	WD	STAIN	1/4" TEMP.	SF-2	HM	PTD	-	-	DHW-3	EXIT DOOR WITH SIDE LIGHT
132		3'0"	7'0"	1 3/4"	F1	WD	STAIN		SF-1	HM	PTD	-	-	DHW-4	OFFICE DOOR
133	PR.	4'0"	7'0"	1 3/4"	F-4	WD	STAIN		SF-3	HM	PTD	-	-	DHW-7	STORAGE FUNCTION
134	PR.	6'0"	7'0"	1 3/4"	AL-1	WD	STAIN	1/4" TEMP.	AF-1	HM	PTD	-	-	DHW-2	EXIT DOOR -PAIR OF LEAF
134B		3'0"	7'0"	1 3/4"	N-2	WD	STAIN	1/4" TEMP.	SF-1	HM	PTD	-	-	DHW-3	EXIT DOOR
135		3'0"	7'0"	1 3/4"	N-2	WD	STAIN		SF-1	HM	PTD	-	-	DHW-1	EXIT DOOR
222		3'0"	7'0"	1 3/4"	F1	WD	STAIN	None	SF-1	HM	PTD	-	-	DHW-5	CLASS ROOM DOOR
222A		2'6"	6'0"	1 3/4"	F1	WD	STAIN	None	SF-1	HM	PTD	-	-	DHW-6	CLOSET DOOR
223		3'0"	7'0"	1 3/4"	F1	WD	STAIN	None	SF-1	HM	PTD	-	-	DHW-5	CLASS ROOM DOOR
223A	34" PR	5'0"	7'0"	1 3/4"	B-1	WD	WB/PT	None	BF-1	HM	PTD	-	-	DHW-9	Class room side shall serve as a white board
228		3'0"	6'8"	1 3/4"	P3-EX*	WD	STAIN	None	*	*	PTD	-	-	DHW-#	EXISTING DOOR, RESTORE.
229		3'0"	6'8"	1 3/4"	P2-EX*	WD	STAIN	None	*	*	PTD	-	-	DHW-#	EXISTING DOOR, RESTORE.
230		3'0"	6'8"	1 3/4"	P2-EX*	WD	STAIN	None	*	*	PTD	-	-	DHW-#	EXISTING DOOR, RESTORE.
230		3'0"	6'8"	1 3/4"	P2-EX*	WD	STAIN	None	*	*	PTD	-	-	DHW-#	EXISTING DOOR, RESTORE.
231		3'0"	6'8"	1 3/4"	P2-EX*	WD	STAIN	None	*	*	PTD	-	-	DHW-#	EXISTING DOOR, RESTORE.

E3

HARDWARE:

REFER TO HARDWARE SPECIFICATION
NOTE: PROVIDE ITEMS, ARTICLES, MATERIALS, OPERATIONS AND METHODS LISTED, MENTIONED OR SCHEDULED HEREIN OR ON DRAWINGS, IN QUANTITIES AS REQUIRED TO COMPLETE PROJECT.
PROVIDE HARDWARE THAT FUNCTIONS PROPERLY. PRIOR TO FURNISHING HARDWARE, ADVISE ARCHITECT OF ITEMS THAT WILL NOT OPERATE PROPERLY, ARE IMPROPER FOR CONDITIONS, OR WILL NOT REMAIN PERMANENTLY ANCHORED.
*SUBMIT 5 COPIES OF HARDWARE SCHEDULE TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
DOOR HARDWARE SETS
ALL FINISHES TO BE BHMA FINISH CODE 626 - DULL CHROMIUM OR APPROVED EQUAL

HW 01:		**131**			
EXIT HARDWARE					
	1	HINGES	CONTINUOUS		
1 SET		CLOSER			
1 SET		PANIC HARDWARE	Von Duprin 33A/35A Series		
1 SET		ANTIQUE BRASS FLUSH PULL	SMART SERIES PULL		
1 EACH		WALL BUMPER	409	US32D	RO
1 SET		DOOR BOTTOM			
		GASKETING			
		ADA TRESHOLD			
HW 02:		**134**			
EXIT HARDWARE PAIR OF DOORS					
	1	HINGES	CONTINUOUS		
1 SET		CLOSER			
1 SET		PANIC HARDWARE	Von Duprin 33A/35A Series		
1 SET		ANTIQUE BRASS FLUSH PULL	SMART SERIES PULL		
1 EACH		WALL BUMPER	409	US32D	RO
1 SET		DOOR BOTTOM			
1 EACH		MORTISED ASTRAGAL			
		GASKETING			
		ADA TRESHOLD			
HW 03:		**131**			
EXIT HARDWARE					
	1	HINGES	CONTINUOUS		
1 SET		CLOSER			
1 SET		PANIC HARDWARE	Von Duprin 33A/35A Series		
1 SET		ANTIQUE BRASS FLUSH PULL	SMART SERIES PULL		
1 EACH		WALL BUMPER	409	US32D	RO
1 SET		DOOR BOTTOM			
		GASKETING			
HW 04:		**132**			
ENTRYDOOR HARDWARE					
3 EACH		BB1168 4-1/2 X 4 1/2		HAG	
2 EACH		ND50 ATHENS 626 OFFICE/ENTRY		SCHLAGE	
1 EACH		WALL BUMPER/FLOOR STOP			
3 EACH		SILENCERS			
1 EACH		DOOR BOTTOM	#113NA	NGP	
1 SET		PERIMETER SEAL	#155S	NGP	
		GASKETING			
		ADA TRESHOLD			

HW 05:		**222,223**			
CLASSROOM FUNCTION HARDWARE					
3 EACH		BB1168 4-1/2 X 4 1/2		HAG	
2 EACH		ND70 ATHENS 626 OFFICE/ENTRY		SCHLAGE	
1 EACH		WALL BUMPER/FLOOR STOP			
1 EACH		KICKPLATE			
3 EACH		SILENCERS			
1 EACH		DOOR BOTTOM	#113NA	NGP	
1 SET		PERIMETER SEAL	#155S	NGP	
HW 6:		**133**			
STORAGE ROOM HARDWARE SINGLE					
3 EACH		BB1168 4-1/2 X 4 1/2		HAG	
2 EACH		ND80 ATHENS 626 STOREROOM		SCHLAGE	
1EACH		WALL BUMPER/FLOOR STOP			
1EACH		KICKPLATE			
3EACH		SILENCERS			
1EACH		DOOR BOTTOM	#113NA	NGP	
1 SET		PERIMETER SEAL	#155S	NGP	
HW 7:		**133**			
STORAGE ROOM HARDWARE PAIR					
3 EACH		BB1168 4-1/2 X 4 1/2		HAG	
2 EACH		ND80 ATHENS 626 STOREROOM		SCHLAGE	
1EACH		WALL BUMPER/FLOOR STOP			
1EACH		KICKPLATE			
3EACH		SILENCERS			
1EACH		DOOR BOTTOM	#113NA	NGP	
1 SET		PERIMETER SEAL	#155S	NGP	
1 EACH		MORTISED ASTRAGAL			
HW 8:		**112,113,116,115**			
TOILET ROOM HARDWARE					
(3)EACH		BB1168 4-1/2 X 4 1/2		HAG	
2 EACH		ND40 ATHENS 626 PRIVACY FUNC		SCHLAGE	
1EACH		WALL BUMPER/FLOOR STOP			
1 EACH		KICKPLATE			
1 EACH		SILENCERS			
1 EACH		DOOR BOTTOM	#113NA	NGP	
1 SET		PERIMETER SEAL	#155S		
HW 9:		BARN DOOR			
Per spesfication					
HW 10:		OVERHEAD DOOR			
Per spesfication					

MANUFACTURERS CODE NAME:

AB	ARCHITECTURAL BUILDERS HARDWARE	NA	NATIONAL GUARD
DM	DORMA	PB	PBB, INC.
HA	HAGER HINGE	RO	ROCKWOOD
HA	HORTON	ST	STANLEY
LA	LOCKEY USA		

HARDWARE SCHEDULE

Scale: Actual Size

E6

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

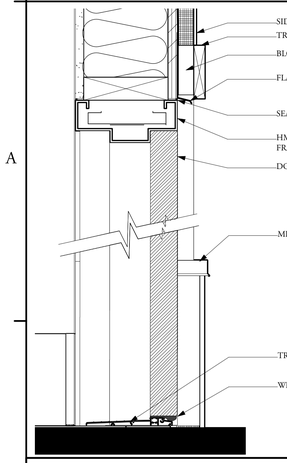
ARCHITECT 6171-A MICHAEL RANDOLPH SOVICH STATE OF MARYLAND

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO 6171-A
EXPIRATION DATE: 9-18-2024

A003

WALL TYPES

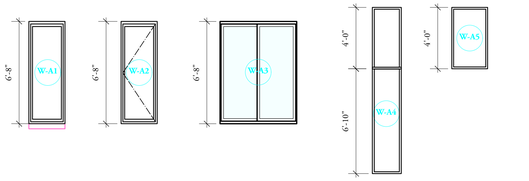
21005 221104 Drawing.vwx



DOOR DETAIL @ SIDING WALL

Scale: 3" = 1'-0"

B1



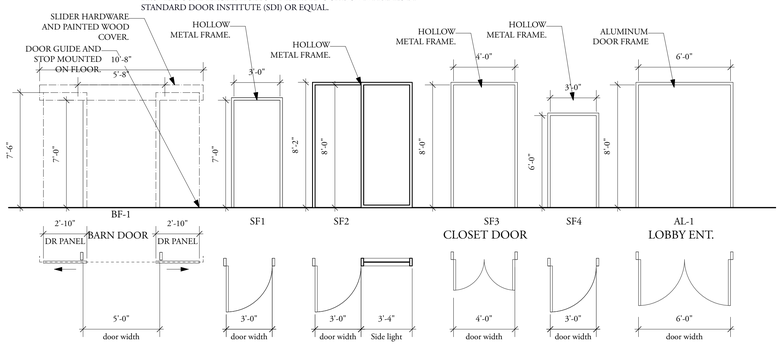
WA-01 FIXED WINDOW | WA-02 OPERABLE WINDOW | WA-03 PAIR OF WINDOW LPW-300 | WA-04 FIXED WINDOW | WA-05 FIXED WINDOW

WINDOW TYPES

B3

FRAME TYPE

NOTE: ALL STEEL FRAME SHALL BE PAINTED. PROVIDE COMMERCIAL HOLLOW METAL KNOCK DOWN FRAMES BY STANDARD DOOR INSTITUTE (SDI) OR EQUAL.



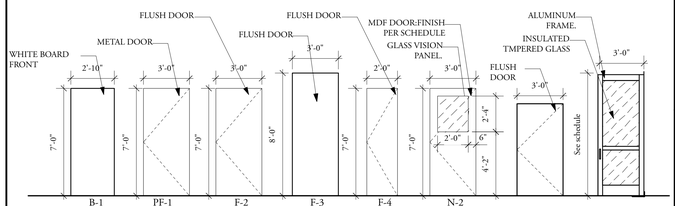
DOOR FRAME TYPES

B5

NOTE:
ALL PAINTED DOORS: COLOR TBD.

ALL METAL DOORS SHALL BE PAINTED: COLOR TBD.

CONTRACTOR SHALL SUBMIT DOOR, FRAME AND HARDWARE SHOP DRAWING AND SAMPLE FOR REVIEW AND APPROVAL.



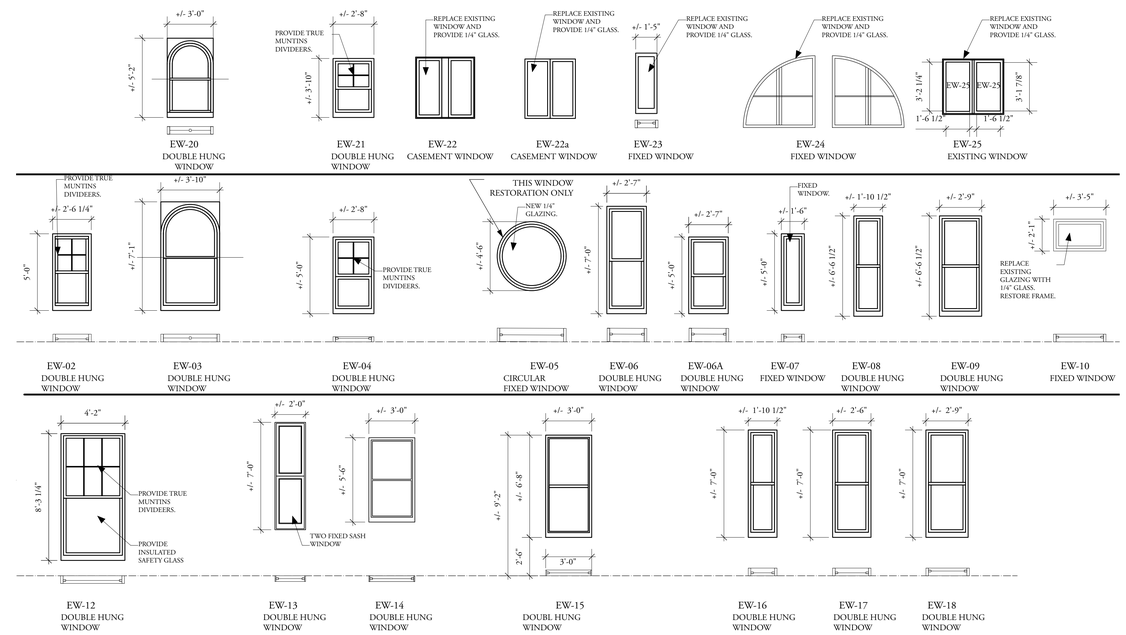
DOOR TYPES

B6

DOOR FRAME

Scale: 3" = 1'-0"

D2



REPLACEMENT WINDOW TYPE

Scale: 1/4" = 1'-0"

D5

Room Finish Schedule

		Floor			Wall					
Room #	Room Name	Matl	Base	North	East	South	West	Ceiling	Remarks
101-R	Hall	EX-WDF1	EX-B1	PT-7	PT-7	PT-7	PT-7	PT-1, PT-2	Refinish existing wood flooring and base.
101a-R	Closet	EX-WDF1	EX-B1	PT-7	PT-7	PT-7	PT-7	PT-1, PT-2	Refinish existing wood flooring and base.
102-R	Study Room	RF-3	WD-1	PT-6	PT-6	PT-6	PT-6	PT-1	Pattern-3
102a-R	Closet	RF-3	WD-1	PT-6	PT-6	PT-6	PT-6	PT-1	Pattern-3
102b-R	Closet	RF-3	WD-1	PT-6	PT-6	PT-6	PT-6	PT-1	Pattern-3
103-R	Meeting room	EX-WDF1	RB-1	PT-7	PT-7	PT-7	PT-7	PT-1, PT-2	Refinish existing wood flooring and base.
130	Lobby	RF-7 WOM	RB-1	PT-2	PT-2	PT-2	PT-2	STAIN	Pattern-1
131	Hall	RF-3	EX-B1	PT-8a	PT-8a	PT-8a	PT-8a	STAIN	
132	Office	RF-3	RB-1	PT-6	PT-6	PT-6	PT-6	ACT-2	
133	Closet	RF-1	RB-2	PT-2	PT-2	PT-2	PT-2	STAIN	
134	Multi Purpose Room	RF-2	RB-2	PT-2	PT-2	PT-2	PT-2	STAIN	Provide MDF panel on wall per detail.
134A	Closet	RF-2	RB-2	PT-2	PT-2	PT-2	PT-2	STAIN	
135	Hall	RF-3	RB-1	PT-6	PT-6	PT-6	PT-6	ACT-2	
221	Hall	RF-3	EX-B1	PT-6	PT-8a	PT-8a	PT-6	STAIN	
222	Classroom	RF-3,4,5	RB-1	PT-7	PT-8a	PT-8a	PT-8a	ACT-2	
222A	Closet	RF-3,4,5	RB-1	PT-8a	PT-8a	PT-8a	PT-8a	PT-1	
223	Classroom	RF-3,4,5	RB-1	PT-7	PT-8a	PT-8a	PT-8a	STAIN	
223A	Closet	RF-3,4,5	RB-1	PT-8a	PT-8a	PT-8a	PT-8a	-	
225-R	Office	EX-WDF1	EX-B1	PT-3	PT-3	PT-3	PT-3	PT-1	Refinish existing wood flooring and Base
226-R	Staff room	EX-WDF1	EX-B1	PT-3	PT-3	PT-3	PT-3	PT-1	Refinish existing wood flooring and Base
227-R	Staff Bath	EX-CT	EX-B1	PT-5	PT-5	PT-5	PT-5	PT-1	Repair grout and any damged ceramic tile. Existing wall tile to reamin.
228-R	Office	WDF-1	WD-1	PT-3	PT-3	PT-3	PT-3	PT-1	
229-R	Office	WDF-1	WD-1	PT-3	PT-3	PT-3	PT-3	PT-1	
230-R	Office	WDF-1	WD-1	PT-3	PT-3	PT-3	PT-3	PT-1	
231-R	Meeting room	EX-WDF1	EX-B1	PT-7	PT-7	PT-7	PT-7	PT-1	Refinish existing wood flooring and Base

FINISH SCHEDULE

E4

FINISH MATERIALS ADDITION-2

CODE	MATERIAL	MANUFACTURER	PRODUCT	FINISH/COLOR	Room Numbers	NOTES	OWNER/INSTAL L BY GC	Remark
CEILING								
ACT-3	ACOUSTIC PANEL CEILING, WET LOCATION	ROCKFON	HYGENIC PLUS	WHITE		15"/16" TEE SQUARE EDGE		Not used
ACT-1	24" X 24" ACOUSTIC PANEL CEILING	ROCKFON	TROPIC	WHITE		15"/16" TEE REGULAR EDGE		Not used
ACT-2	24" X 48" ACOUSTIC PANEL CEILING	ROCKFON	TROPIC	WHITE	15"/16" TEE R	ACT-2	ACOUSTIC PANEL CEILING	ROCKFON
CLOUD CEILING	4' x 6 x 1 1/2" ACOUSTIC PANEL CEILING	ROCKFON	Rockfon® Island	WHITE				
STAIN	EXPOSED WD STAIN COLOR	CABOT	OVT SOLID COLOR	SEACOAT GRAY		ON WOOD BEAMS AND PLANK		
PT-1	PAINT COLOR-1	SHERWIN WILLIAMS	EXTRA WHITE SW7006			CEILING		
BASE								
EX-B1	EXISTING WOOD BASE							
RB-1	4" RESILIENT BASE	JOHNSONITE	MW-68-H6	WHITE SAND (68)				
RBZ	4" HIGH RESILIENT BASE	PROTECT-ALL		DARK GRAY				
CT-2	CERAMIC TILE COVE BASE	DALTILE	KEYSTONE COLORBODY PORCELAIN	PUMPKIN SPICE D090		2x2		
FLOORING								
RF-1	RESILIENT FLOORING	FORBO	SPHERA ENERGETIC	DEEP SEA - 50204		**Storage**		
RF-2	RESILIENT FLOORING	FORBO	SPHERA ENERGETIC	DEEP SEA - 50204		**Multipurpose room**		
RF-3	RESILIENT FLOORING	J-J FLOORING	KINETEX	UMBRA II STYLE 1819 (COLOR: 2508 CELESTIAL)	as noted	REFER TO PATTERN AT LOCATION		
RF-4	RESILIENT FLOORING	J-J FLOORING (ACCENT)	KINETEX	PROPEL II 1817 (COLOR: 2370 SHOOT)	as noted	REFER TO PATTERN AT LOCATION		
RF-5	RESILIENT FLOORING	J-J FLOORING (ACCENT)	KINETEX	POP 1816 (COLOR: 1717 CIELO)	as noted	REFER TO PATTERN AT LOCATION		
RF-6	RESILIENT FLOORING	PROTECT-ALL FLOORING		DARK GRAY	Not used	5FT X 8FT INTERLOCKING TILES		
RF-7 WOM	WALK OFF MAT	PATCRAFT	ENTRY POINT MODULAR 10306	STERLING #00500	Room 120, 121, and 122	24" x 24" TILE		
WALL								
PT-2-	PAINT COLOR-2	SHERWIN WILLIAMS	CHAMPAGNE SW6644					
PT-3-	PAINT COLOR-3	SHERWIN WILLIAMS	NEBULOUS WHITE SW7063					
PT-4-ELIMINATED	ELIMINATED	SHERWIN WILLIAMS	CREAMERY SW6358					
PT-5	PAINT COLOR-5	SHERWIN WILLIAMS	SUN BLEACHED OCHRE SW9011	SEMI-GLOSS		ON CMU		
PT-6	PAINT COLOR-6	SHERWIN WILLIAMS	TIGER EYE SW6362	SEMI-GLOSS		ON BRICK		
PT-7	PAINT COLOR-7	SHERWIN WILLIAMS	SECRET COVE SW9058	EGG SHELL				
PT-8	PAINT COLOR-8	SHERWIN WILLIAMS	SHOJI WHITE SW7042	SEMI-GLOSS		TRIM PAINT		
PT-8a	PAINT COLOR-8a	SHERWIN WILLIAMS	SHOJI WHITE SW7042	EGG SHELL		WALL PAINT		
SOLID SURFACE								
SS-1	SOLID SURFACE TYPE-1	SOLID SURFACE WILSON ART	AVALANCHE MELANGE 9175ML (3)			13 mm THICK		
WINDOW BLIND	Horizontal blind					To match blind with last addition		

FINISH MATERIAL

E6

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No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 6171-A
EXPIRATION DATE: 9-18-2024

A004

DOOR SCHEDULE

21005 221104 Drawing.vwx

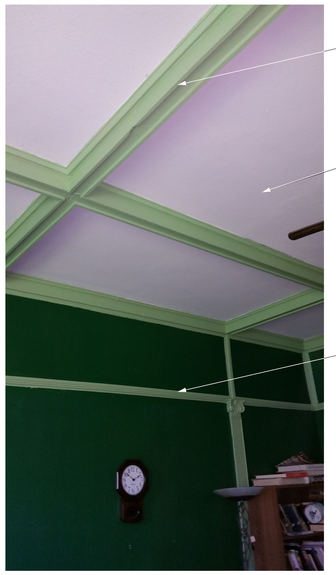
REPLACE EXIT LIGHT WITH NEW.

REMOVE OPENING TRIM TO RESTORE POCKET DOOR.

REMOVE OPENING JAMB TRIM TO RESTORE POCKET DOOR OPENING. PROVIDE WOOD TRIM FOR RESTORED JAMB.

REMOVE WOOD STAGE AND PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION.

REMOVE METAL GRILL +, GATE. STORE PER OWNER INSTRUCTION.



ROOM 103
PREP, PRIME, AND REPAINT, PER SPECIFICATION.

CONTRACTOR SHALL PROTECT THE HISTORIC FEATURE IN THE ROOM. COORDINATE WITH ELECTRICAL, MECHANICAL, PLUMBING AND FIRE SPRINKLER TRADES. SPRINKLER SYSTEM SHALL RUN ABOVE CEILING BETWEEN JOIST. RESTORE CEILING THAT IS OPENED UP FOR ANY OF THIS BUILDING SYSTEMS.

ROOM 103 PREP, PRIME, AND REPAINT, PER SPECIFICATION.

ROOM 103 PREP, PRIME, AND REPAINT, PER SPECIFICATION.

CONTRACTOR SHALL PROTECT THE HISTORIC FEATURE IN THE ROOM. COORDINATE WITH ELECTRICAL, MECHANICAL, PLUMBING AND FIRE SPRINKLER TRADES. SPRINKLER SYSTEM SHALL RUN ABOVE ATTIC SPACE. RESTORE CEILING THAT IS OPENED UP FOR ANY OF THIS BUILDING SYSTEMS.

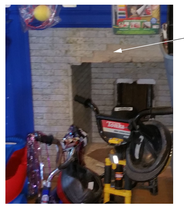
RESTORE FIRE PLACE. MISSING MOSAIC TILE TO BE FITTED WITH MATCHING MATERIAL.

REMOVE WINDOW. PREPARE WINDOW FOR NEW CONSTRUCTION.

STAINED GLASS WINDOWS TO BE RELOCATED.

RESTORE CRACK ON THE WALL.

RESTORE DAMAGED WALL CORNER.



RESTORE DAMAGED EDGE FIRE PLACE FINISH.

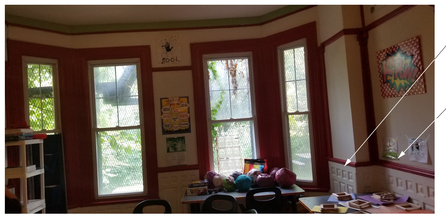
ROOM 205
PREP, PRIME, AND REPAINT, PER SPECIFICATION.

CONTRACTOR SHALL PROTECT THE HISTORIC FEATURE IN THE ROOM. COORDINATE WITH ELECTRICAL, MECHANICAL, PLUMBING AND FIRE SPRINKLER TRADES. SPRINKLER SYSTEM SHALL RUN ABOVE ATTIC SPACE. RESTORE CEILING THAT IS OPENED UP FOR ANY OF THIS BUILDING SYSTEMS.

PREP, PRIME, AND REPAINT, PER SPECIFICATION.

REFINISH WOOD FLOOR, WALL BASE AND WALL PAINT. RESTORE ANDY DAMAGED SURFACE.

CONTRACTOR SHALL PROTECT THE HISTORIC FEATURE IN THE ROOM. COORDINATE WITH ELECTRICAL, MECHANICAL, PLUMBING AND FIRE SPRINKLER TRADES. SPRINKLER SYSTEM SHALL RUN ABOVE ATTIC SPACE. RESTORE CEILING THAT IS OPENED UP FOR ANY OF THIS BUILDING SYSTEMS.



PREP, PRIME, AND REPAINT, PER SPECIFICATION.

CONTRACTOR SHALL PROTECT THE HISTORIC FEATURE IN THE ROOM. COORDINATE WITH ELECTRICAL, MECHANICAL, PLUMBING AND FIRE SPRINKLER TRADES. SPRINKLER SYSTEM SHALL RUN ABOVE ATTIC SPACE. RESTORE CEILING THAT IS OPENED UP FOR ANY OF THIS BUILDING SYSTEMS.

Notes on Existing photo E6

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No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

Structural Engineer:
Mincin Patel Milano, P.C.
6511 Harford Road
Baltimore, MD 21214

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T-410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bid set
Issued date: 01/10/2023
PRINT DATE March 3, 2023

ARCHITECT 6171-A RANDY MICHAEL SOVICH STATE OF MARYLAND

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 6171-A
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IMAGES

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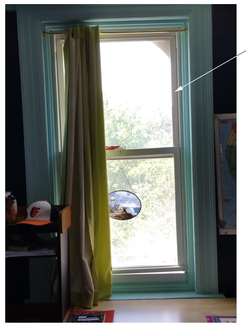


REMOVE WINDOW. PREPARE OPENING TO RECEIVE NEW WINDOW. PREPARE WINDOW FRAME AND TRIM FOR NEW FINISH.

REMOVE WINDOW GLAZING. PREPARE OPENING TO RECEIVE NEW GLAZING. PREPARE WINDOW FRAME AND TRIM FOR NEW FINISH.

REMOVE WINDOW. PREPARE OPENING TO RECEIVE NEW CONSTRUCTION.

PREPARE SURFACE TO RECEIVE NEW FINISH.

REMOVE WINDOW. PREPARE OPENING TO RECEIVE NEW CONSTRUCTION.

REMOVE RAINWATER COLLECTOR. PREPARE SURFACE TO RECEIVE NEW RAIN WATER COLLECTOR.

REMOVE PORCH AND PREPARE SURFACE TO RECIVE NEW CONSTRUCTION.

REMOVE METAL AND PATCH WALL.

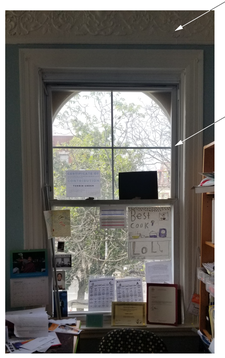
REMOVE WINDOW AND METAL GRILLE. PREPARE OPENING TO RECEIVE NEW CONSTRUCTION.

REMOVE EXISTING RAIL.

REMOVE RAMP AND PREPARE SURFACE TO RECIVE NEW CONSTRUCTION.

RESTORE PLASTER WORK AND REPAINT

REMOVE WINDOW. PREPARE OPENING TO RECEIVE NEW WINDOW. PREPARE WINDOW FRAME AND TRIM FOR NEW FINISH.



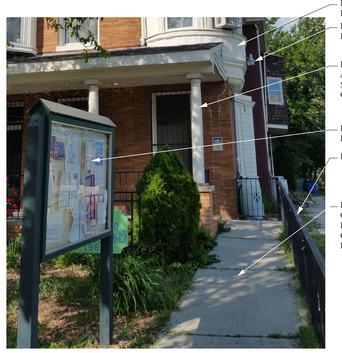
REMOVE WINDOW AND METAL GRILLE. PREPARE OPENING TO RECEIVE NEW CONSTRUCTION.

REMOVE WINDOW GLAZING. PREPARE OPENING TO RECEIVE NEW GLAZING. PREPARE WINDOW FRAME AND TRIM FOR NEW FINISH.

REMOVE WINDOW AND PREPARE OPENING FOR BRICK INFILL.

REMOVE INFILL AND PREPARE OPENING TO RECEIVE NEW WINDOW. RESTORE TRIM AND SEAL AROUND OPENING AND WALL JUNCTIONS.

PREPARE WALL TO RECEIVE NEW PAINT.



PREPARE SURFACE TO RECEIVE NEW FINISH.

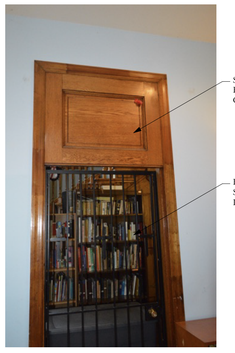
REMOVE LIGHT FIXTURE PER ELECTRICAL DRAWING.

REMOVE PORCH STRUCTURE AND ITS ROOF. PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION.

REPAINT EXISTING SIGNAGE PANEL.

REMOVE EXISTING RAIL.

REMOVE EXISTING CONCRETE PAD AND PREPARE DIRT TO RECEIVE NEW CONCRETE WALKWAY AND RAMP.



STRIP AND REFINISH EXISTING OAK TRIM WITH CLEAR FINISH.

REMOVE METAL RAIL AND STORE PER OWNER INSTRUCTION.

COVER GAP WITH PAINTED 2.5" HIGH WOOD TRIM BASE.

REMOVE SIDING AND OPENING COVER. PERPARE OPENING TO RECIVE WINDOW AND TRIM.

RESTORE TRIM AND SEAL AROUND OPENING AND WALL JUNCTIONS.
REPAINT PAINT TYPE 9 (PT-9)

REMOVE EXISTING PORCH STRUCTURE AND SLAB. PREPARE SURFACE TO RECIVE NEW CONCRETE SLAB, FOORING, AND PORCH STRUCTURE PER PROPOSED DRAWING.

REMOVE EXISTING CONCRETE PAD AND PREPARE DIRT TO RECEIVE NEW CONCRETE WALKWAY AND RAMP.

REMOVE EXISTING GUTTER AND DIRECT RAIN TO DRAIN SYSTEM.

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Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

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NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

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ARCHITECT 6171-A RANDALL MICHAEL SOVICH STATE OF MARYLAND

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IMAGES

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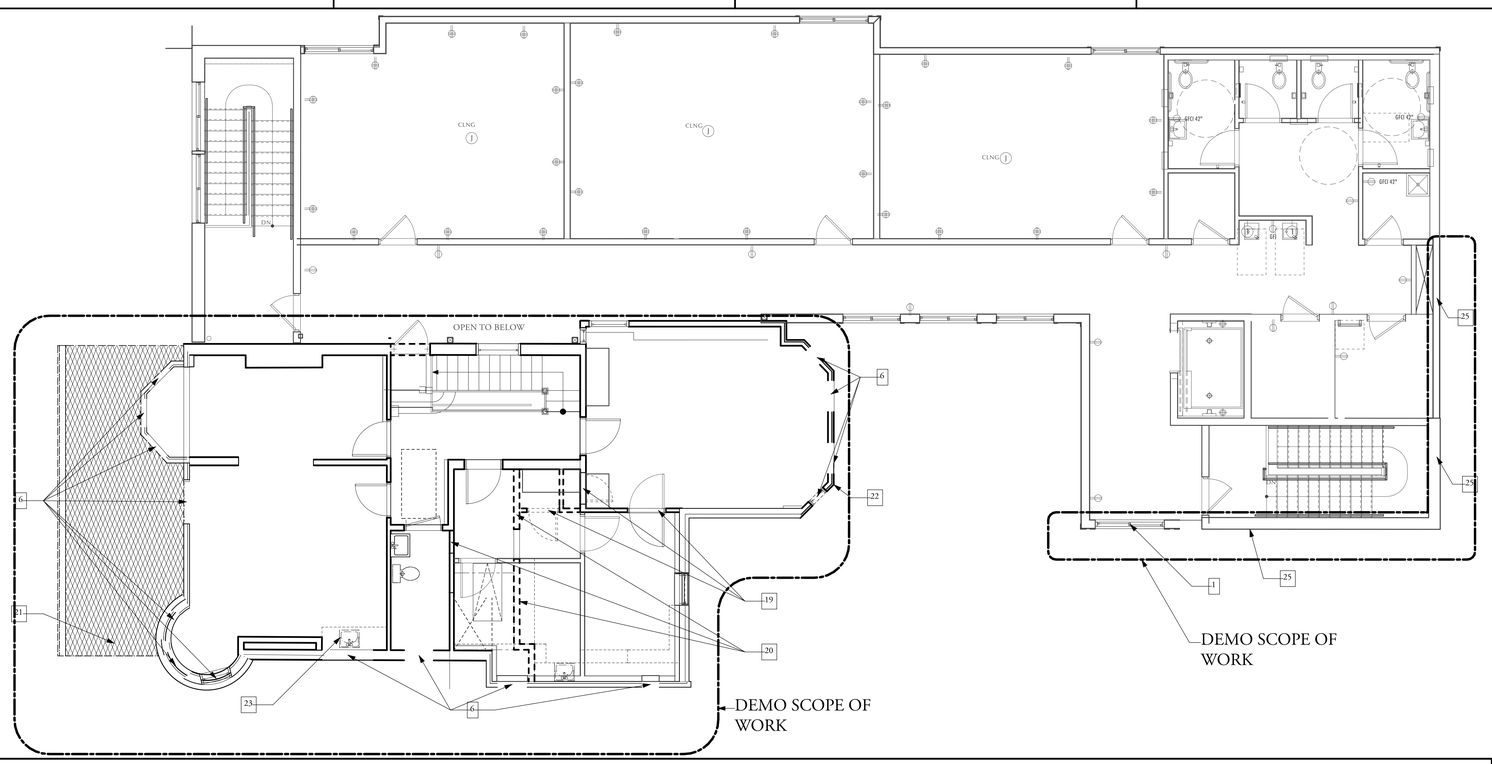
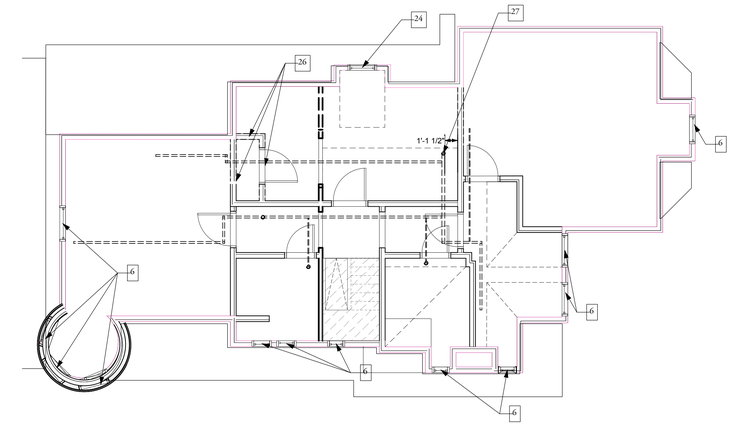


2ND FLOOR DEMOLITION PLAN

Scale: 3/16" = 1'-0"

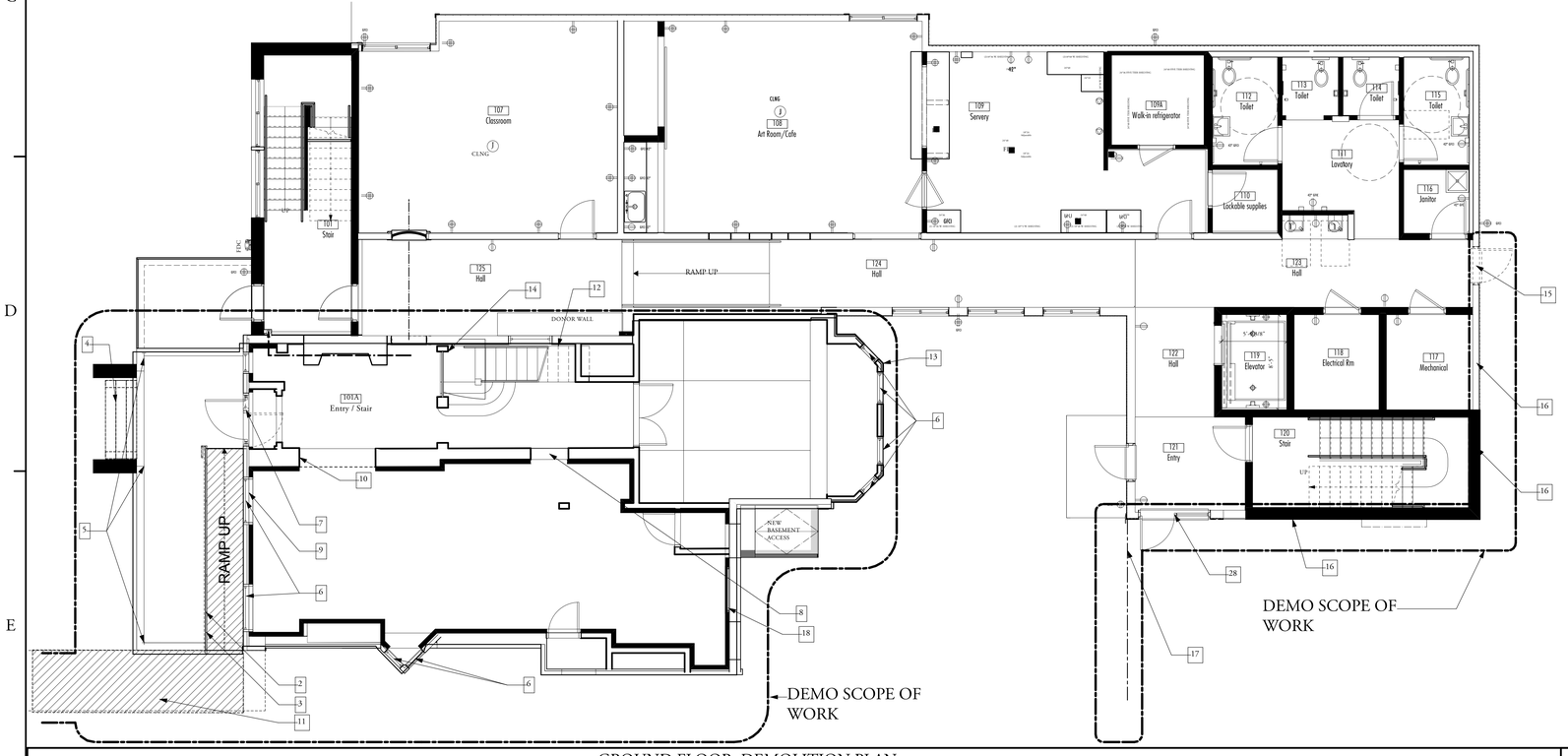
C4



ATTIC FLOOR DEMOLITION PLAN

Scale: 3/16" = 1'-0"

B6



GROUND FLOOR DEMOLITION PLAN

Scale: 3/16" = 1'-0"

E4

DEMOLITION GENERAL NOTES

1. LIMIT DEMOLITION IN EXISTING STRUCTURE TO WORK REQUIRED FOR INSTALLATION OF THE NEW FIRE SUPPRESSION SYSTEM.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT EACH SUBCONTRACTOR CLEANS UP AND REMOVES, DAILY, ANY AND ALL DEBRIS GENERATED BY CONSTRUCTION OPERATIONS, MAKING READY FOR ALL SUBSEQUENT SUBCONTRACTORS.

3. THE CONTRACTOR SHALL PROTECT INTERIOR SURFACE OF GLAZING AT ALL TIMES FROM BREAKAGE AND SCRATCHING OF INTERIOR WINDOW COATINGS. ANY HOLLOWS OR DAMAGED AREAS OF WOOD OR CONCRETE FLOORA SHALL BE REPAIRED PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. THE CONTRACTOR SHALL REMOVE FROM DEMOLISHED WALLS OR PORTIONS OF WALLS ALL POWER CIRCUITS AND SWITCH LEGS BACK TO FIRST JUNCTION BOX IN CEILING SPACE. REMOVE ANY MILLWORK OR WALL-MOUNTED PLUMBING FIXTURES FROM WALLS INDICATED TO BE DEMOLISHED AND NOT OTHERWISE SHOWN. THE CONTRACTOR SHALL MAINTAIN A TRUCK OR OTHER VEHICLE FOR REMOVAL OF WASTE MATERIALS DAILY FROM SITE. WASTE MATERIALS SHALL BE TRANSPORTED TO SUCH VEHICLE BY COVERED RUBBER-TIRED CARTS. EXTERIOR LIGHTING FIXTURES REMOVED FROM EXISTING. THE CONTRACTOR SHALL TAKE CARE NOT TO UNREASONABLY CAUSE DAMAGE TO THE LIGHTING FIXTURES.

4. REMOVE POWER DEVICES BACK TO FIRST JUNCTION BOX IN CEILING SPACE, TYPICAL.

5. CONTRACTOR SHALL: EXERCISE REASONABLE PRECAUTION IN THE PROTECTION OF ALL EXISTING FINISHES TO REMAIN AND/OR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISH; SCHEDULE AND COORDINATE ALL TRADES TO ELIMINATE DAMAGE TO ALL FLOOR MATERIALS ONCE INSTALLED; PROVIDE PROTECTIVE COVERINGS FOR ALL FLOOR, PARTITION AND CEILING FINISHES TO REMAIN IN THE PROJECT AREA AND FOR ALL FINISHES WHICH MAY BE SUBJECT TO TRAFFIC OR CONSTRUCTION ACTIVITY IN ADJACENT AREAS; PROVIDE PROTECTIVE COVERING FOR ALL WINDOWS AND OTHER GLASS TO REMAIN; PROVIDE IMPACT PROTECTION FOR ALL INTERIOR FINISHES; PROVIDE MINIMUM 1/8 INCH THICK TEMPERED HARDBOARD OR PLYWOOD GANG WAY TO PROTECT ALL FLOORING MATERIALS FROM BREAKAGE, CRACKING, SCRATCHING OR OTHER DAMAGE FROM DOLLIES, HAND TRUCKS OR ROLLING BINS OR TOOL CARTS USED TO TRANSPORT MATERIALS TO AND FROM PROJECT AREA; EXTEND PROTECTION FROM BUILDING ENTRY(IES) TO PROJECT AREA.

6. DEMO THE LIST OF ITEMS

   EXTERIOR WALL: REMOVE WALL AND FOUNDATION OF AN EXISTING EXTENSION PER DRAWINGS.

   FLOOR: REMOVE FLOORS IN EXISTING PORTION OF BUILDING TO BE REMOVED.

   CEILING AND ROOF: REMOVE EXISTING PLASTER CEILING AND ROOF STRUCTURE IN AREA DESIGNATED FOR DEMOITION.

   REPAIR DAMAGED SURFACES IN ROOMS WHERE EXISTING PLASTER TO REMAIN.

   ELECTRICAL: REMOVE ALL RECEPTACLES, LIGHTING IN AREA DESIGNATED FOR DEMOLITINO.

   MECHANICAL: REMOVE MECHANICAL UNITS, DUCTWORK AND PLUMBING PER MECHANICAL DRAWINGS IN AREA DESIGNED FOR DEMOLITION.

   HAZARDOUS MATERIAL: NOTIFY THE OWNER IMMEDIATELY UPON UNCOVERING HAZARDOUS MATERIALS AND CEASE WORK. IN THAT AREA UNTIL THE CONDITION IS MITIGATED.

   EXTERIOR WINDOWS: REMOVE EXISTING DOOR AND PREPARE OPENING TO RECEIVE NEW INFILL CONSTRUCTION.

   THE ORIEL WINDOW IN THE FOYER IS TO BE CAREFULLY REMOVED TO PERMIT A NEW CASED DOOR OPENING.

Demolition Sheet Notes

1. REMOVE WINDOW AND SAVE FOR NEW LOCATION.
2. REMOVE SLAB AND PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION.
3. REMOVE HANDRAIL.
4. REMOVE STEP AND PREPARE FOR NEW CONSTRUCTION.
5. REMOVE COLUMN AND PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION.
6. REMOVE EXISTING WINDOW AND PREPARE OPENING TO RECEIVE REPLACEMENT WINDOW.
7. REMOVE EXISTING DOOR AND PREPARE OPENING TO RECEIVE REPLACEMENT DOOR.
8. PREPARE OPENING TO RECEIVE NEW DOOR.
9. REMOVE EXISTING STAIN GLASS FOR RELOCATION.
10. REMOVE EXISTING TRIM TO UNCOVER THE EXISTING SLIDING DOOR IN THE WALL.
11. REMOVE EXISTING CONCRETE AND RAILING. PREPARE GROUND SURFACE TO RECEIVE NEW CONSTRUCTION.
12. EXISTING STAIR TO REMAIN. PREPARE STAIR FOR RESTORATION TO RECEIVE NEW CONSTRUCTION.
13. REMOVE WOOD SIDING AND PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION.
14. CUT OUT PANEL TO CHANNEL CONDUIT.
15. REMOVE DOOR AND FRAME. SAVE DOOR AND FRAME FOR NEW LOCATION.
16. REMOVE SIDING AND PREPARE SHEATHING TO RECEIVE NEW CONSTRUCTION.
17. REMOVE PORTION OF FENCE. SAVE REMOVED FENCE FOR OTHER LOCATION.
18. PREPARE WALL TO RECEIVE ILLUMINATED STAINED GLASS RELOCATED FROM EXISTING FRONT WINDOW.
19. REMOVE EXISTING DOOR AND PREPARE OPENING TO RECEIVE NEW CONSTRUCTION
20. REMOVE EXISTING WALL AND PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION
21. REMOVE EXISTING ROOF AND PREPARE SURFACE TO RECEIVE REPLACEMENT ROOF.
22. REMOVE EXISTING WOOD SIDING AND PREPARE SURFACE TO RECEIVE NEW CONSTRUCTION.
23. REMOVE EXISTING SINK AND MILLWORK. PREPARE SURFACE FOR ENW CONSTRUCTION.
24. REMOVE EXISTING WINDOW AND PREPARE OPENING TO RECEIVE METAL GRILL PER MECHANICAL. SEAL OPENING AROUND METAL GRILLE.
25. REMOVE SIDING AND PREPARE SHEATHINGS TO RECEIVE NEW CONSTRUCTION.
26. REMOVE DOOR, DOOR FRAME AND PARTITIONS. COORDINATE REMOVAL OF ANY STRUCTURAL FRAMING WITH CONSULTANT.
27. MODIFY SPRINKLER PIPE TO ACCOMODATE MECHANICAL UNIT AS REQUIRED.
28. EXISTING DOOR AND FRAME TO REAMIN.

DEMOLITION NOTES

E6

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

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LICENSE NO: 6171-A
EXPIRATION DATE: 9-18-2024

ARCHITECT 6171-A RONALD MICHAEL SOVICH STATE OF MARYLAND

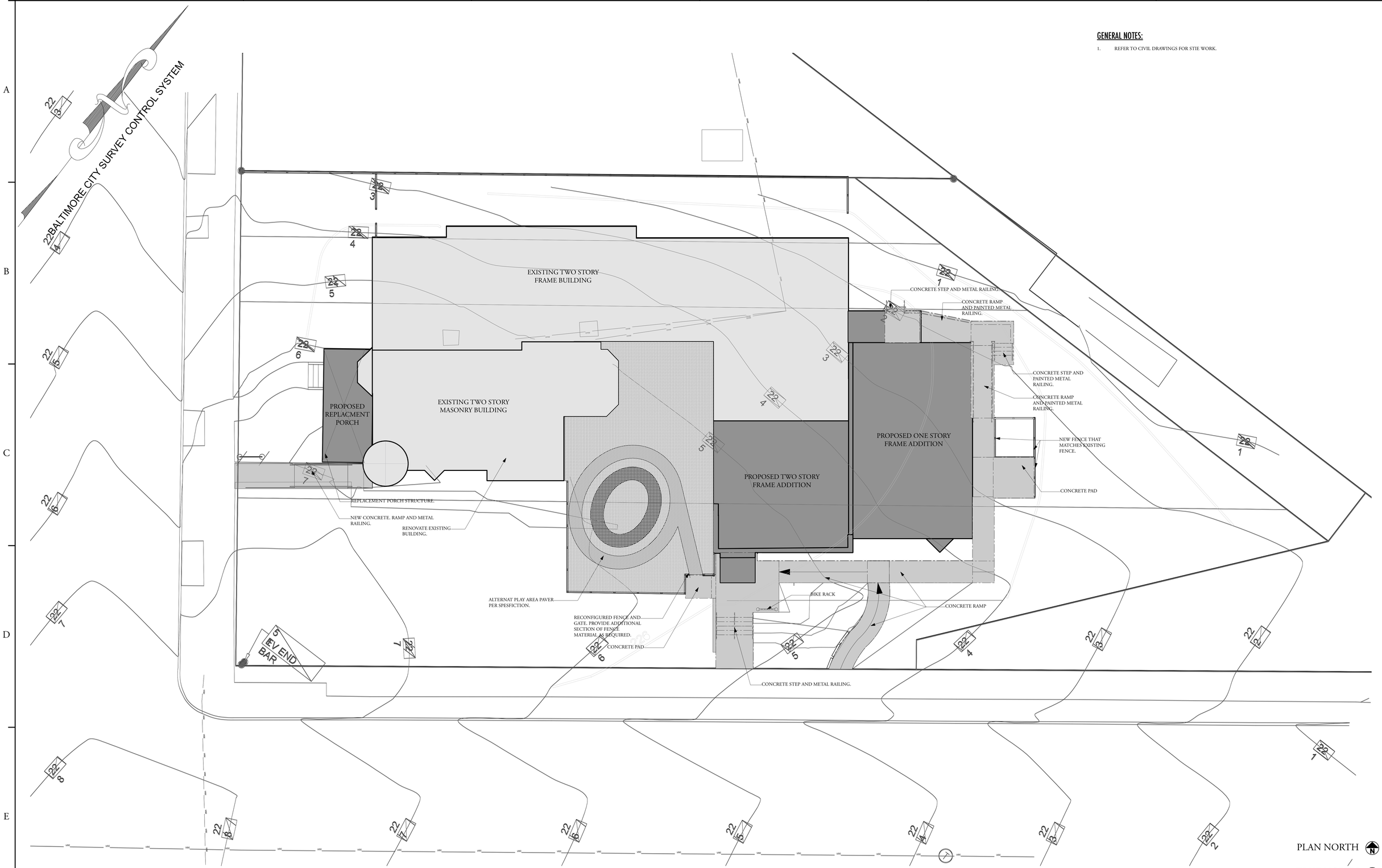
AD001

DEMOLITION PLAN

21005 221104 Drawing.vwx

GENERAL NOTES:

1. REFER TO CIVIL DRAWINGS FOR STIE WORK.



ARCHITECTURAL SITE PLAN

Scale: 1/8" = 1'-0"

E6

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Towson, MD 21204

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SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, INC.
2835 Smith Avenue, Suite C
Baltimore, MD 21209

[Drawing Title]
Scale: 1/8" = 1'-0"

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
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Baltimore, MD 21217

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ARCHITECT 6171-A RANDY MICHAEL SOVICH STATE OF MARYLAND

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A100

ARCHITECTURAL SITE PLAN

21005 221104 Drawing.vwx

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF STUD WALL.
2. UNLESS NOTED OTHERWISE ALL INTERIOR PARTITION WALLS ARE WALL TYPE 1B.
3. PROVIDE 4' X 4' AREA OF FRT PLYWOOD AND BLOCKING WHERE MARKER BOARD IS LOCATED. COORDINATE IN FIELD WITH OWNER FOR PRECISE LOCATIONS
4. ALL TYPE 'EW' WINDOWS ARE EXISTING TO BE REPLACED
5. ALL TYPE 'W-A' WINDOWS ARE NEW WINDOW ON ADDITION.

SCOPE OF WORK
RENOVATION

CONSTRUCTION SHEET NOTES

1. NEW RAMP AND METAL RAILING.
2. REMOVE LUAN END PANEL AT DOOR JAMB. RESTORE POCKET DOOR AND HARDWARE.
3. NEW REPLACEMENT WINDOW.
4. NEW CONC. PLATFORM AND NEW PORCH.
5. NEW COLUMN.
6. NEW PAINTED WOOD COLUMN.
7. RETRACTABLE PARTITION WALL. PROVIDE ALL ACCESSORIES AND STRUCTURAL REQUIREMENT FOR RETRACTABLE WALL.
8. BIKE RACK SECURED TO CONC PAVEMENT.
9. CONC. RAMP
10. COAT HOOK-2. SECURE COAT HOOK ON WALL. SEE PROFILE ON E6/ A605.
11. HANDRAIL AT RAMP
12. HANDRAIL AT LANDING
13. HANDRAIL AT CONC. STEP
14. RESTORE BASE AT EXISTING STAIR AND WALL. PROVIDE WOOD TRIM.
15. COLUMN PER STRUCTURAL DRAWING.
16. EXISTING FENCE TO REMAIN.
17. RECONFIGURED FENCE

SCOPE OF WORK
NEW ADDITION

PLAN NORTH

TRUE NORTH

1st FLOOR PLAN
Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
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ARCHITECT 6171-A MICHAEL SOVICH STATE OF MARYLAND

A101

1ST FLOOR PLAN

21005 221104 Drawing.vwx

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF STUD WALL.
2. UNLESS NOTED OTHERWISE ALL INTERIOR PARTITION WALLS ARE WALL TYPE 1B.
3. PROVIDE 4' X 4' AREA OF FRT PLYWOOD AND BLOCKING WHERE MARKER BOARD IS LOCATED. COORDINATE IN FIELD WITH OWNER FOR PRECISE LOCATIONS
4. ALL TYPE 'EW' WINDOWS ARE EXISTING TO BE REPLACED
5. ALL TYPE 'W-A' WINDOWS ARE NEW WINDOW ON ADDITION.

RAIN WATER COLLECTOR

PROVIDE NEW GUTTER

RESTORE BASE AT EXISTING STAIR AND WALL. PROVIDE WOOD TRIM, SEALANT.

C6 A603

OPEN TO BELOW

225-R Office 172 sq ft 2 OCC.

PROVIDE REPLACEMNT WINDOW.

224-R Hall

C5 A603

231-R Meeting room 319 sq ft 19 OCC.

NEW DOOR AND FRAME.

228-R Office 85 sq ft 2 OCC.

PROVIDE REPLACEMNT WINDOW FOR ALL WINDOW.

226-R Staff room 289 sq ft 3 OCC.

227-R Staff Bath 52 sq ft 1 OCC.

230-R Office 123 sq ft 1 OCC.

229-R Office 104 sq ft 2 OCC.

PROVIDE REPLACEMNT WINDOW.

PROVIDE NEW GUTTER AND RAIN WATER COLLECTOR.

NEW ROOF FRAMING AND ROOFING.

PROVIDE FURRING WALL AT PERMITER WALL.

E3 A201

E2 A202

E6 A201

C5 A201

E5 A202

C6 A203

E6 A203

E6 A603

C2 A203

E3 A203

C5 A202

221 Hall

222 Classroom 415 sq ft 20 OCC.

222A Closet

223 Classroom 15'-0 1/2" ft 17 OCC.

223A Closet

28'-5"

44'-8 1/2"

19'-1 1/2"

12'-5"

10'-9"

22'-8"

17'-4"

SCOPE OF WORK
RENOVATION

2ND FLOOR CONSTRUCTION SHEET NOTES

1. COLUMN PER STRUCTURAL DRAWING.
2. RAISED FLOOR. SEE SECCTION C6/A2.03.

SCOPE OF WORK
NEW ADDITION

PLAN NORTH

TRUE NORTH

2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

E6

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2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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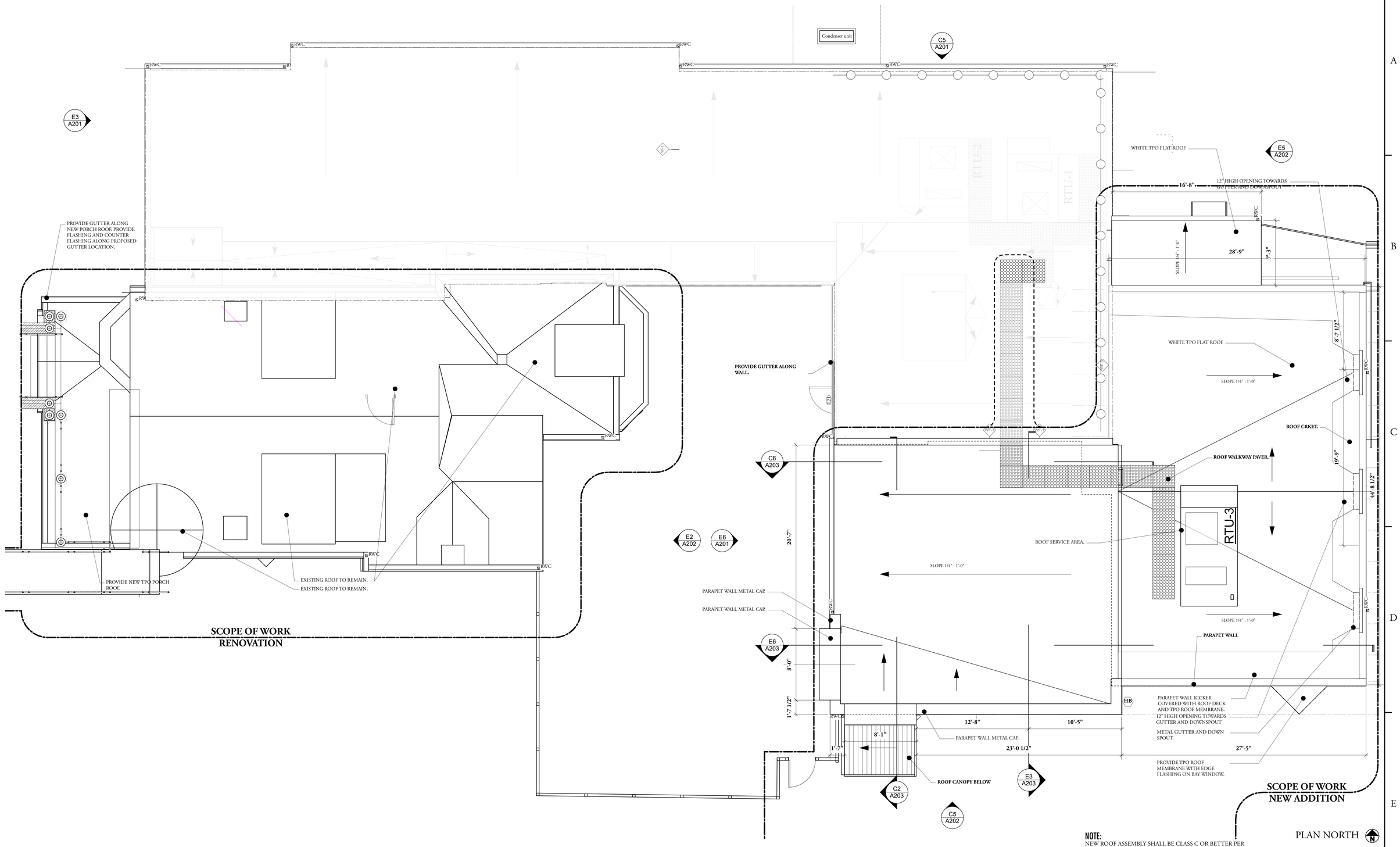
ARCHITECT 6171-A RANDY MICHAEL SOVICH STATE OF MARYLAND

A102

2ND FLOOR PLAN

21005 221104 Drawing.vwx



NOTE:
NEW ROOF ASSEMBLY SHALL BE CLASS C OR BETTER PER IBC 2015 TABLE 1505.1.
PROVIDE ROOFING MEMBERS PER STUCTURAL DWGS.
ARROW INDICATES DIRECTION OF SLOPE

PLAN NORTH

TRUE NORTH

ROOF PLAN

Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

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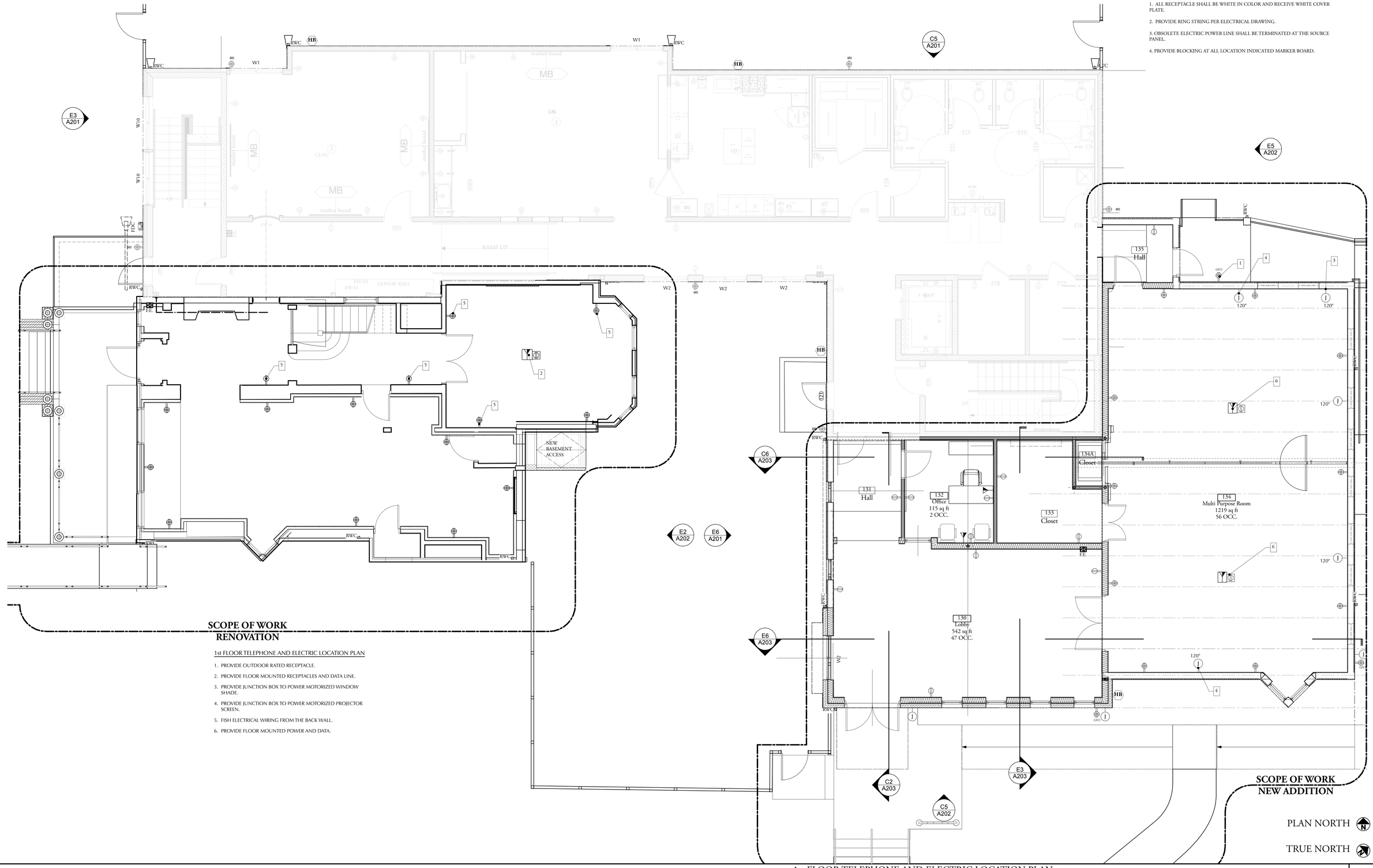
A103

ROOF PLAN

21005 221104 Drawing.vwx



1st FLOOR TELEPHONE AND ELECTRIC LOCATION PLAN

E6

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SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
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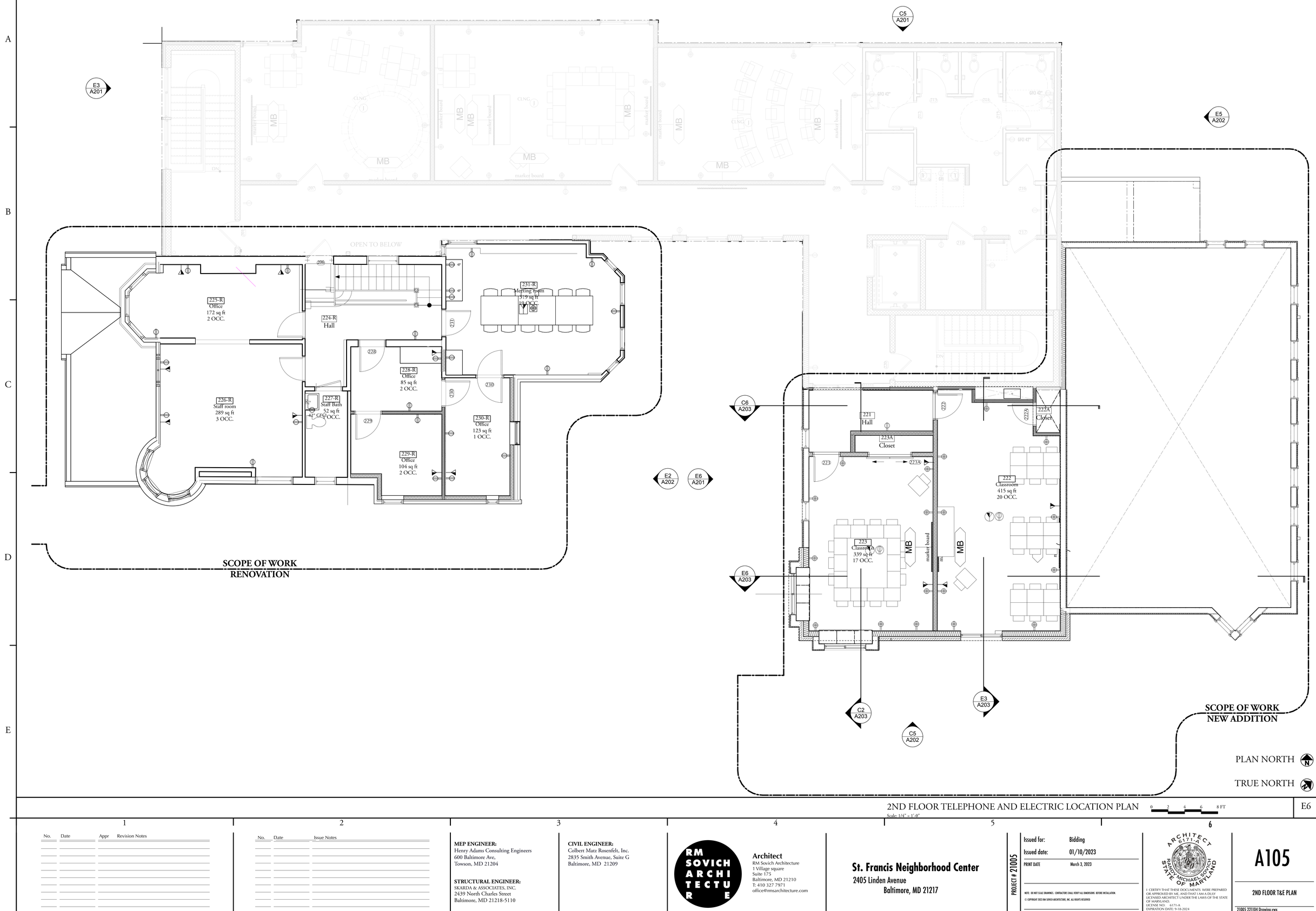
A104

1ST FLOOR T&E PLAN

21005 221104 Drawing.vwx



2ND FLOOR TELEPHONE AND ELECTRIC LOCATION PLAN

Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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600 Baltimore Ave,
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2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
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Baltimore, MD 21209

Architect
RM Sovich Architecture
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Suite 175
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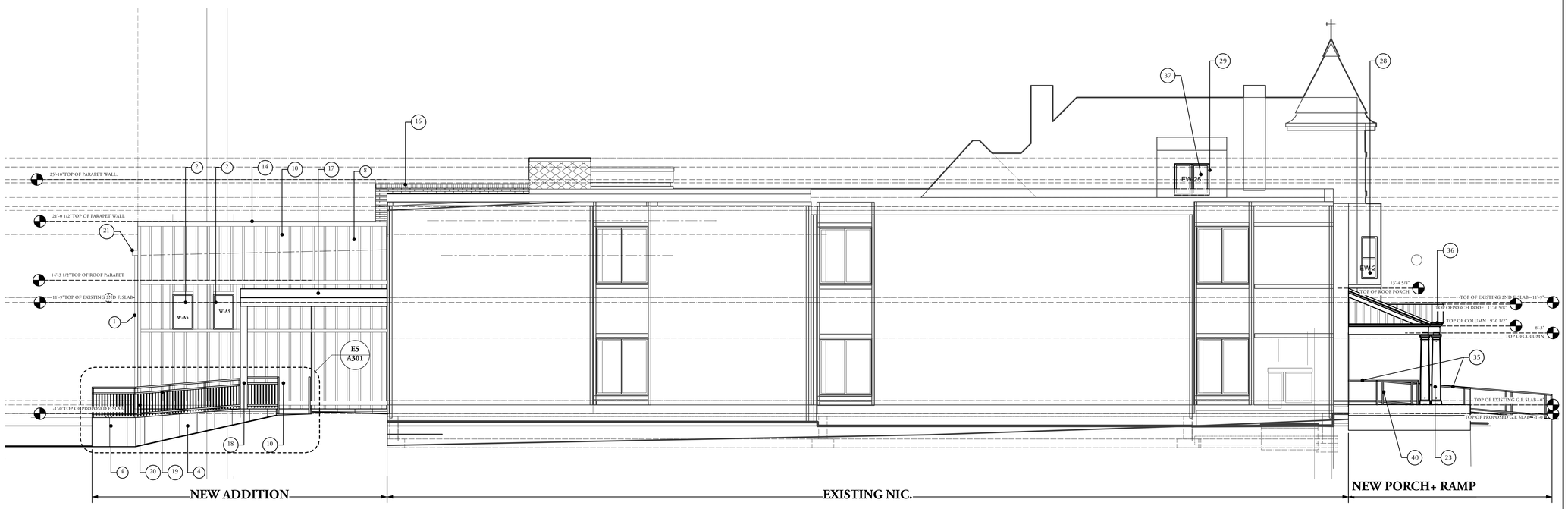
ARCHITECT 6171-A RAYMOND MICHAEL SOVICH STATE OF MARYLAND

A105

2ND FLOOR T&E PLAN

21005 221104 Drawing.vwx



West Elevation
Scale: 3/16" = 1'-0"
0 2 4 6 8 FT

C5

C6

GENERAL NOTE:

1. REPAIR DAMAGED GUTTER AND RAIN COLLECTOR AT EXISTING.

ELEVATION NOTES

1. STORM DRAIN PIPE
2. NEW WINDOWS
3. BRICK VENEER WALL TO MACH EXISTING BRICK WALL.
4. CONCRETE. FACED PERIMETER INSULATED WALL PANELS
5. BRICK WINDOW SILL.
6. FRAMED CANOPY. METAL FLASHING AROUND CANOPY EDGE.
7. BRICK SOLDER COURSE ABOVE WINDOW OPENING.
8. BOARD AND BATTEN SIDING.
9. HARDI BOARD PANEL.
10. HARDI BOARD AND BATTEN SIDING.
11. BIKE RACK
12. CONC. STEP
13. PAINTED METAL RAIL.
14. HARDI BOARD TRIM.
15. MODIFIED EXISTING FENCE.
16. SOLDER COURSE WALL TOP WITH METAL FLASHING CAP.
17. METAL FLASHING ON ROOF EDGE.
18. POST PER STRUCTURAL.
19. PAINTED METAL TUBE.
20. HARDI TRIM
21. RAIN COLLECTOR AT SPOUT.
22. PORCH ROOF TO RECEIVE A SLATE GREY METAL ROOF.
23. NEW REPLACEMENT WOOD COLUMN.
24. DOOR AND FRAME PER SCHEDULE. PROVIDE TRANSOM TO FIT EXISTING OPENING.
25. CONCRETE STEP WITH BRICK FINISH. PROVIDE PAINTED METAL RAIL ON BOTH SIDE OF THE WALL.
26. PROVIDE NEW PORCH ROOFING AND GUTTER.
27. PROVIDE PAINTED PEDMENT PER SECTION DRAWINGS.
28. REPLACE EXISTING WINDOW WITH DOUBLE HUNG WOOD CLAD WINDOW.
29. SEAL AROUND OPENING AND REPAINT SURFACE.
30. REPAIR TRIM AS REQUIRED. SCRAP AND REPAINT ROOF SOFFIT+ CORBEL
31. BRICK CLADED BASE
32. PROVIDE GUTTER AND RAIN WATER COLLECTOR. GUIDE WATER BELOW GRADE AWAY FROM BUILDING AND PAVEMENT.
33. PROVIDE FLASHING AND COUNTER FLASHING AT ROOF AND WALL CONNECTING.
34. CONCRETE ADA COMPLIAN RAMP WITH PAINTED METAL TUBE HANDRAIL ON BOTH SIDE.
35. NEW PAINTED METAL HANDRAIL AT ADA RAMP.
36. NEW PORCH ROOFING AND GUTTER.
37. REPLACE EXISTING WINDOW WITH CASEMENT WOOD CLAD WINDOW.
38. METAL FLASHING
39. RAIN WATER COLLECTOR. GUIDE WATER BELOW GRADE AWAY FROM BUILDING AND PAVEMENT.
40. NEW PAINTED Ø 1 1/2" METAL TUBE RAILING AND POSTS.

South Elevation
Scale: 3/16" = 1'-0"
0 2 4 6 8 FT

E3

South Elevation
Scale: 3/16" = 1'-0"
0 2 4 6 8 FT

E6

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600 Baltimore Ave,
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SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

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Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
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ARCHITECT 6171-A RANDY MICHAEL SOVICH STATE OF MARYLAND

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A201

ELEVATION DRAWINGS

21005 221104 Drawing.vwx

East Elevation

Scale: 3/16" = 1'-0"

0 2 4 6 8 FT

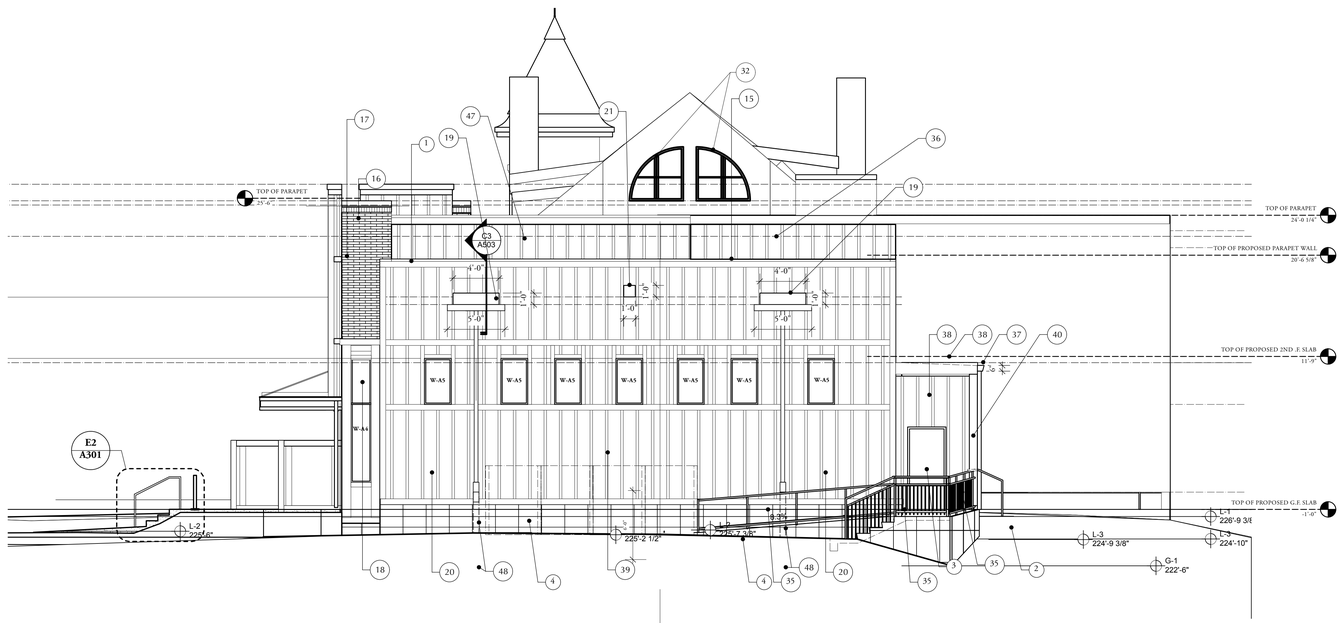
C5

North Building Elevation/Section

Scale: 3/16" = 1'-0"

0 2 4 6 8 FT

E2



North Elevation

Scale: 3/16" = 1'-0"

0 2 4 6 8 FT

E5

E6

GENERAL NOTE:

1. WHERE DEMOLITION OCCURS, THE EXISTING BUILDING EXTERIOR WALL IS TO RECEIVE NEW PAINT ON EXPOSED EXISTING BRICK AND NEW SHINGLES TO MATCH EXISTING ON THE BAY WINDOW.

2. REPAIR ANY DAMAGED GUTTER AND RAIN COLLECTORS ON THE EXISTING BUILDING AT NEW ADDITION RELOCATE DOWNSPOUT AS NEEDED TO ACCOMMODATE NEW CONSTRUCTION.

ELEVATION NOTES

1. HARDI TRIM
2. GRADING PER CIVIL DRAWINGS. SLOPE AWAY FROM FOUNDATION MIN 1/4"/FOOT.
3. DOOR AND FRAME PER SCHEDULE.
4. CONCRETE FACED PERIMETER INSULATED WALL PANELS
5. NEW WINDOWS
6. NEW WINDOW
7. HARDI BOARD AND BATTEN SIDING AND TRIM
8. RELOCATE EXISTING GLAZED ENTRANCE DOOR.
9. CONCRETE PANELS
10. NEW REPLACEMENT WINDOWS
11. NEW PORCH ROOF.
12. NEW ADA RAMP HANDRAIL
13. NEW ADA CONC. RAMP ND CURB.
14. NEW PORCH COLUMN.
15. AZEK TRIM
16. BRICK SOLDIER COURSE.
17. BRICK VENEER WALL.
18. BAY WINDOW WITH TRIM.
19. ROOF SPOUT AND GUTTER.
20. WINDOW WITH TRIM.
21. PROVIDE SECONDARY SCUPPER.
22. METAL FLASHING
23. WINDOW HEAD WITH METAL LINTEL. BRICK SOLDER COURSE AT WINDOW HEAD.
24. HARDI BOARD PANEL.
25. HARDI BOARD TRIM.
26. HARDI BOARD AND BATTEN SIDING.
27. NEW PAINTED WOOD PANELING AT BAY WINDOW.
28. NEW METAL CANOPY.
29. CONCRETE PANELS
30. CLAD ANGLED WALL WITH HARDI BOARD AND BATTEN SIDING.
31. REPLACE EXISTING WOOD SHAKES WITH HARDI BOARD AND BATTEN SIDING.
32. REPLACE EXISTING WINDOW.
33. HARDI PANEL
34. HARDI BOARD TRIM
35. PAINTED METAL RAILING.
36. REPLACE EXISTING SHINGLE SIDING WITH HARDI BOARD AND BATTEN WALL SIDING.
37. GUTTER AND DOWNSPOUT.
38. FLAT ROOF WITH 2% SLOPE.
39. HARDI BOARD AND BATTEN WALL SIDING.
40. PT 6X6 PAINTED WOOD COLUMN.
41. REPLACE EXISTING WINDOW. PROVIDE FLASHING AT THE HEAD AND SILL OF WINDOW. PROVIDE CONTINUOUS SEALANT AROUND WINDOW AND WALL COMPONENT JUNCTION.
42. BRICK SOLDER COURSE
43. BIKE RACK
44. CONC. STEP
45. PAINTED METAL RAIL.
46. CONC. RAMP
47. HARDI BOARD AND BATTEN WALL SIDING.
48. RAIN WATER LEADER ROUTED UNDER CONCRETE WALK WAY TO STORM DRAIN.
49. NEW PAINTED Ø 1 1/2" METAL TUBE RAILING AND POSTS.
50. EXISTING BASEMENT HATCH.

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Henry Adams Consulting Engineers
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Towson, MD 21204

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2439 North Charles Street
Baltimore, MD 21218-5110

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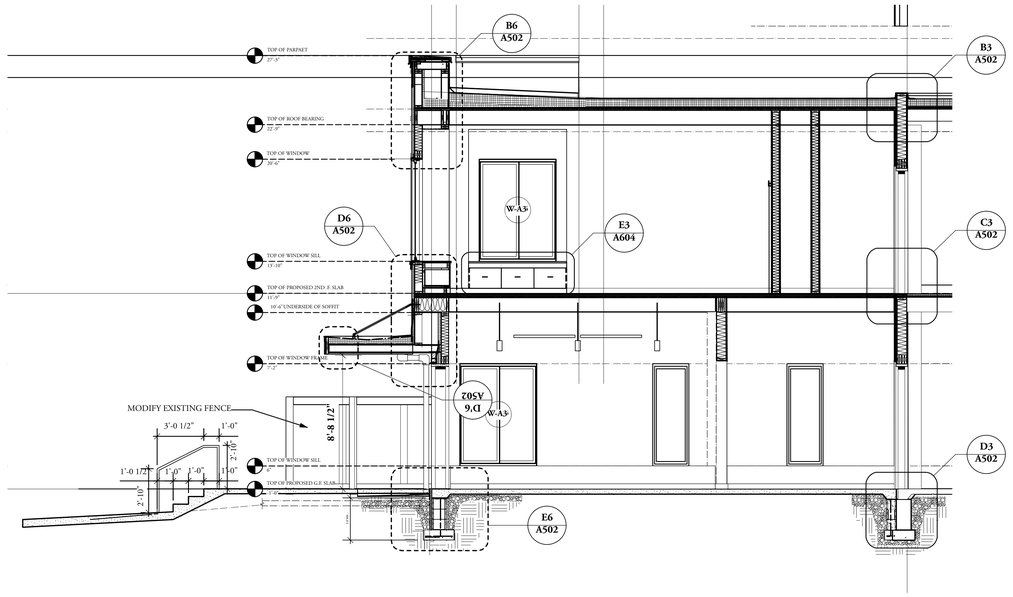
A202

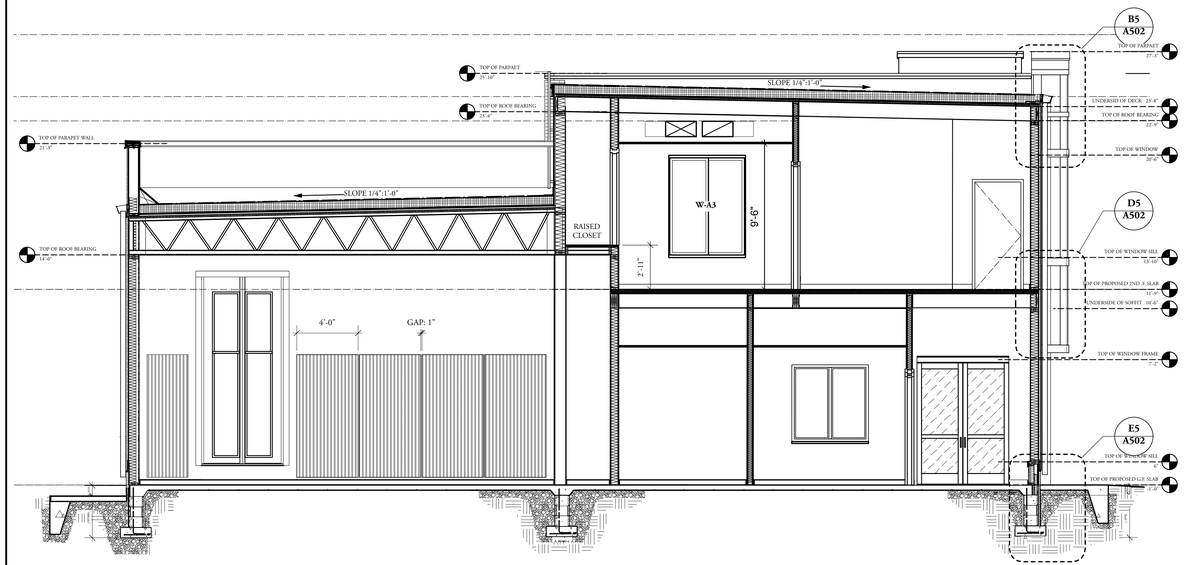
ELEVATION DRAWINGS

21005 221104 Drawing.vwx



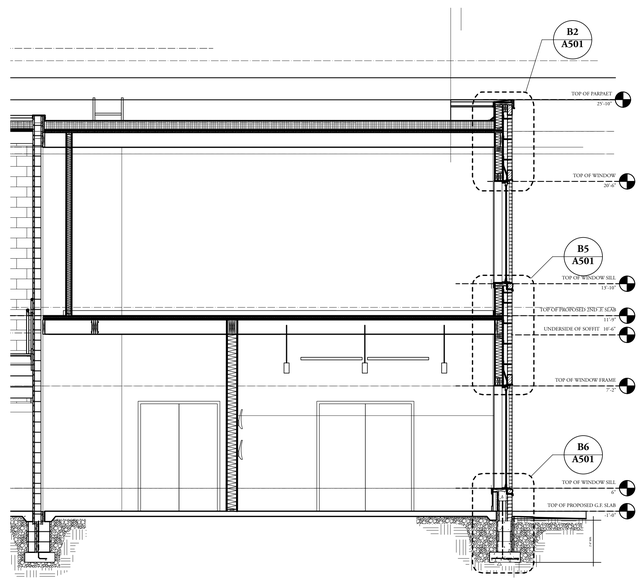
Building Elevation/Section
Scale: 1/4" = 1'-0"
0 2 4 6 8 FT

C2



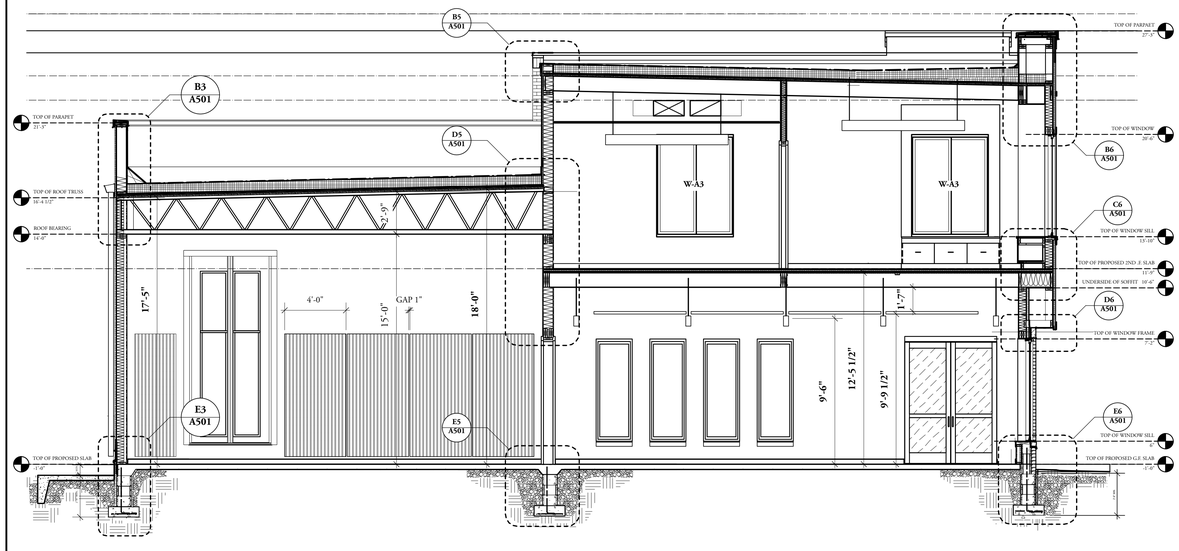
Building Elevation/Section
Scale: 1/4" = 1'-0"
0 2 4 6 8 FT

C6



Building Elevation/Section
Scale: 1/4" = 1'-0"
0 2 4 6 8 FT

E3



Building Elevation/Section
Scale: 1/4" = 1'-0"
0 2 4 6 8 FT

E6

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

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600 Baltimore Ave,
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PROJECT # 21005

Issued for: Bidding
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LICENSE NO. 6171-A
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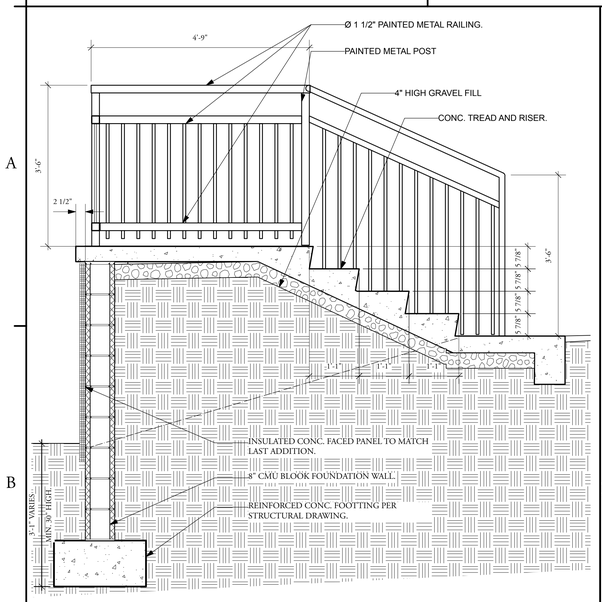
A203

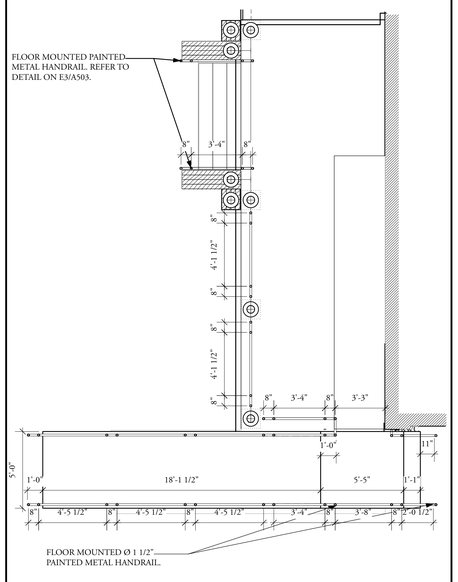
BUILDING SECTIONS

21005 221104 Drawing.vwx



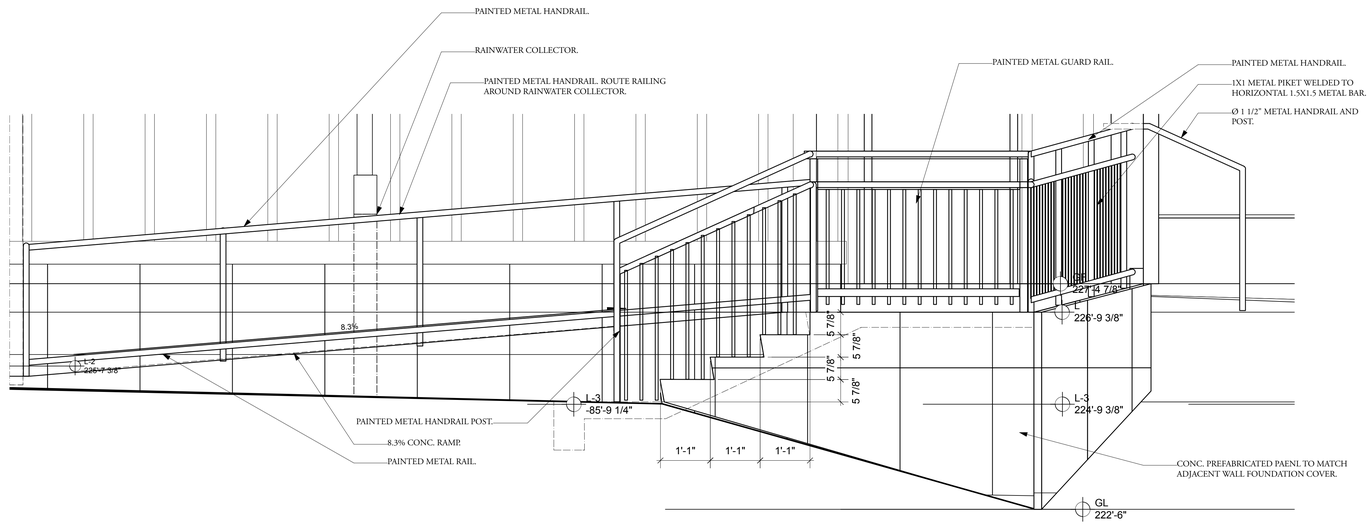
Section At landing and Step
Scale: 3/4" = 1'-0"

B2



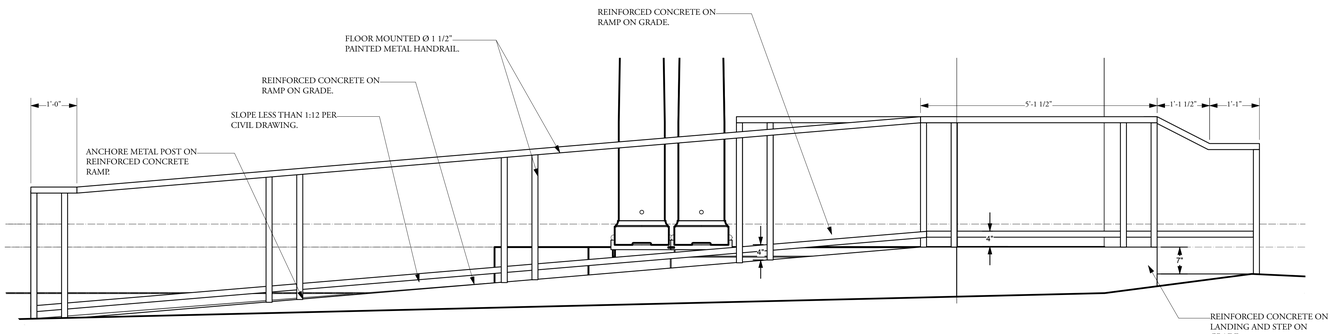
GROUND FLOOR-ADA RAMP 1-1
Scale: 1/4" = 1'-0"

B3



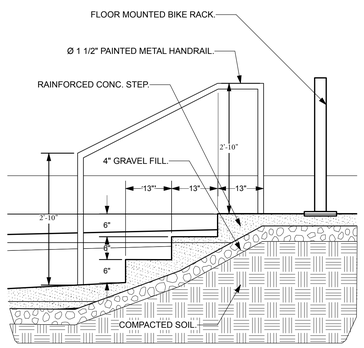
SERVICE ENTRANCE RAMP ELEVATION
Scale: 3/4" = 1'-0"

B6



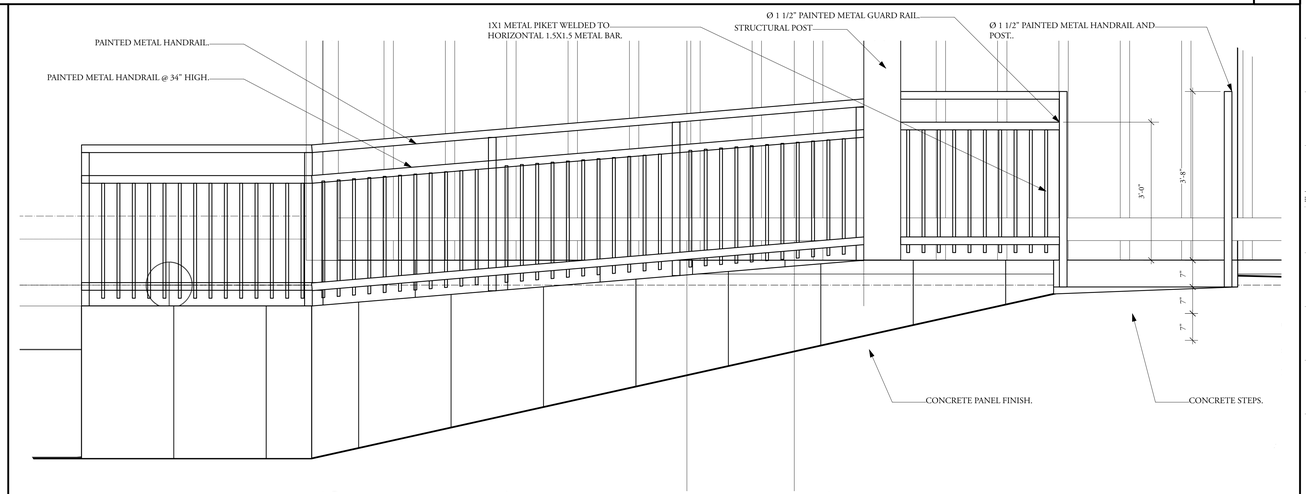
RAMP ELEVATION
Scale: 3/4" = 1'-0"

D5



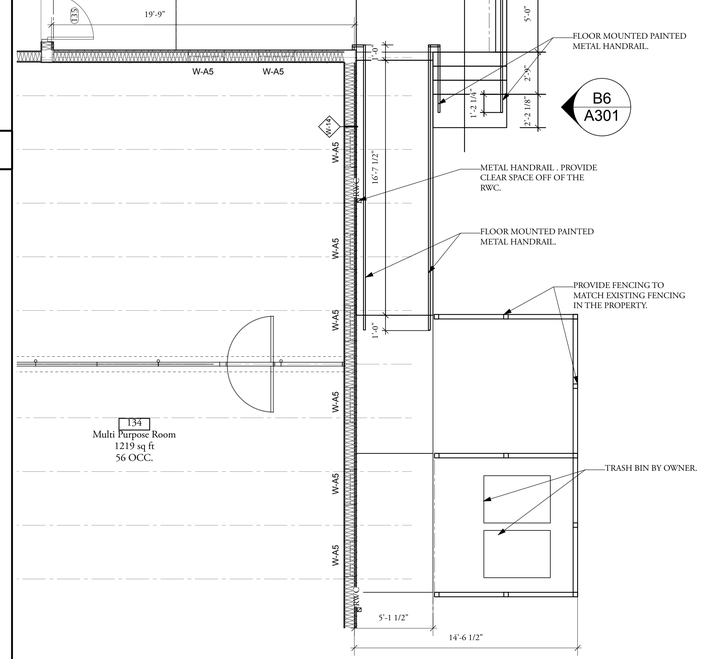
FRONT ENTRY STEP
Scale: 3/4" = 1'-0"

E2



RAILING AT SERVICE ENTRANCE
Scale: 3/4" = 1'-0"

E5



GROUND FLOOR-REAR EXIT 1-1
Scale: 1/4" = 1'-0"

E6

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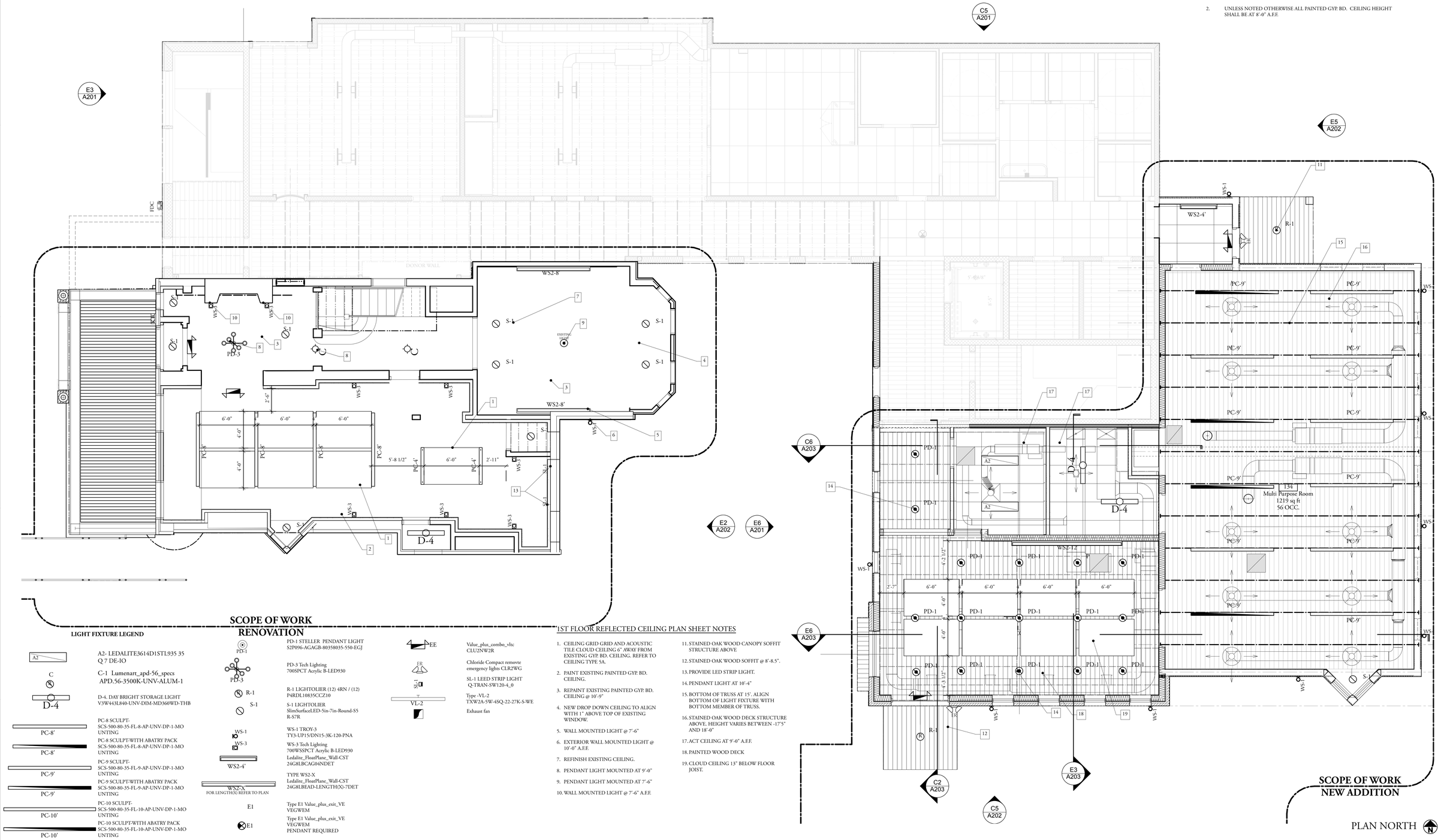
A301

CIRCULATION DETAIL

21005 221104 Drawing.vwx

GENERAL NOTES:

1. OBSOLETE ELECTRIC POWER LINE SHALL BE TERMINATED AT THE SOURCE PANEL.
2. UNLESS NOTED OTHERWISE ALL PAINTED GYP. BD. CEILING HEIGHT SHALL BE AT 8'-0" A.F.F.



SCOPE OF WORK
RENOVATION

SCOPE OF WORK
NEW ADDITION

LIGHT FIXTURE LEGEND

A2	A2- LEDALITE3614D1STL935 35 Q 7 DE-IO	PD-1 STELLER PENDANT LIGHT S2P096-AGAGB-80358035-550-EGJ
C	C-1 Lumenart_apd-56_specs APD.56-3500K-UNV-ALUM-1	PD-3 Tech Lighting 700SPCT Acrylic B-LED930
D-4	D-4. DAY BRIGHT STORAGE LIGHT V3W443L840-UNV-DIM-MD360WD-THB	R-1 LIGHTOLIER (12) 4RN / (12) P4RDL10835CCZ10
PC-8'	PC-8 SCULPT- SCS-500-80-35-FL-8-AP-UNV-DP-1-MO UNTING	S-1 LIGHTOLIER SlimSurfaceLED-5in-7in-Round-S5 R-S7R
PC-8'	PC-8 SCULPT-WITH ABATRY PACK SCS-500-80-35-FL-8-AP-UNV-DP-1-MO UNTING	WS-1 TROY-3 TY3-UP15/DN15-3K-120-PNA
PC-9'	PC-9 SCULPT- SCS-500-80-35-FL-9-AP-UNV-DP-1-MO UNTING	WS-3 Tech Lighting 700WSSPCT Acrylic B-LED930 Ledalite_FloatPlane_Wall-CST 24G8LBCAG04NDET
PC-9'	PC-9 SCULPT-WITH ABATRY PACK SCS-500-80-35-FL-9-AP-UNV-DP-1-MO UNTING	TYPE WS2-X Ledalite_FloatPlane_Wall-CST 24G8LBEAD-LENGTH(X)-7DET
PC-10'	PC-10 SCULPT- SCS-500-80-35-FL-10-AP-UNV-DP-1-MO UNTING	Type E1 Value_plus_exit_VE VEGWEM
PC-10'	PC-10 SCULPT-WITH ABATRY PACK SCS-500-80-35-FL-10-AP-UNV-DP-1-MO UNTING	Type E1 Value_plus_exit_VE VEGWEM PENDANT REQUIRED

WS2-X FOR LENGTH(X) REFER TO PLAN

EE — Value_plus_combo_vltc CLU2NW2R

ER — Chloride Compact removte emergency lights CLR2WG

SL-1 — SL-1 LEED STRIP LIGHT Q-TRAN-SW120-4_0

VL-2 — Type -VL-2 TXW2A-5W-4SQ-22-27K-S-WE

Exhaust fan

1ST FLOOR REFLECTED CEILING PLAN SHEET NOTES

1. CEILING GRID GRID AND ACOUSTIC TILE CLOUD CEILING 6" AWAY FROM EXISTING GYP. BD. CEILING. REFER TO CEILING TYPE 5A.
2. PAINT EXISTING PAINTED GYP. BD. CEILING.
3. REPAINT EXISTING PAINTED GYP. BD. CEILING @ 10'-9"
4. NEW DROP DOWN CEILING TO ALIGN WITH 1" ABOVE TOP OF EXISTING WINDOW.
5. WALL MOUNTED LIGHT @ 7'-6"
6. EXTERIOR WALL MOUNTED LIGHT @ 10'-0" A.F.E.
7. REFINISH EXISTING CEILING.
8. PENDANT LIGHT MOUNTED AT 9'-0"
9. PENDANT LIGHT MOUNTED AT 7'-6"
10. WALL MOUNTED LIGHT @ 7'-6" A.F.E.
11. STAINED OAK WOOD CANOPY SOFFIT STRUCTURE ABOVE
12. STAINED OAK WOOD SOFFIT @ 8'-8.5".
13. PROVIDE LED STRIP LIGHT.
14. PENDANT LIGHT AT 10'-4"
15. BOTTOM OF TRUSS AT 15'. ALIGN BOTTOM OF LIGHT FIXTURE WITH BOTTOM MEMBER OF TRUSS.
16. STAINED OAK WOOD DECK STRUCTURE ABOVE. HEIGHT VARIES BETWEEN -17'5" AND 18'-0"
17. ACT CEILING AT 9'-0" A.F.E.
18. PAINTED WOOD DECK
19. CLOUD CEILING 13" BELOW FLOOR JOIST.

PLAN NORTH

TRUE NORTH

1st FLOOR REFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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A401

1ST FLOOR RCP

21005 221104 Drawing.vwx

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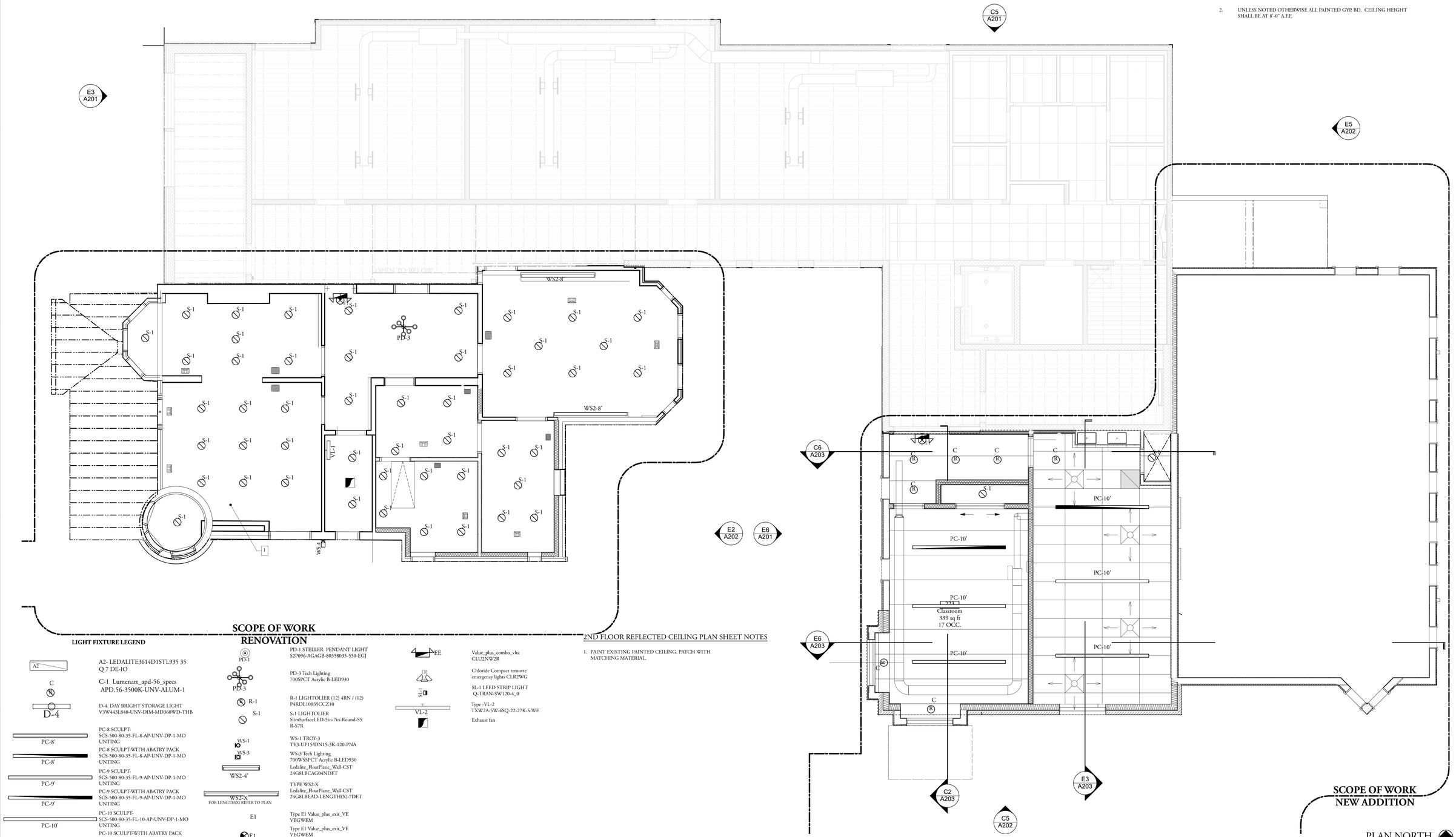
2. UNLESS NOTED OTHERWISE ALL PAINTED GYP. BD. CEILING HEIGHT SHALL BE AT 8'-0" A.F.F.



SCOPE OF WORK
RENOVATION

LIGHT FIXTURE LEGEND

A2	A2- LEDALITE3614D1STL935 35 Q 7 DE-IO
C	C-1 Lumenart_apd-56_specs APD.56-3500K-UNV-ALUM-1
D-4	D-4, DAY BRIGHT STORAGE LIGHT V3W443L840-UNV-DIM-MD360WD-THB
PC-8'	PC-8 SCULPT- SCS-500-80-35-FL-8-AP-UNV-DP-1-MO UNTING
PC-8'	PC-8 SCULPT-WITH ABATRY PACK SCS-500-80-35-FL-8-AP-UNV-DP-1-MO UNTING
PC-9'	PC-9 SCULPT- SCS-500-80-35-FL-9-AP-UNV-DP-1-MO UNTING
PC-9'	PC-9 SCULPT-WITH ABATRY PACK SCS-500-80-35-FL-9-AP-UNV-DP-1-MO UNTING
PC-10'	PC-10 SCULPT- SCS-500-80-35-FL-10-AP-UNV-DP-1-MO UNTING
PC-10'	PC-10 SCULPT-WITH ABATRY PACK SCS-500-80-35-FL-10-AP-UNV-DP-1-MO UNTING
PD-1	PD-1 STELLER PENDANT LIGHT S2P096-AGAGB-80358035-550-EGJ
PD-3	PD-3 Tech Lighting 700SPCT Acrylic B-LED930
R-1	R-1 LIGHTOLIER (12) 4RN / (12) P4RDL10835CCZ10
S-1	S-1 LIGHTOLIER SlimSurfaceLED-5in-7in-Round-S5 R-S7R
WS-1	WS-1 TROY-3 TY3-UP15/DN15-3K-120-PNA
WS-3	WS-3 Tech Lighting 700WSSPCT Acrylic B-LED930
WS2-4'	Ledalite_FloatPlane_Wall-CST 24G8LBCAG04NDET
WS2-X FOR LENGTH(X) REFER TO PLAN	TYPE WS2-X Ledalite_FloatPlane_Wall-CST 24G8LBEAD-LENGTH(X)-7DET
E1	Type E1 Value_plus_exit_VE VEGWEM
E1	Type E1 Value_plus_exit_VE VEGWEM PENDANT REQUIRED
EE	Value_plus_combo_vltc CLU2NW2R
ER	Chloride Compact removte emergency lights CLR2WG
SL-1	SL-1 LEED STRIP LIGHT Q-TRAN-SW120-4_0
VL-2	Type -VL-2 TXW2A-5W-4SQ-22-27K-S-WE
	Exhaust fan

2ND FLOOR REFLECTED CEILING PLAN SHEET NOTES

1. PAINT EXISTING PAINTED CEILING. PATCH WITH MATCHING MATERIAL.

SCOPE OF WORK
NEW ADDITION

PLAN NORTH

TRUE NORTH

2ND FLOOR EFLECTED CEILING PLAN

Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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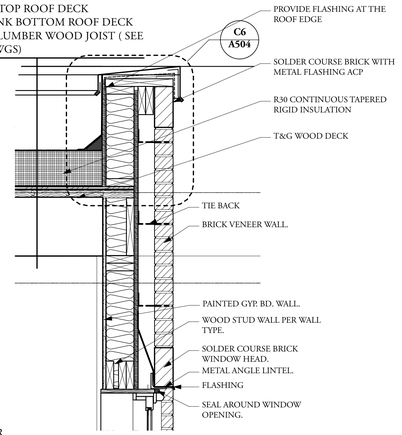
A402

2ND FLOOR RCP

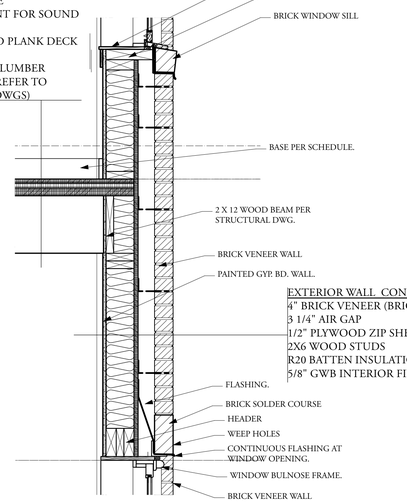
21005 221104 Drawing.vwx

TYPICAL ROOF CONSTRUCTION
TPO ROOFING MEMBRANE,
R38 POLYISO INSULATION BOARD
3/4" PLYWOOD TOP ROOF DECK
2X6 WOOD PLANK BOTTOM ROOF DECK
DIMENSIONAL LUMBER WOOD JOIST (SEE STRUCTURAL DWGS)



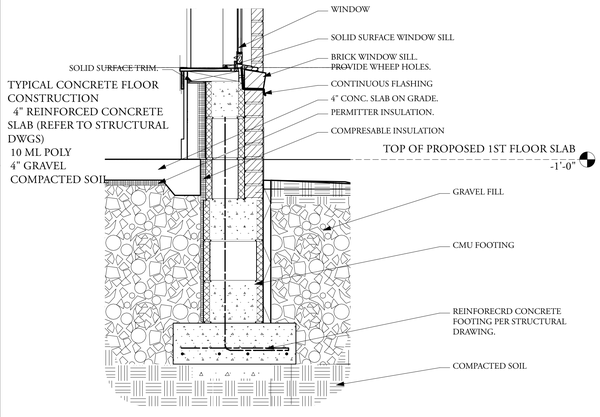
WALL DETAIL
Scale: 1" = 1'-0"

TYPICAL FLOOR CONSTRUCTION
1/2" PLYWOOD UNDERLAYMENT,
1/2" HOMASOTE UNDERLAYMENT FOR SOUND ABSORPTION
2X6 T&G WOOD PLANK DECK ON
DIMENSIONAL LUMBER WOOD JOIST (REFER TO STRUCTURAL DWGS)



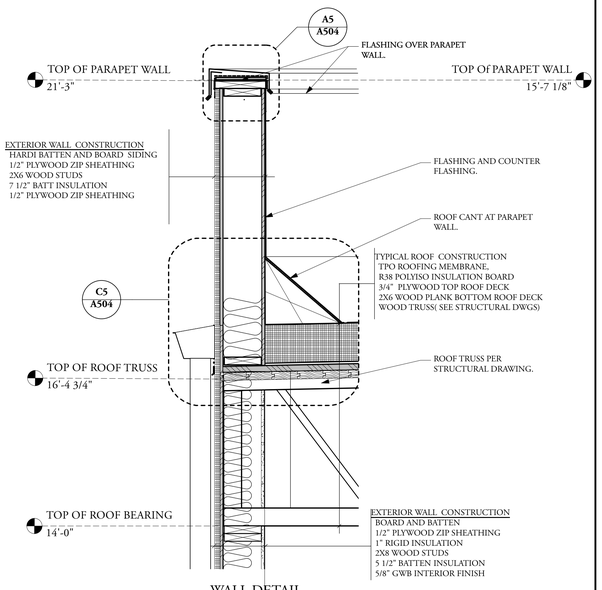
EXTERIOR WALL CONSTRUCTION
4" BRICK VENEER (BRICK SIZE 12 LONG)
3 1/4" AIR GAP
1/2" PLYWOOD ZIP SHEATHING
2X6 WOOD STUDS
R20 BATTEN INSULATION
5/8" GWB INTERIOR FINISH

WALL DETAIL
Scale: 1" = 1'-0"



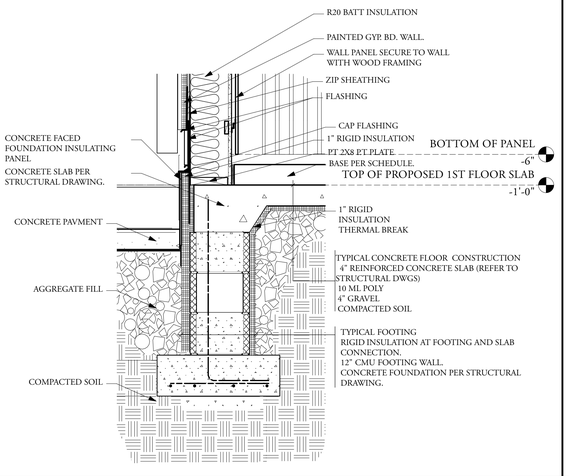
TYPICAL CONCRETE FLOOR CONSTRUCTION
4" REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS)
10 ML POLY
4" GRAVEL
COMPACTED SOIL

WALL DETAIL
Scale: 1" = 1'-0"

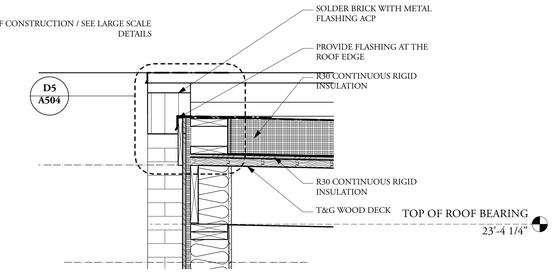


WALL DETAIL
Scale: 1" = 1'-0"

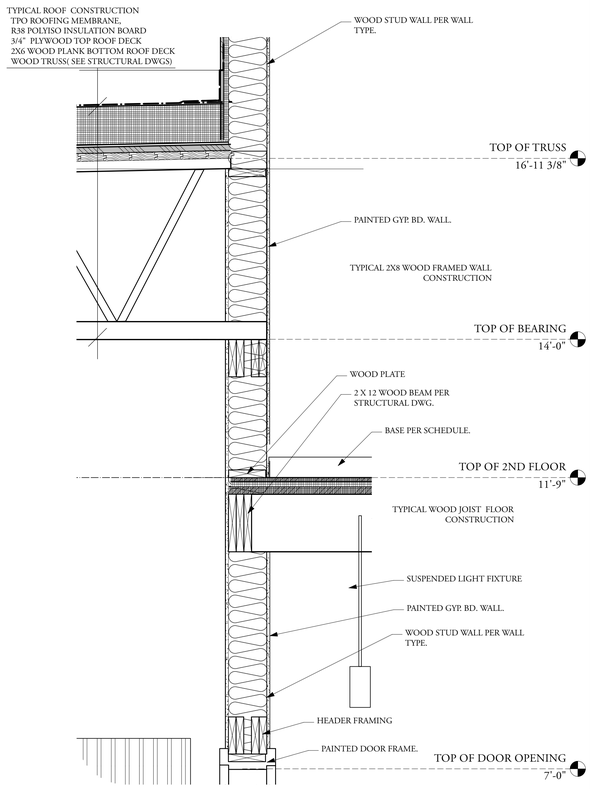
WALL DETAIL
Scale: 1" = 1'-0"

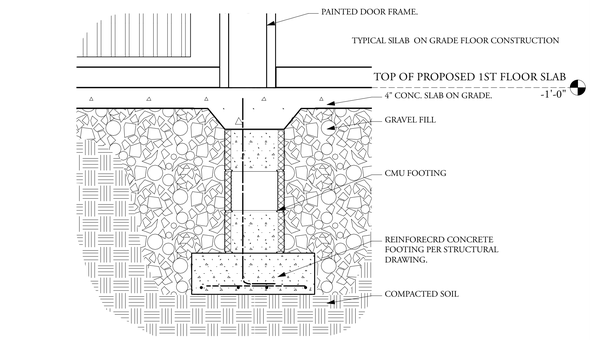


ROOF CONSTRUCTION / SEE LARGE SCALE DETAILS



WALL DETAIL
Scale: 1" = 1'-0"





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3/4" PLYWOOD TOP ROOF DECK
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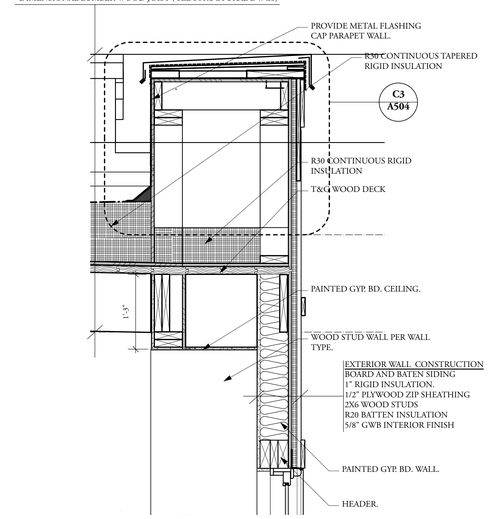
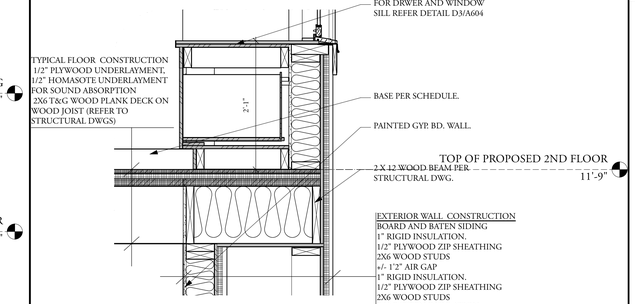
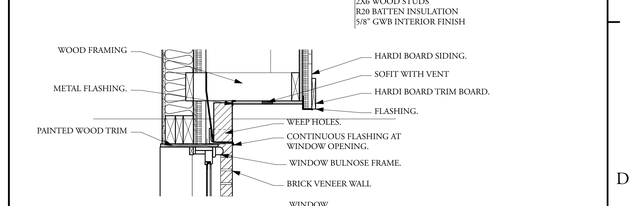
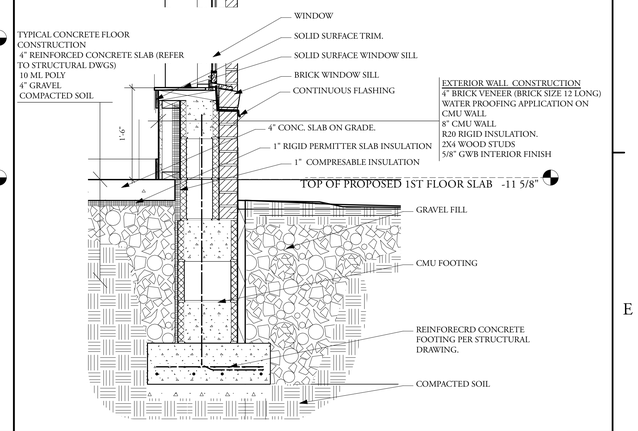






TYPICAL CONCRETE FLOOR CONSTRUCTION
4" REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS)
10 ML POLY
4" GRAVEL
COMPACTED SOIL



WALL DETAIL
Scale: 1" = 1'-0"
E2

WALL DETAIL
Scale: 1" = 1'-0"
E3

WALL DETAIL
Scale: 1" = 1'-0"
E5

WALL DETAIL
Scale: 1" = 1'-0"
E6

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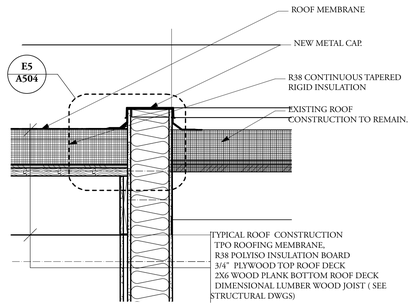
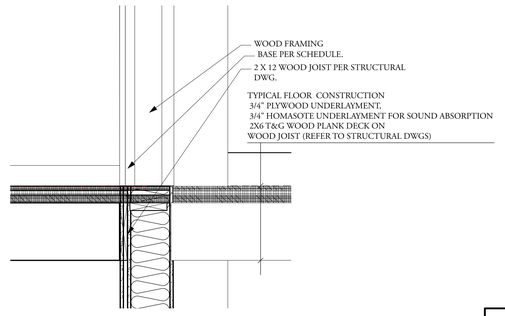
A501
ENVELOPEWALL DETAILS

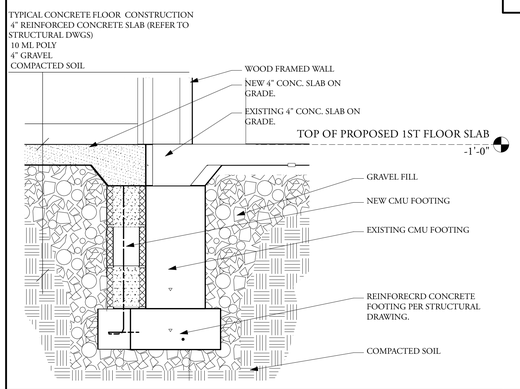
21005 221104 Drawing.vwx

NEW ADDITION EXISTING

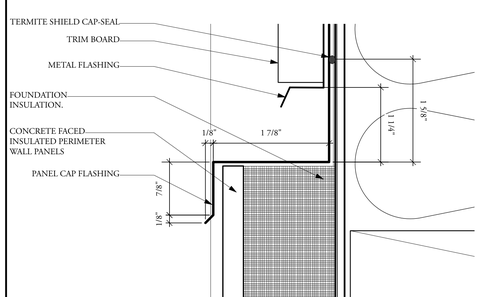


WALL DETAIL
Scale: 1" = 1'-0"

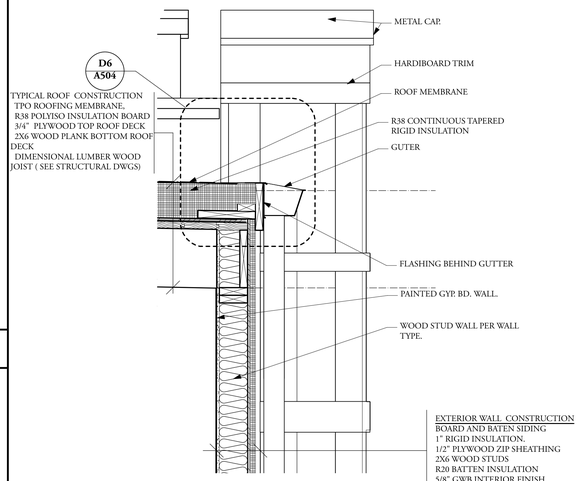




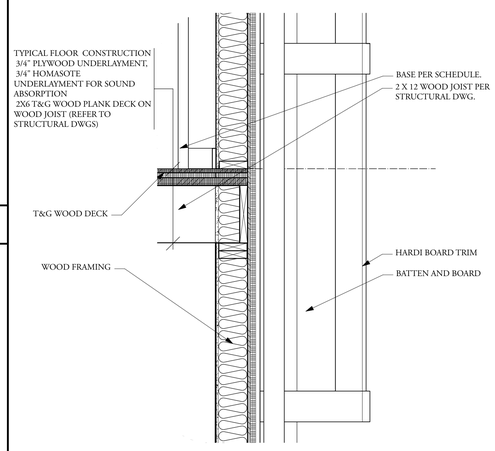
WALL DETAILS
Scale: 1" = 1'-0"



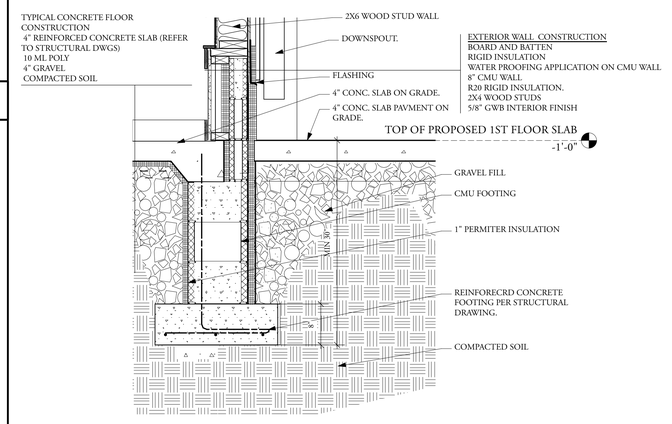
TERMITE CAP
Scale: Actual Size



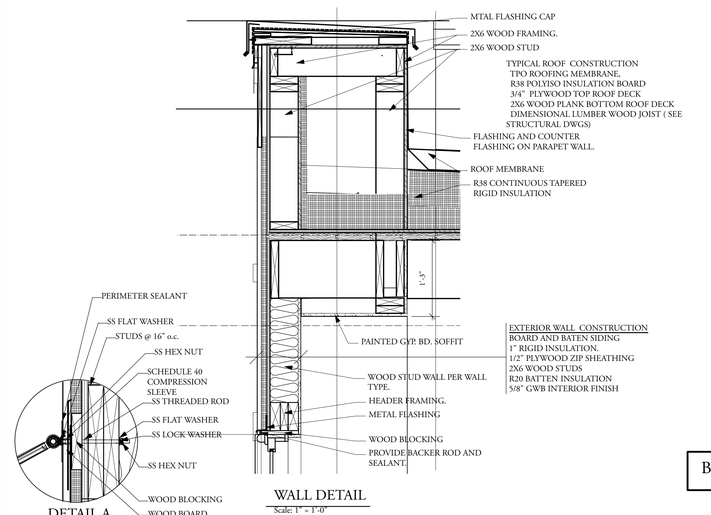
WALL DETAILS
Scale: 1" = 1'-0"



WALL DETAIL
Scale: 1" = 1'-0"

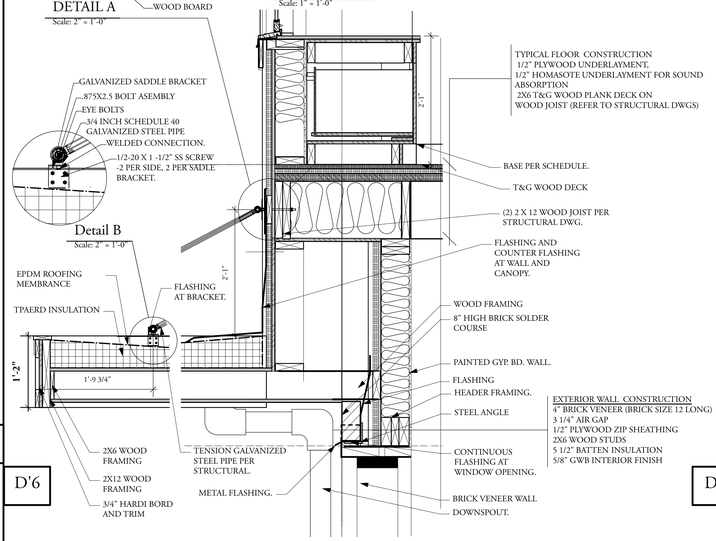


WALL DETAIL
Scale: 1" = 1'-0"

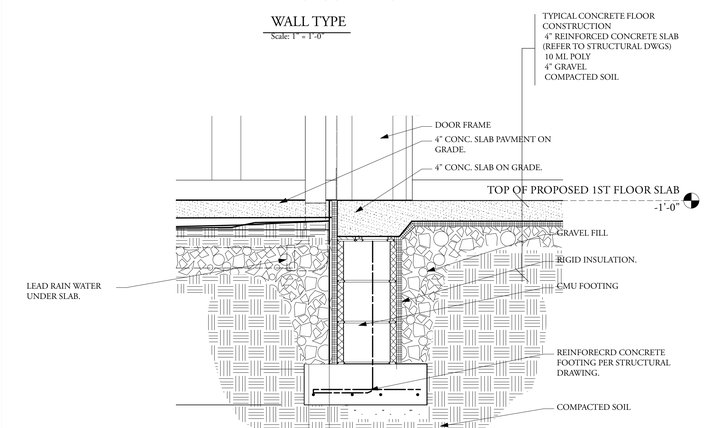


DETAIL A
Scale: 2" = 1'-0"

WALL DETAIL
Scale: 1" = 1'-0"



WALL TYPE
Scale: 1" = 1'-0"



WALL DETAILS
Scale: 1" = 1'-0"

No.	Date	Appr	Revision Notes

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600 Baltimore Ave,
Towson, MD 21204

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Baltimore, MD 21218-5110

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2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
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Baltimore, MD 21217

PROJECT # 21005

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ARCHITECT 6171-ACT RANDALL MICHAEL SOVICH STATE OF MARYLAND

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
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A502

WALL DETAILS

21005 221104 Drawing.vwx

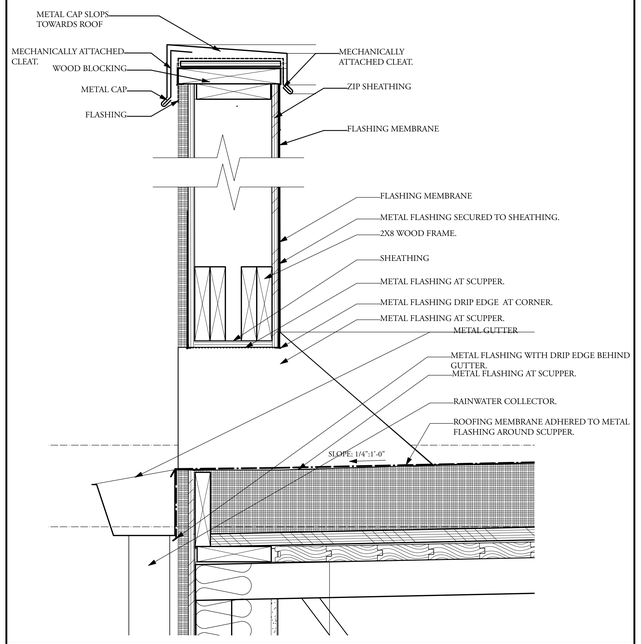
Porch molding profile Number.

Profile Copper Beech
Millwork CB4134

Profile Copper Beech
Millwork CB3506

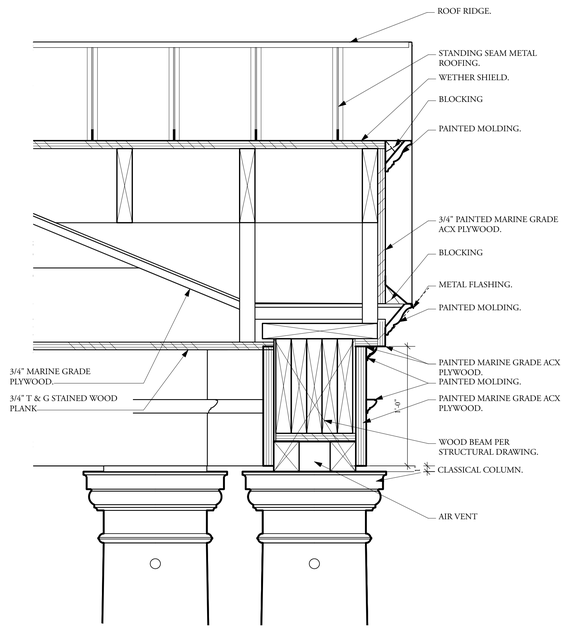
Molding profile
Scale: 3" = 1'-0"

C1



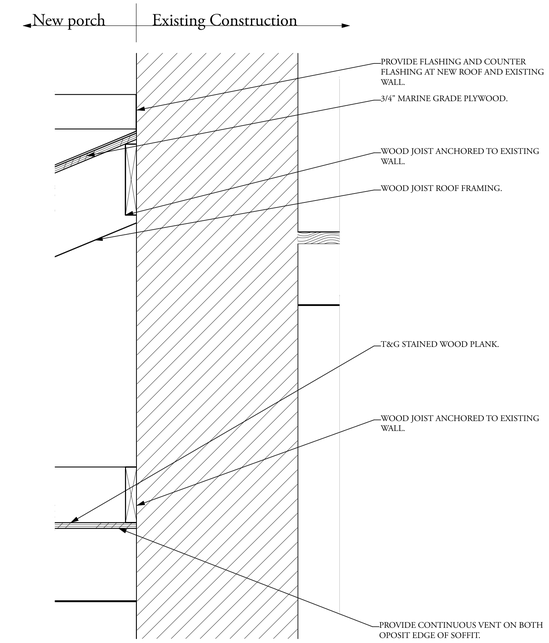
DETAIL @ SCUPPER
Scale: 2" = 1'-0"

C3



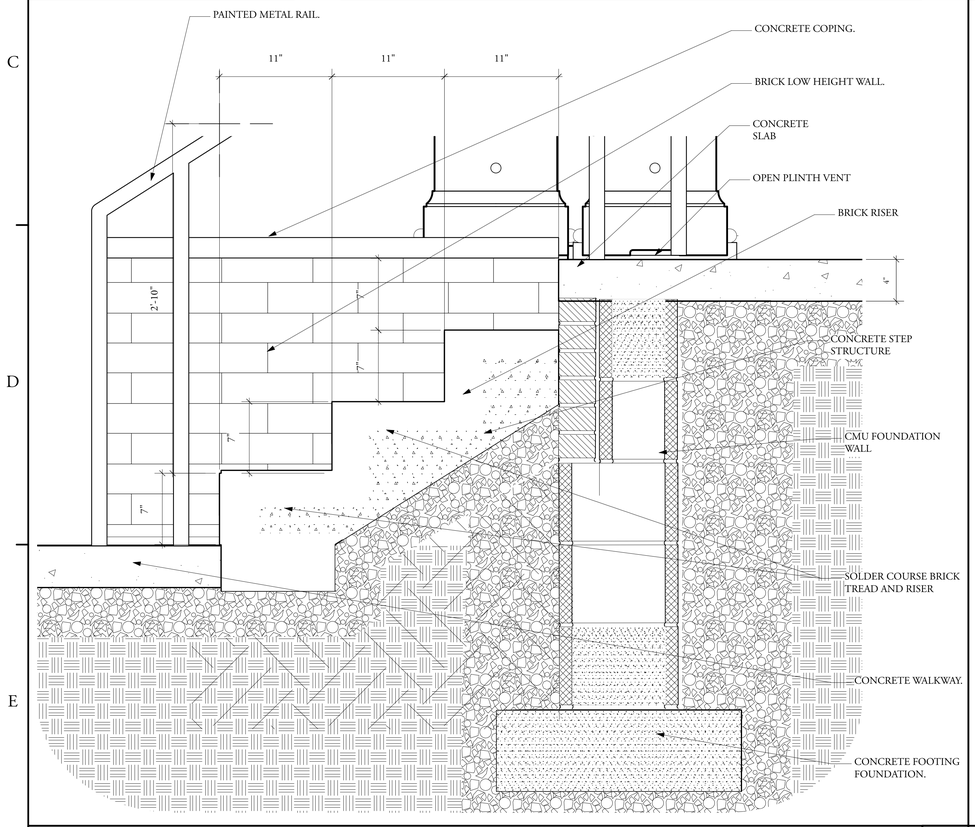
DETAIL AT PORCH
Scale: 2" = 1'-0"

C5



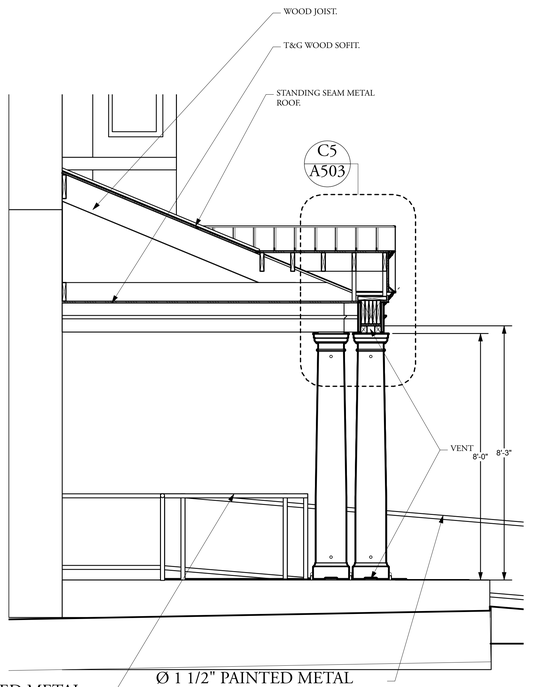
DETAIL AT PORCH
Scale: 1 1/2" = 1'-0"

C6



PORCH STEPS
Scale: 2" = 1'-0"

E3



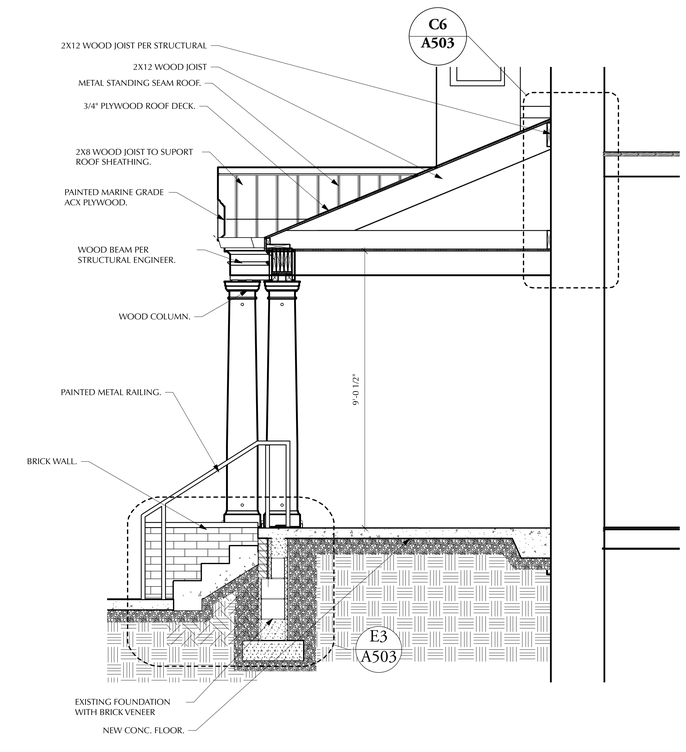
Ø 1 1/2" PAINTED METAL RAILING AT PORCH.

Ø 1 1/2" PAINTED METAL RAILING AT ADA RAMP.

Porch Section
Scale: 1/2" = 1'-0"

0 1 2 3 4 FT

E5



Section @ Porch
Scale: 1/2" = 1'-0"

E6

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Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
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Suite 175
Baltimore, MD 21210
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office@rmsarchitecture.com

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PROJECT # 21005

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ARCHITECT 6171-A RAMIE MICHAEL SOVICH STATE OF MARYLAND

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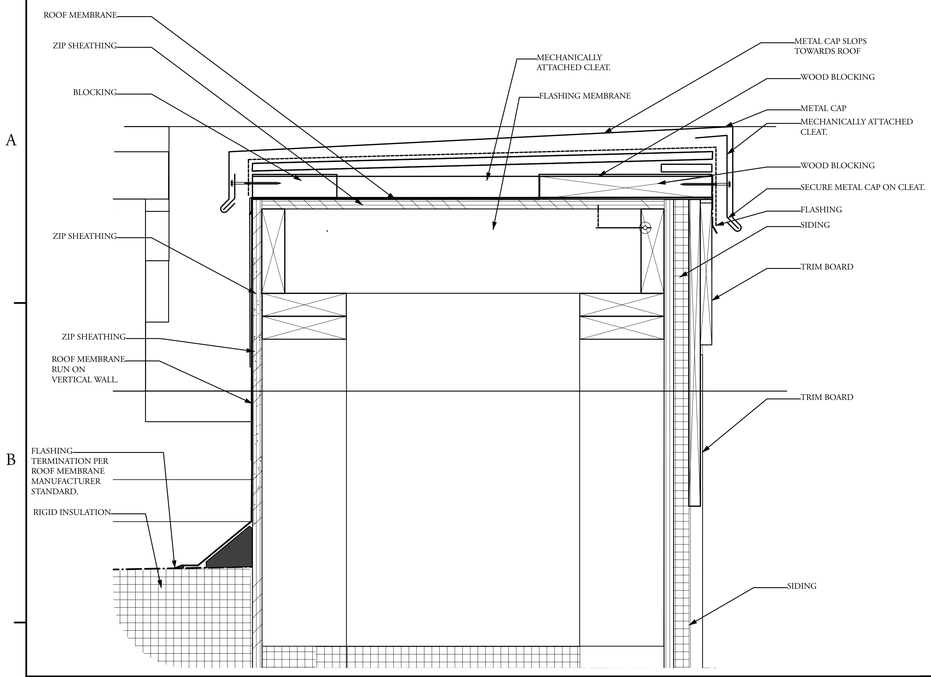
A503

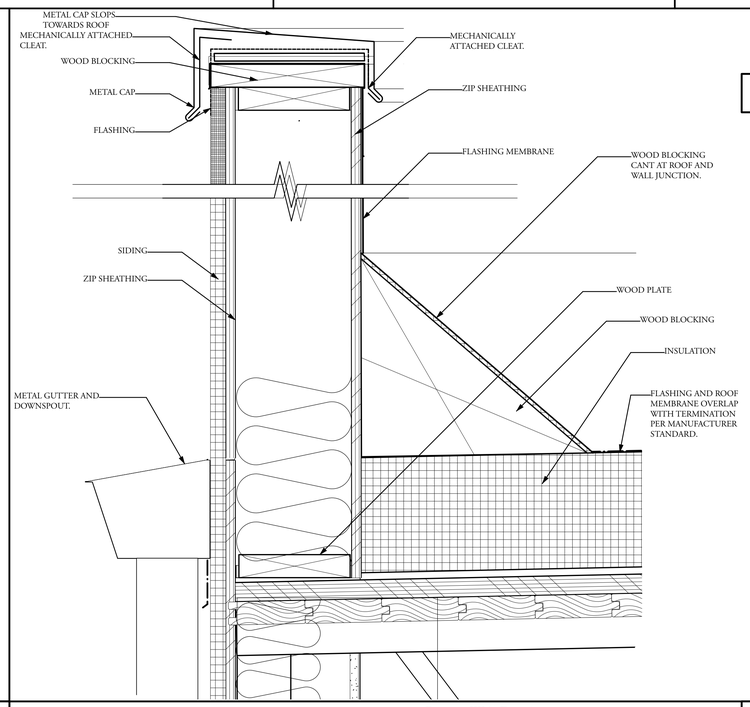
PORCH DETAILS

21005 221104 Drawing.vwx



Flashing detail
Scale: 3" = 1'-0"

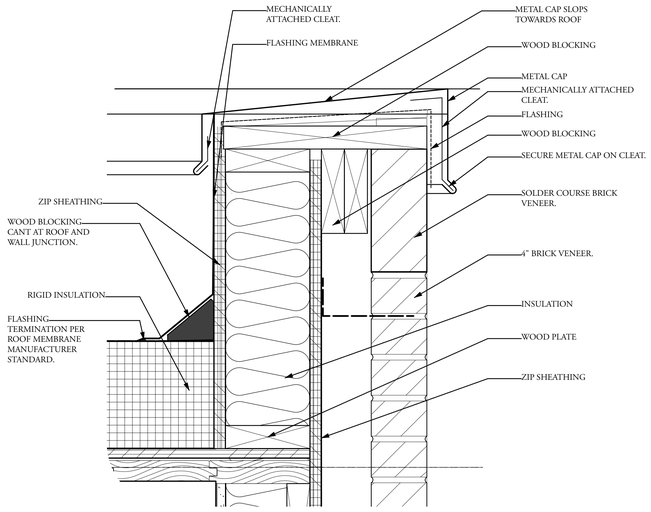
C3



A5

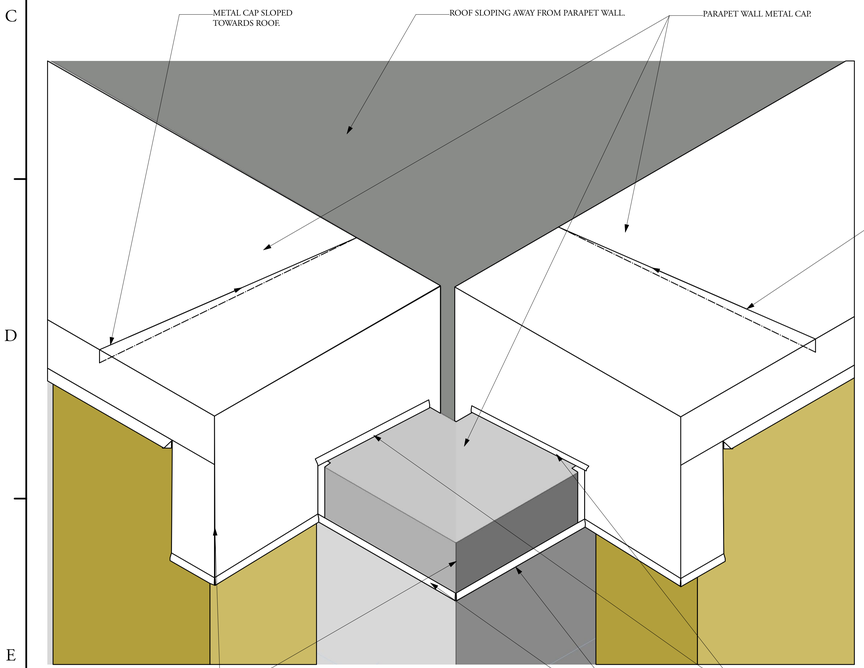
Parapet Wall Detail
Scale: 3" = 1'-0"

C5



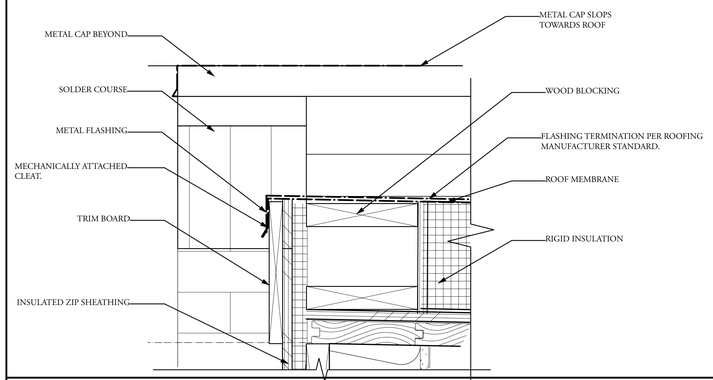
Parapet Wall Detail
Scale: 3" = 1'-0"

C6



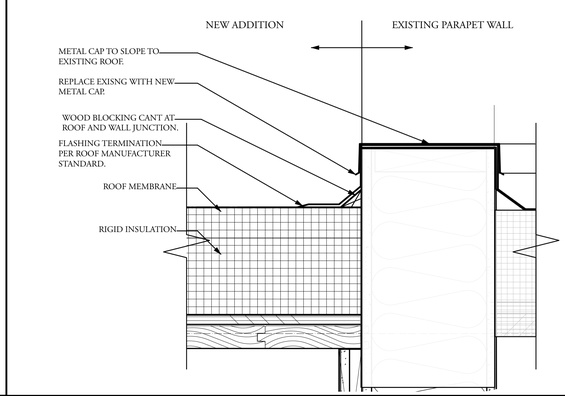
PARAPET WALL ISOMETRIC VIEW.

E3



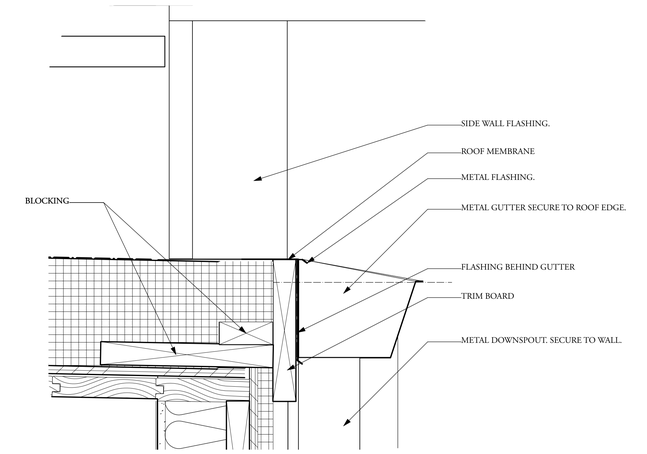
Parapet Wall Detail
Scale: 3" = 1'-0"

D5



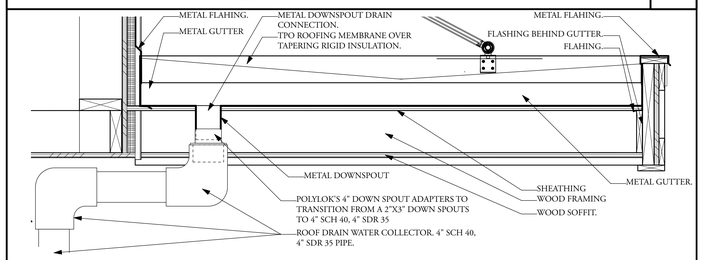
DETAIL @ EXISTING AND NEW ROOF
Scale: 3" = 1'-0"

E5



Detail @ Gutter
Scale: 3" = 1'-0"

D6



CANOPY DOWNSPOUT CONNECTION
Scale: 1 1/2" = 1'-0"

E6

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Architect
RM Sovich Architecture
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PROJECT # 21005

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LICENSE NO: 6171-A
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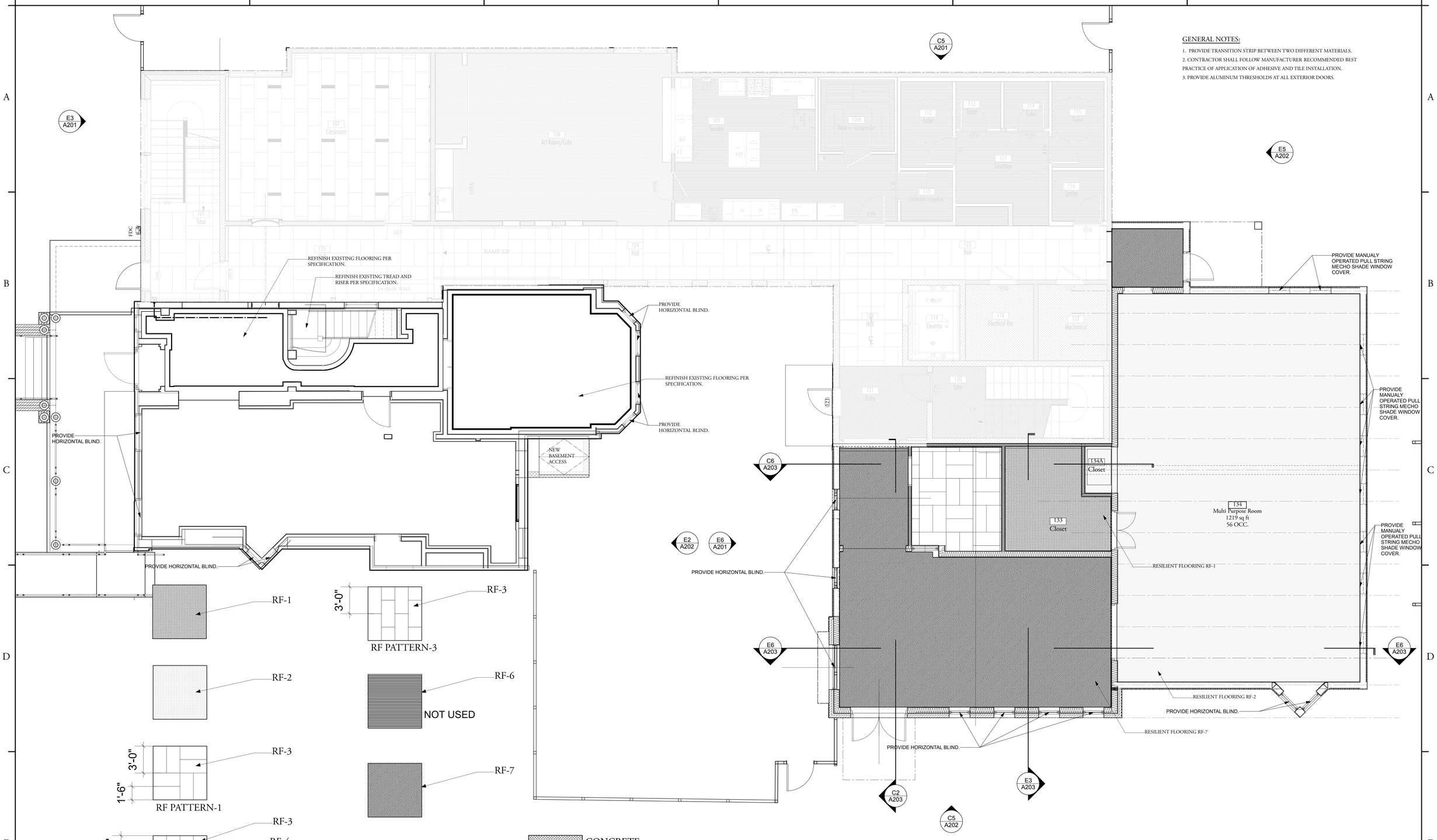
ARCHITECT 6171-A RENEE MICHAEL SOVICH STATE OF MARYLAND

A504

WALL DETAILS

21005 221104 Drawing.vwx



1ST FLOOR FINISH PLAN

Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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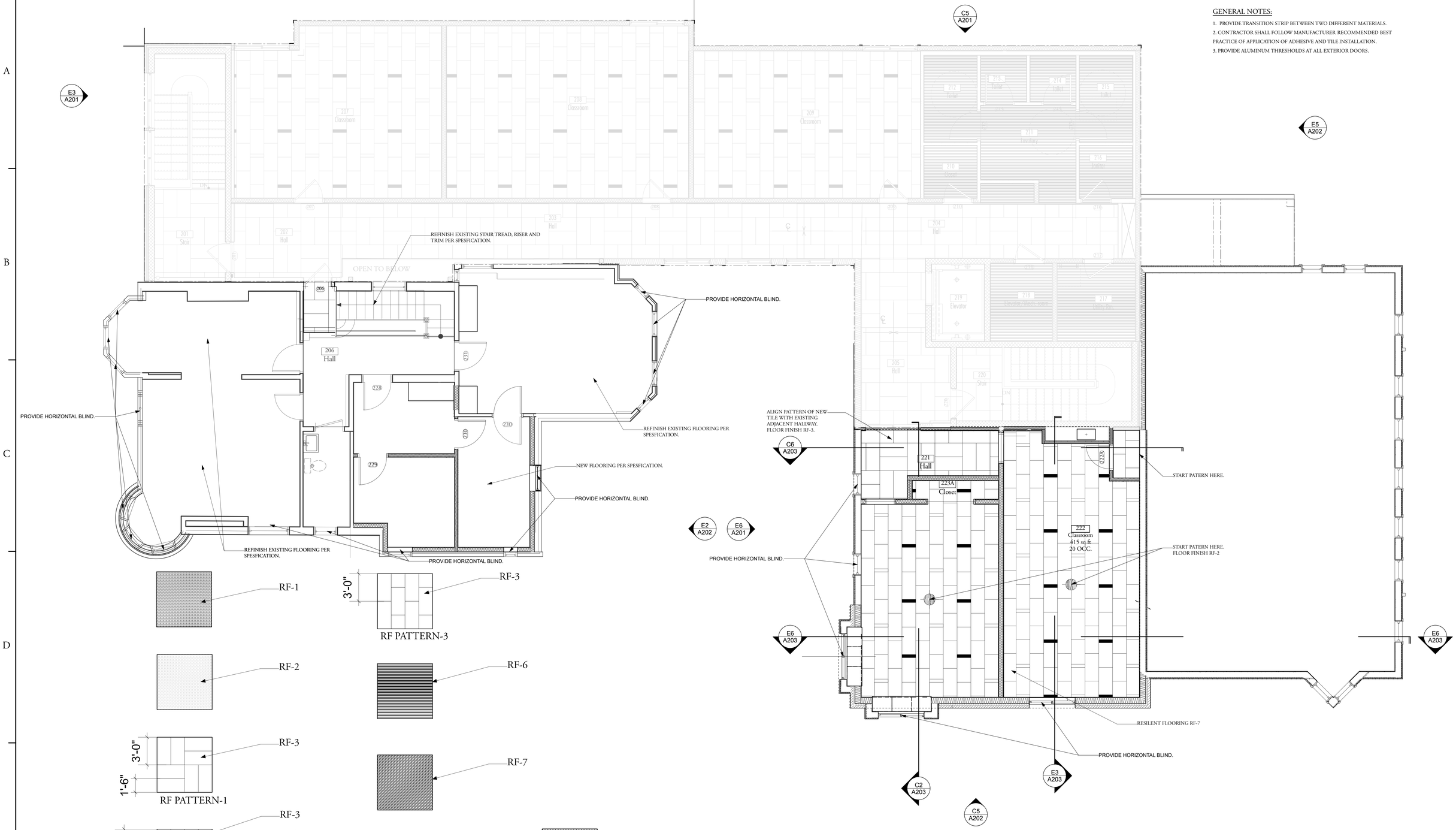
A601

1ST FLOOR FINISH PLAN

21005 221104 Drawing.vwx

GENERAL NOTES:

1. PROVIDE TRANSITION STRIP BETWEEN TWO DIFFERENT MATERIALS.
2. CONTRACTOR SHALL FOLLOW MANUFACTURER RECOMMENDED BEST PRACTICE OF APPLICATION OF ADHESIVE AND TILE INSTALLATION.
3. PROVIDE ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS.



2nd FLOOR FINISH PLAN

Scale: 1/4" = 1'-0"

0 2 4 6 8 FT

E6

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2439 North Charles Street
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NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

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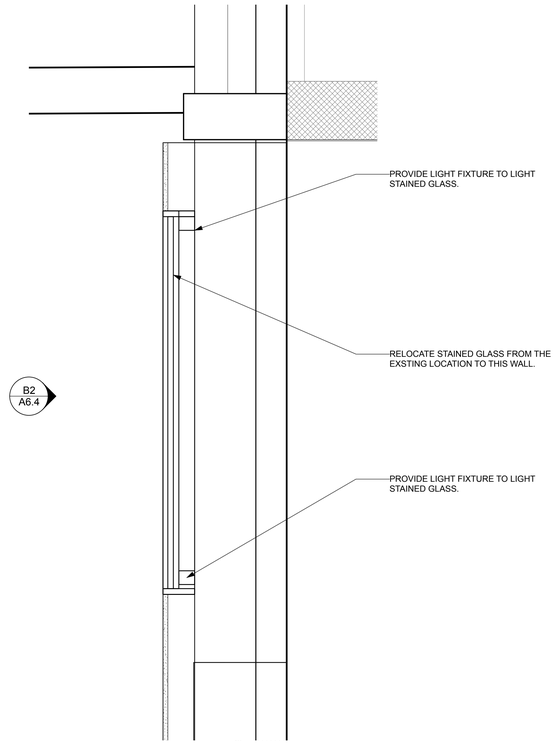
ARCHITECT 6171-A RANDY MICHAEL SOVICH STATE OF MARYLAND

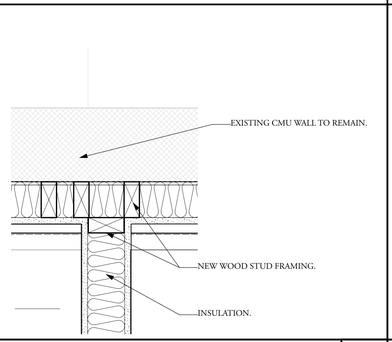
A602

2ND FLOOR FINISH PLAN

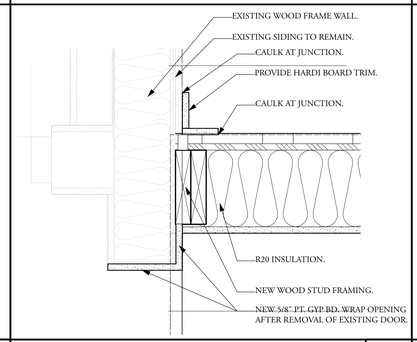
21005 221104 Drawing.vwx



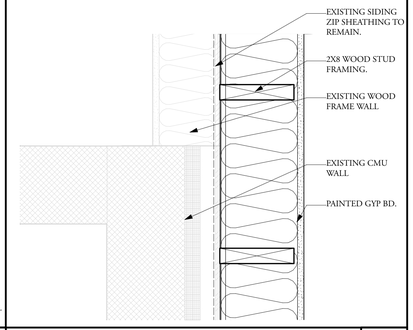
PLAN @ STAINED GLASS WALL — Scale: 1 1/2" = 1'-0" — C2



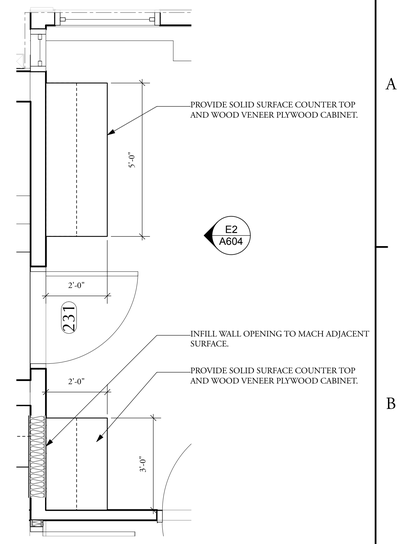
PLAN DETAIL — Scale: 2" = 1'-0" — B3



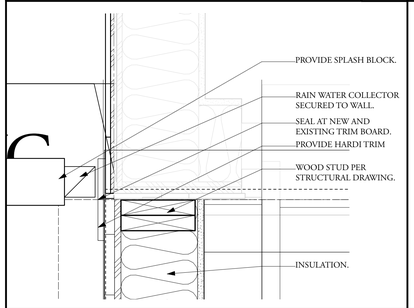
DETAIL-PLAN AT NORHT ROOM 135. — Scale: 2" = 1'-0" — B4



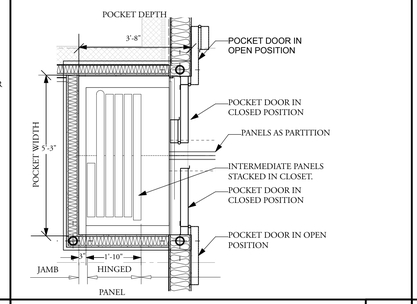
PLAN DETAIL — Scale: 2" = 1'-0" — B5



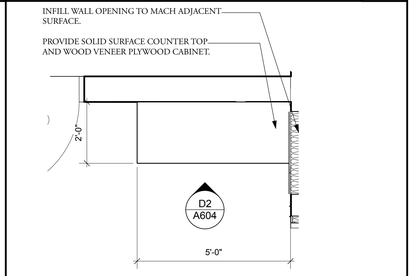
MILLWORK AT MEETING ROOM — Scale: 1/2" = 1'-0" — C6



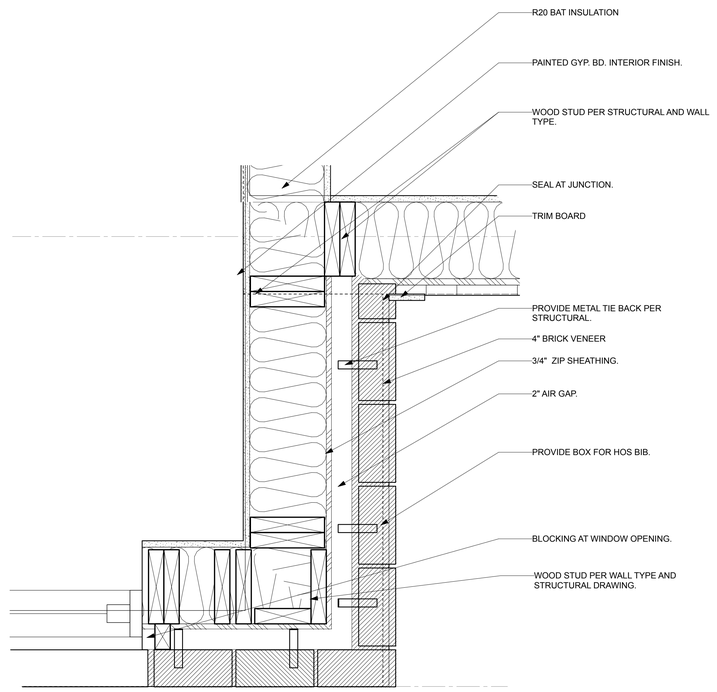
PLAN DETAIL — Scale: 2" = 1'-0" — C3



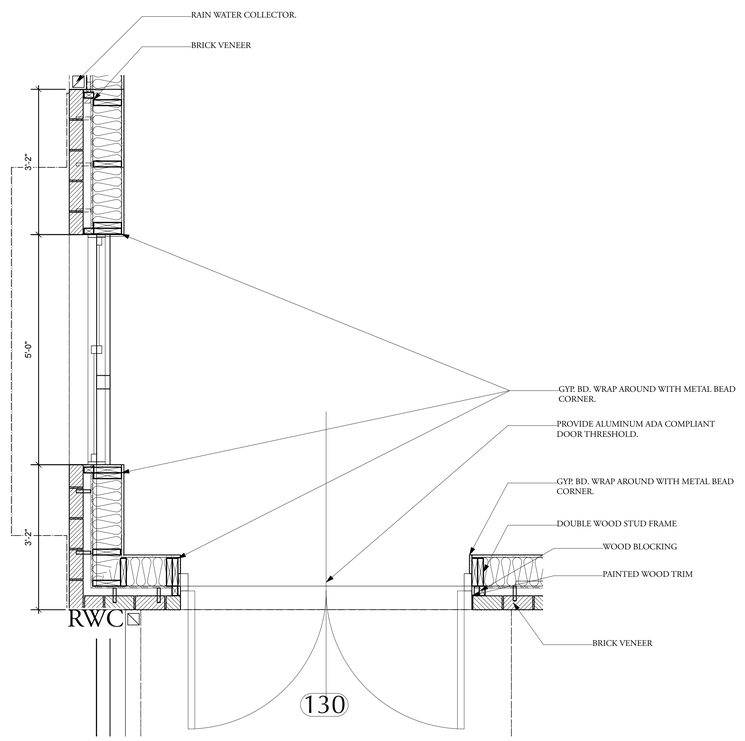
POCKET DOOR CLOSET PLAN — Scale: 1/2" = 1'-0" — C4



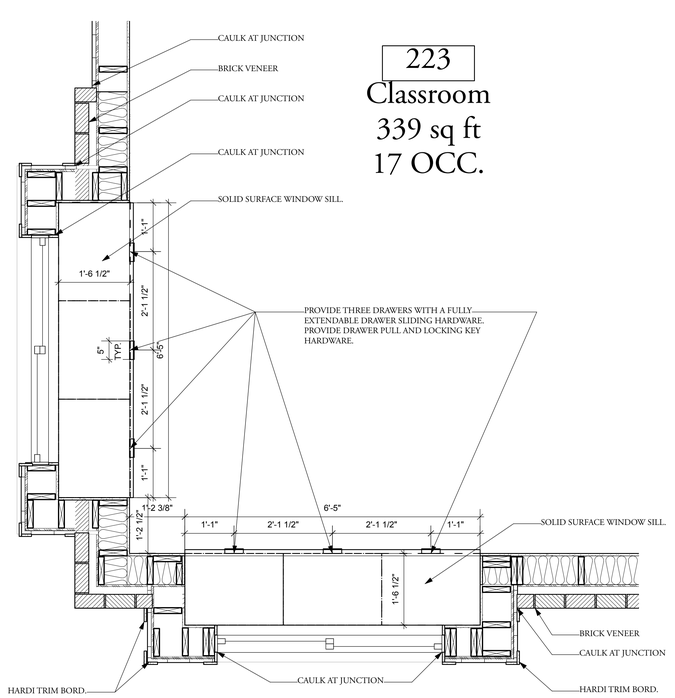
MILLWORK AT RM 228-R — Scale: 1/2" = 1'-0" — C5



Plan Detail — Scale: 2" = 1'-0" — E2



DETAIL AT ENTRY DOOR — Scale: 3/4" = 1'-0" — E4



DETAIL AT BAY WINDOW — Scale: 3/4" = 1'-0" — E6

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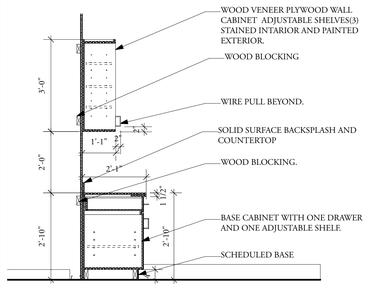
A603

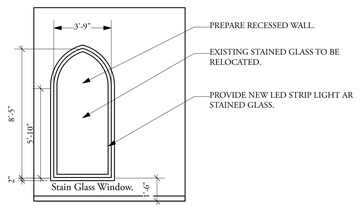
INTERIOR ELEVATIONS

21005 221104 Drawing.vwx



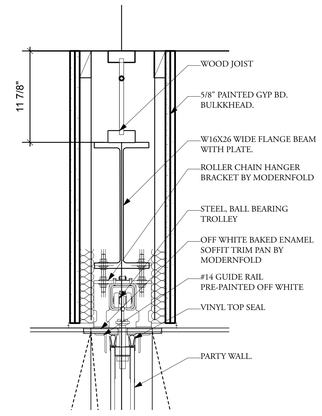
SECTION @ OPEN SHELF — B1

Scale: 1/2" = 1'-0"



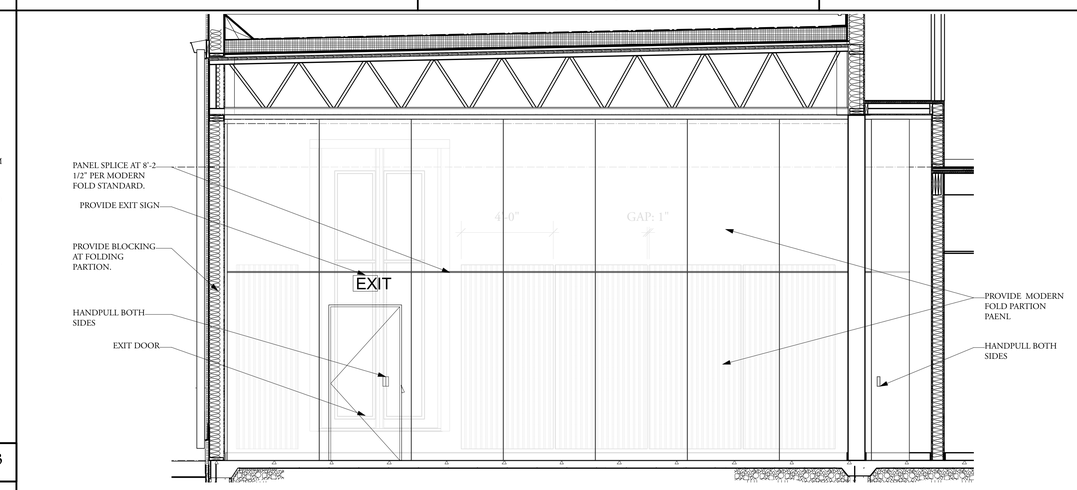
RELOCATERD STAINED GLASS — B2

Scale: 1/4" = 1'-0"



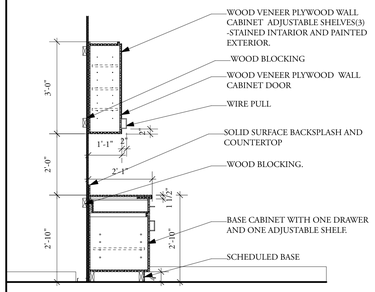
MOVABLE PARTITION HEAD DETAIL — B3

Scale: 1 1/2" = 1'-0"



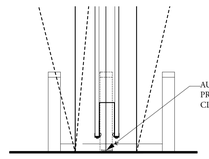
INTERIOR ELEVATION @ FOLDING PARTITION — B6

Scale: 3/8" = 1'-0"



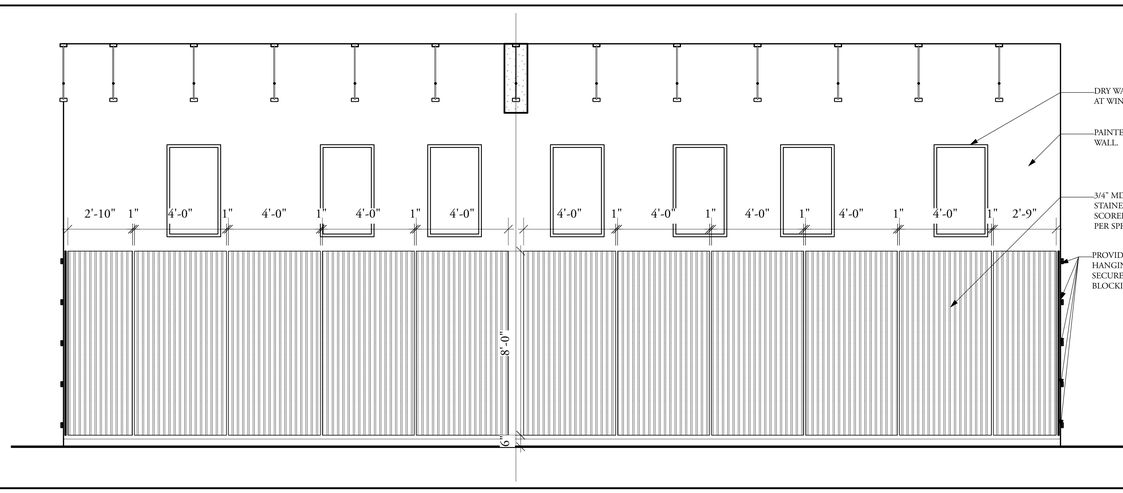
SECTION @ CABINET — C2

Scale: 1/2" = 1'-0"



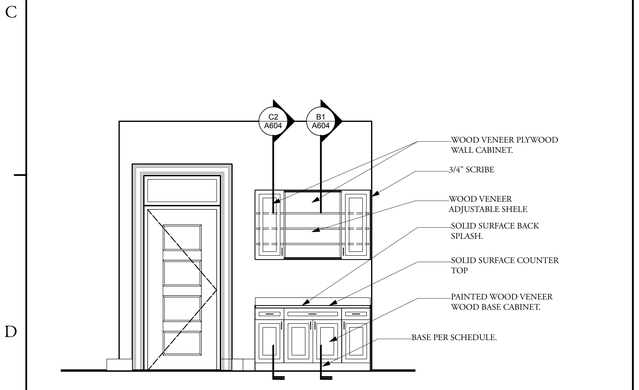
DETAIL @ PARTITION BOTTOM — C3

Scale: 1 1/2" = 1'-0"



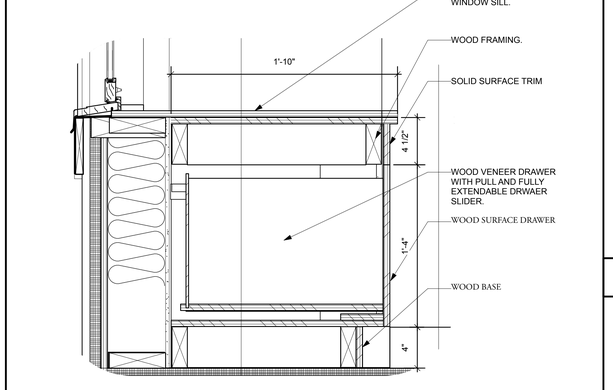
INTERIOR ELEVATION @ MP ROOM — C6

Scale: 3/8" = 1'-0"



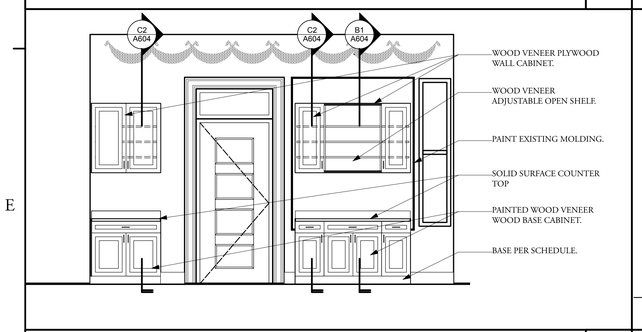
INTERIOR ELEVATION @ MEETING ROOM — D2

Scale: 3/8" = 1'-0"



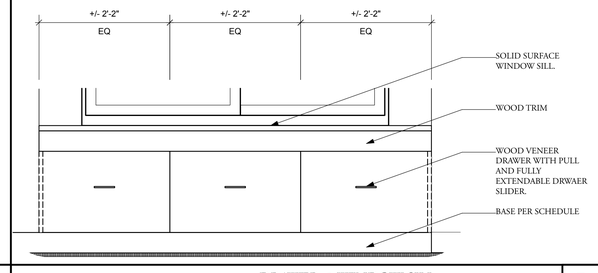
DRAWER @ WINDOW SILL — D3

Scale: 2" = 1'-0"



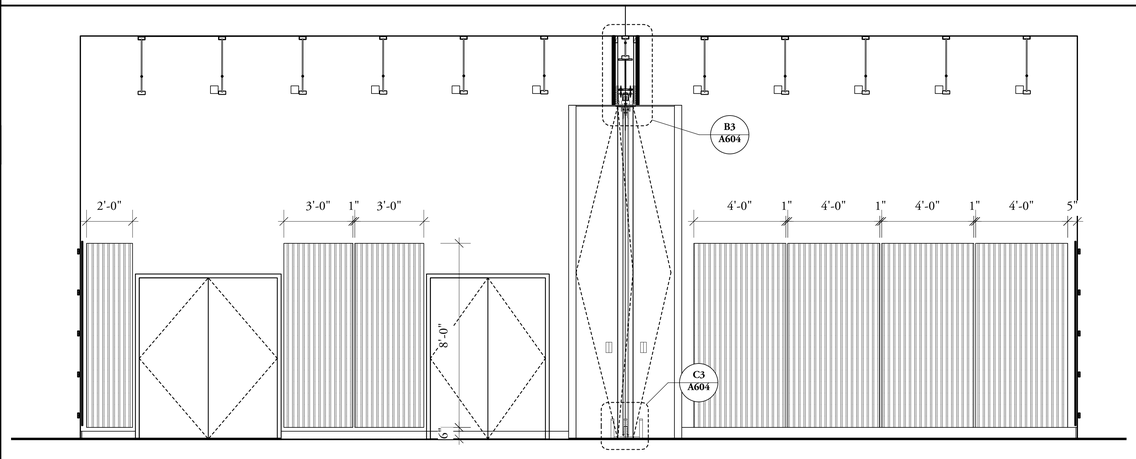
INTERIOR ELEVATION @ MEETING ROOM — E2

Scale: 3/8" = 1'-0"



DRAWER @ WINDOW SILL — E3

Scale: 1" = 1'-0"



INTERIOR ELEVATION @ MP ROOM — E6

Scale: 3/8" = 1'-0"

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Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE March 3, 2023

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ARCHITECT 6171-A RANDALL MICHAEL SOVICH STATE OF MARYLAND

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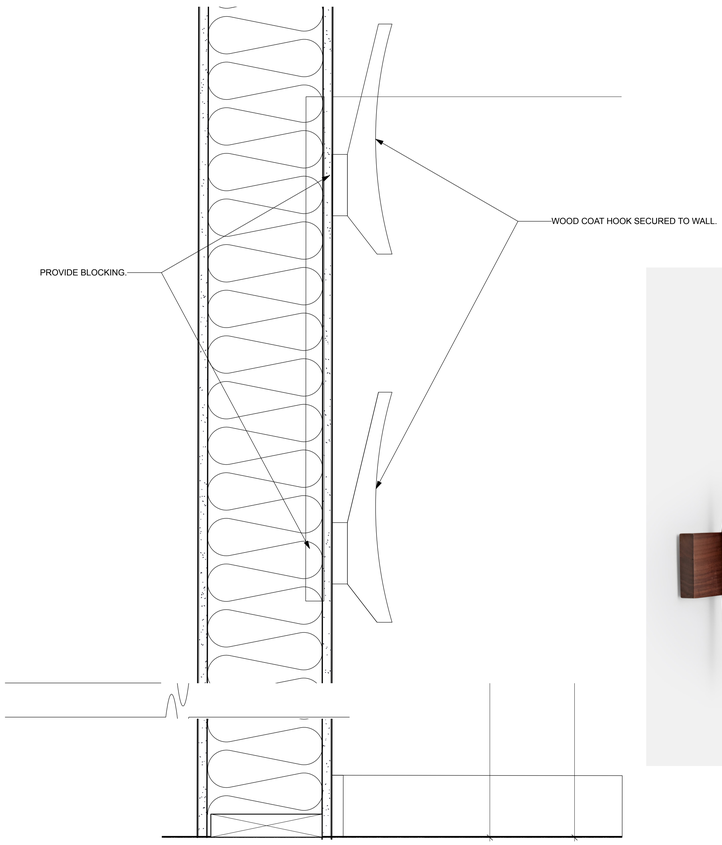
LICENSE NO: 6171-A
EXPIRATION DATE: 9-18-2024

A604

INTERIOR ELEVATION

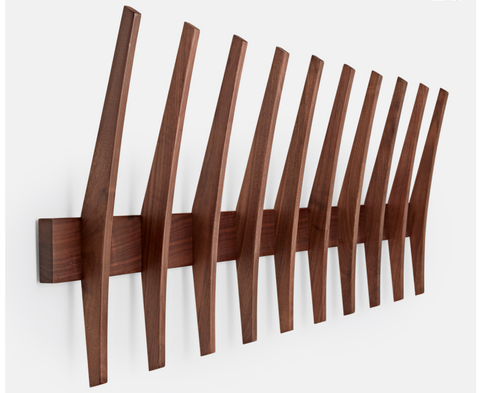
21005 221104 Drawing.vwx



Brendon Farrell Fin Hook Rack

Walnut - 10 Fin

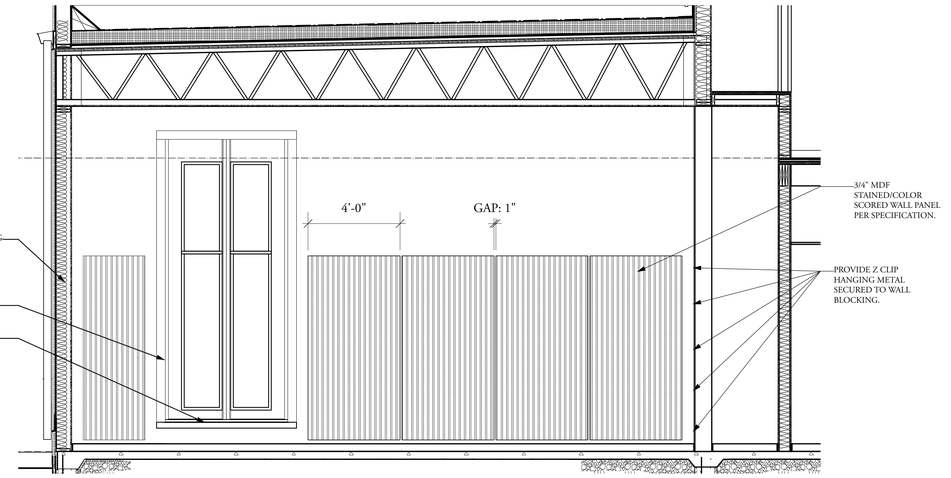
Item #E3099



COAT HOOK PROFILE

Scale: 3" = 1'-0"

C3



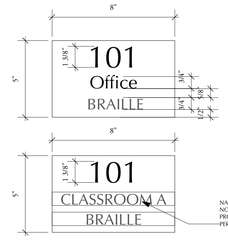
INTERIOR ELEVATION @ MP ROOM

Scale: 3/8" = 1'-0"

B6

SIGNANGE BY OWNER.

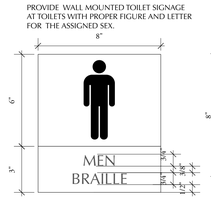
ROOM SIGNAGE



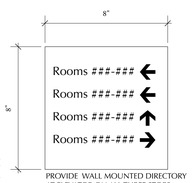
NAME PLATE
NOTE #1
PROVIDE SIGN FOR ROOM NAME PER PLAN

TOILET ROOM SIGNAGE

PROVIDE WALL MOUNTED TOILET SIGNAGE AT TOILETS WITH PROPER FIGURE AND LETTER FOR THE ASSIGNED SEX.



DIRECTORY



PROVIDE WALL MOUNTED DIRECTORY AT ELEVATOR ON ALL THREE STOPS. CONFIRM TEXT AND LOCATION W/ OWNER.

MOUNT AT 48" AFF
LOCATIONS TO BE APPROVED BY ARCHITECT

FURNISH AND INSTALL ADA APPROVED SIGNAGE FOR ALL ROOMS IDENTIFIED ON THE ROOM FINISH SCHEDULE AS FOLLOWS:

1. MOUNTING: SILASTIC CEMENT & 3M VHB WHITE FOAM TAPE FOUR SIDES
2. TOP LAYER: CLEAR MATTE .080" POLYCAST ACRYLIC
3. BACK LAYER: 1/8" RECYCLED PLASTIC SHEET BUFF EDGES SMOOTH+ COLOR TO BE SELECTED FROM MANUFACTURERS' STANDARD COLORS.
4. PERMANENT ROOM NAMES AND NUMBERS: TACTILE WHITE 1/32" THICK BRAILLE ROUTED INTO FIRST SURFACE OF ACRYLIC TOP LAYER. BRAILLE SHALL BE SMOOTH AND COMPLY WITH ADA STANDARDS FOR LEGIBILITY AND FEEL. OTHER TEXT AND SYMBOLS WHITE SCREENED SECOND SURFACE OF TOP LAYER
6. PROVIDE MATERIAL SAMPLES AND FULL SIZE SHOP DRAWINGS SHOWING GRAPHIC LAYOUT AND TEXT FOR APPROVAL.

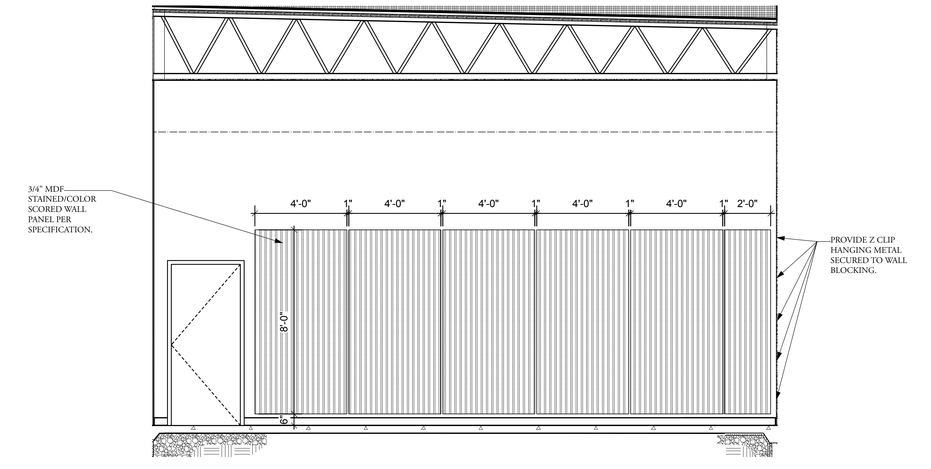
Maryland No Smoking Sign
COMAR 10.19.04 TO BE POSTED WITH IN 10' OF THE BUILDING ENTRANCE.

MOUNT AT 48" AFF
LOCATIONS TO BE APPROVED BY ARCHITECT/OWNER
Sign Reads
No Smoking For Information On Quitting Smoking, Call 1-800-Quit Now (1800-784-8669)
Sign Design: International No Smoking Symbol
Compliance: Code of Maryland Regulations

SIGNAGE

Scale: 3" = 1'-0"

E3



INTERIOR ELEVATION @ MP ROOM

Scale: 3/8" = 1'-0"

E6

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Suite 175
Baltimore, MD 21210
T: 410 327 7971
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A605

INTERIOR ELEVATION

21005 221104 Drawing.vwx

General Notes

1.1 DESIGN LOADS

A. THE STRUCTURE WAS DESIGNED FOR THE LIVE LOADS SHOWN BELOW AND DEAD LOADS AS REQUIRED BY CONSTRUCTION IN ACCORDANCE WITH IBC 2018. LOADS DUE TO SNOW LOAD BUILD-UP WERE CONSIDERED IN DESIGN OF STRUCTURAL COMPONENTS ADJACENT TO PARAPETS, HIGH BUILDING WALLS, ETC. INCREASE IN THESE LOADINGS, DUE TO CHANGE IN FUNCTION, CONSTRUCTION MATERIALS, ETC., TO HAVE WRITTEN APPROVAL FROM THE DESIGNING STRUCTURAL ENGINEER.

B. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS, AND ROOF ACTING TOGETHER. PROVIDE GUYS, BRACES, STRUTS, ETC., TO ACCOMMODATE LIVE, DEAD, AND WIND LOADS UNTIL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

C. MECHANICAL UNITS WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ADDITIONAL MECHANICAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

D. LIVE LOADS SHOWN BELOW ARE IN POUNDS PER SQUARE FOOT (PSF).

PARTITIONS	15 PSF
CORRIDORS ABOVE FIRST FLOOR	80 PSF
LOBBIES & FIRST FLOOR CORRIDORS	100 PSF
STAIRS AND EXIT WAYS	100 PSF
SCHOOLS: CLASSROOMS	40 PSF

DEAD LOADS:

FLOOR 20.0 PSF

ROOF 30.0 PSF

ROOF SNOW LOADS:

DESIGN UNIFORM ROOF SNOW LOAD		= 20.0 PSF
FLAT ROOF SNOW LOAD	PF	= 17.5 PSF
BALANCED SNOW LOAD	PS	= 17.5 PSF
GROUND SNOW LOAD	PG	= 25.0 PSF
IMPORTANCE FACTOR	I	= 1.00
SNOW EXPOSURE FACTOR	CE	= 1.00
THERMAL FACTOR	CT	= 1.00
SLOPED-ROOF FACTOR	CS	= 1.00
DRIFT SURCHARGE LOAD	PD	= 22.6 PSF
WIDTH OF SNOW DRIFT	W	= 6 FT

EARTHQUAKE DESIGN DATA:

RISK CATEGORY = II

IMPORTANCE FACTOR I = 1.00

MAPPED SPECTRAL RESPONSE ACCELERATIONS

SS = 14.10 S1 = 4.30

SITE CLASS = D

SPECTRAL RESPONSE COEF.

SDS = 0.150 SD1 = 0.069

SEISMIC DESIGN CATEGORY = B

BASIC STRUCTURAL SYSTEM = BUILDING FRAME SYSTEMS

SEISMIC RESISTING SYSTEM = LIGHT FRAME (WOOD) WALLS WITH STRUCTURAL WOOD SHEAR PANELS

DESIGN BASE SHEAR V = 0.021W

SEISMIC RESPONSE COEF. CS = 0.021

RESPONSE MODIFICATION FACTOR R = 7

ANALYSIS PROCEDURE = EQUIVALENT LATERAL-FORCE ANALYSIS

WIND DESIGN DATA:

ULTIMATE DESIGN WIND SPEED	110 MPH
NOMINAL DESIGN WIND SPEED	85.21 MPH
RISK CATEGORY	II
MEAN ROOF HT (H)	26.5 FT
EXPOSURE CATEGORY	B
ENCLOSURE CLASSIF.	ENCLOSED BUILDING
INTERNAL PRESSURE COEF.	+/-0.18
DIRECTIONALITY (KD)	0.85

COMPONENT AND CLADDING NOMINAL WIND PRESSURES

ROOF SURFACE PRESSURE (PSF)

AREA	10 SF	20 SF	50 SF	100 SF	200 SF
NEGATIVE ZONE 1	-20.1	-18.8	-17.0	-15.7	-14.4
NEGATIVE ZONE 1'	-11.5	-11.5	-11.5	-11.5	-10.0
NEGATIVE ZONE 2	-26.5	-24.8	-22.5	-20.8	-19.1
NEGATIVE ZONE 3	-26.5	-24.8	-22.5	-20.8	-19.1
POSITIVE ZONE 1 & 1'	10.0	10.0	10.0	10.0	10.0
POSITIVE ZONES 2 & 3	11.5	11.0	10.4	10.0	10.0

PARAPET SOLID PARAPET PRESSURE (PSF)

AREA	10 SF	20 SF	50 SF	100 SF	200 SF
CASE A:					
ZONE 2 :	30.6	28.6	26.0	24.0	22.0
ZONE 3 :	30.6	28.6	26.0	24.0	22.0
CASE B:					
INTERIOR ZONE :	-18.1	-17.2	-16.0	-15.0	-14.1
CORNER ZONE :	-20.7	-19.3	-17.5	-16.1	-14.7

WALL SURFACE PRESSURE (PSF)

AREA	10 SF	100 SF	200 SF	500 SF
NEGATIVE ZONE 4	-12.5	-10.8	-10.3	-10.0
NEGATIVE ZONE 5	-15.4	-12.0	-11.0	-10.0
POSITIVE ZONE 4 & 5	11.5	10.0	10.0	10.0

1.2 SHORING

A. PROVIDE SHORING TO MAINTAIN STABILITY OF THE STRUCTURE, ADJACENT UTILITIES, CONSTRUCTION, AND EMBANKMENTS DURING THE CONSTRUCTION PERIOD. STRENGTH AND PLACEMENT OF SHORING IS TOTALLY THE RESPONSIBILITY OF THE CONTRACTOR.

B. PRIOR TO BEGINNING WORK, SUBMIT DRAWINGS SHOWING COMPLETE DETAILS OF SHORING PROCEDURES AND ATTACHMENT OF SHORING TO OTHER MEMBERS AND EXISTING FRAMING. THESE DRAWINGS ARE TO BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER (REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED). THESE DRAWINGS ARE SUBMITTED FOR RECORD PURPOSES ONLY AND DO NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR STRENGTH AND PLACEMENT OF SHORING MATERIALS.

C. REMOVE FINISHES, SUCH AS PLASTER, STUCCO, ETC., SO THAT SHORING WILL BE IN DIRECT CONTACT WITH STRUCTURAL MEMBERS.

D. WHERE SPACES BETWEEN SHORING AND EXISTING MEMBERS EXIST, DRIVE HARDWOOD WEDGES SNUG AND TOE NAIL TO SHORING.

1.3 EXISTING CONDITIONS

A. EXPOSE EXISTING FRAMING AND NOTIFY ARCHITECT PRIOR TO INSTALLATION OF NEW FRAMING.

B. CONTRACTOR MUST FIELD CHECK AND VERIFY DIMENSIONS AND ELEVATIONS OF EXISTING WORK PRIOR TO FABRICATION OF NEW MATERIALS.

C. USE NON-DESTRUCTIVE TESTING METHODS TO DETERMINE LOCATION OF REINFORCING. DO NOT CUT EXISTING REINFORCING. ADJUST LOCATIONS OF NEW HOLES TO MISS REINFORCING.

D. RELOCATE EXISTING HVAC, ELECTRIC, AND PLUMBING (MEP) TO ALLOW INSTALLATION OF NEW FRAMING.

1.5 SUBMITTALS

A. BEFORE SUBMISSION OF SHOP DRAWINGS, CONTRACTOR SHALL HAVE DETERMINED AND VERIFIED QUANTITIES, DIMENSIONS, SPECIFIED PERFORMANCE CRITERIA, INSTALLATION REQUIREMENTS, MATERIALS, CATALOG NUMBERS, AND SIMILAR DATA WITH RESPECT THERETO AND REVIEWED OR COORDINATED EACH SHOP DRAWING WITH OTHER SHOP DRAWINGS AND SAMPLES AND WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS.

B. AFTER CHECKING AND VERIFYING COMPLIANCE WITH CONTRACT DOCUMENTS AND ACTUAL FIELD CONDITIONS, CONTRACTOR SHALL SUBMIT, FOR REVIEW, SHOP DRAWINGS REFERENCED IN THE INDIVIDUAL MATERIALS SECTIONS. CONTRACTOR SHALL STAMP OR PROVIDE A SIMILAR WRITTEN INDICATION THAT CONTRACTOR HAS REVIEWED THE SUBMISSION AND IS SATISFIED THAT MATERIALS SHOWN ARE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS.

C. A REVIEW PERIOD OF 5 WORKING DAYS WILL BE REQUIRED FOR SHOP DRAWING REVIEW, OF EACH UNIT TYPE. SHOP DRAWING SUBMISSION OF MULTIPLE COMPONENT TYPES WILL REQUIRE ADDITIONAL REVIEW TIME. SHOP DRAWINGS WILL BE FORWARDED TO THE ARCHITECT OR CLIENT FOR THEIR REVIEW BEFORE RETURNING TO THE CONTRACTOR.

2.1 DEMOLITION

A. DEMOLITION INCLUDES CONTROLLED DESTRUCTION OF STRUCTURES AND THE REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS AS SHOWN ON THE DRAWINGS AND INCLUDED IN THESE NOTES.

B. PERFORM DEMOLITION IN SECTIONS SMALL ENOUGH TO PREVENT DAMAGE OF MATERIALS AND FACILITIES AND FOR EMBANKMENTS TO REMAIN IN PLACE.

C. PROVIDE ADEQUATE SHORING, BRACING, AND PROTECTION TO PREVENT MOVEMENT, SETTLEMENT, COLLAPSE, OR DAMAGE TO EXISTING MATERIALS AND FACILITIES AND FOR EMBANKMENTS TO REMAIN. SUBMIT COMPLETE DETAILS OF SHORING PROCEDURES SIGNED BY A PROFESSIONAL ENGINEER (REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED) PRIOR TO BEGINNING WORK.

D. PROMPTLY REPAIR DAMAGES CAUSED BY THE DEMOLITION TO ADJACENT FACILITIES, MATERIALS, OR EMBANKMENTS AT NO COST TO THE OWNER.

E. PROMPTLY REMOVE FROM SITE AND PROPERLY DISPOSE OF DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM THE DEMOLITION.

2.3 FOUNDATIONS

A. A SOIL BEARING CAPACITY OF 2,000 PSF WAS USED FOR FOOTING DESIGN. ENGAGE THE SERVICES OF A GEOTECHNICAL ENGINEER TO VERIFY EXCAVATIONS AND SOIL BEARING CAPACITY. IF SOIL OF THIS CAPACITY IS NOT ENCOUNTERED AT ELEVATIONS INDICATED, CONTACT THE STRUCTURAL ENGINEER OF RECORD (SOR).

B. INSTALL FOOTING BOTTOMS 1'-0" MINIMUM BELOW EXISTING GRADE OR COMPACTED FILL, WHICHEVER IS HIGHER.

C. INSTALL EXTERIOR FOOTING BOTTOMS 2'-6" MINIMUM BELOW FINISH GRADE.

D. BASEMENT AND FOUNDATION WALLS ARE DEPENDENT UPON THE COMPLETED INSTALLATION OF FLOORS AND ROOFS FOR THEIR STABILITY. DO NOT PLACE BACKFILL UNTIL THESE ELEMENTS ARE COMPLETELY INSTALLED, OR PROVIDE SHORING AND BRACING.

E. COMPACT FILL AND BACKFILL TO 95% OF ASTM D-698. PERFORM FILL AND BACKFILL OPERATIONS UNDER THE DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER.

F. PRIOR TO POURING CONCRETE, ENGAGE THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER (REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED), TO PERFORM TESTS, BORINGS, ETC., REQUIRED TO CERTIFY THAT THE SOIL BEARING CAPACITY MEETS OR EXCEEDS THAT SHOWN IN THE GENERAL NOTES ABOVE. GEOTECHNICAL ENGINEER SHALL VERIFY SUBGRADE CAPACITIES PRIOR TO INSTALLATION OF DRAINAGE FILL AND MOISTURE BARRIER.

3.1 CONCRETE

A. UNLESS GOVERNED BY BUILDING CODE OR LOCAL AMENDMENTS: CONCRETE WORK INCLUDING FORMING, MIXING, PLACING, AND CURING SHALL BE IN ACCORDANCE WITH ACI 301. PLACEMENT OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI 315 AND 318. WHEN THERE IS A CONFLICT, THE MOST STRINGENT IS TO APPLY.

B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW PRIOR TO FABRICATION OR ERECTION. REPRINTS OF CONTRACT DRAWINGS ARE NOT ACCEPTABLE. SUBMIT DESIGN MIXES FOR EACH CLASS OF CONCRETE PRIOR TO USE.

C. CONCRETE REINFORCING: ASTM A-615, GRADE 60.

D. WELDED WIRE REINFORCEMENT: ASTM A-1064.

E. PORTLAND CEMENT: ASTM C-150, TYPE I.

F. BLENDED HYDRAULIC CEMENT: ASTM C-595.

G. FLY ASH: ASTM C-618, CLASS F (25% MAX.).

H. AGGREGATE: ASTM C-33. 1" MAXIMUM FOR FOOTINGS, WALLS, AND SLABS ON GRADE, 1/2" MAXIMUM FOR THIN SLABS, AND 3/8" FOR WALL FILL.

I. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF: 3,000 PSI.

J. EXTERIOR CONCRETE TO BE AIR-ENTRAINED AND SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF: 3,500 PSI.

K. WATER CEMENT RATIO NOT TO EXCEED 0.54 FOR 3,000 PSI CONCRETE AND 0.45 FOR AIR ENTRAINED CONCRETE.

L. INSTALL WELDED WIRE REINFORCEMENT 2" BELOW UPPER SURFACE OF CONCRETE SLAB.

M. REINFORCING FOR FOOTINGS AND OTHER CONCRETE USING EARTH FORMS SHALL HAVE 3" CONCRETE COVER. REINFORCING FOR CONCRETE EXPOSED TO GROUND OR WEATHER AFTER REMOVAL OF FORMS SHALL HAVE 2" CONCRETE COVER. REINFORCING SHALL HAVE 3/4" CONCRETE COVER FOR SLABS AND WALLS AND 1 1/2" COVER FOR BEAMS, GIRDERS, AND COLUMNS.

N. LAP CONTINUOUS FOOTING REINFORCING 44 BAR DIAMETERS AT SPLICES.

O. USE SPLIT WOOD FORMS AT CONSTRUCTION JOINTS IN UNEXPOSED SLABS SUPPORTED ON METAL DECK, AND ALLOW REINFORCEMENT TO EXTEND THRU FORM INTO NEXT ADJACENT POUR AT MID-HEIGHT OF SLAB.

P. USE A WATER REDUCING ADMIXTURE IN ALL CONCRETE.

Q. USE A MINIMUM OF 5 1/2 BAGS OF CEMENT AND A MAXIMUM OF 6 1/2 GALLONS OF WATER PER BAG FOR EACH CUBIC YARD OF CONCRETE.

R. SLUMP - ACI (211.1), EXCEPT THAT SLABS-ON-GRADE AND THIN-FRAMED SLABS SHALL HAVE A MAXIMUM SLUMP OF 4". SHOULD EXTRA WATER BE REQUIRED BEFORE DEPOSITING CONCRETE, AND WATER/CEMENT RATIO OF ACCEPTED MIX DESIGN HAS NOT BEEN EXCEEDED, GENERAL CONTRACTOR'S SUPERINTENDENT SHALL HAVE SOLE AUTHORITY TO AUTHORIZE ADDITION OF WATER. ANY ADDITIONAL WATER ADDED TO MIX AFTER LEAVING BATCH PLANT SHALL BE INDICATED ON THE TRUCK TICKET AND SIGNED BY PERSON RESPONSIBLE. SUBMIT COPY OF TRUCK TICKET FOR REVIEW.

S. AIR ENTRAIN EXTERIOR EXPOSED CONCRETE 5% +/- 1%.

T. NO CALCIUM CHLORIDE WILL BE PERMITTED IN CONCRETE.

U. ENGAGE THE SERVICES OF A TESTING AGENCY APPROVED BY THE ARCHITECT TO PERFORM TESTS OF CONCRETE. TAKE A MINIMUM OF 5 CYLINDERS FOR EACH CLASS OF CONCRETE POURED IN ANY ONE DAY. PERFORM 1 SLUMP TEST PER TRUCK LOAD OF CONCRETE.

V. PROVIDE TWO COMPRESSION TESTS AT 7 DAYS, TWO AT 28 DAYS, AND RETAIN ONE TEST FOR ADDITIONAL TESTING AS NEEDED. COMPRESSIVE STRENGTH OF CONCRETE AT 7 DAYS TO ACHIEVE AT LEAST 65% OF MINIMUM DESIGN STRENGTH.

W. ANCHORS AND FASTENERS SHALL HAVE CAPACITIES SHOWN ON DRAWINGS.

X. SUBMIT CAPACITIES OF ANCHORS AND POWER ACTUATE FASTENERS FOR REVIEW PRIOR TO USE.

4.1 MASONRY

A. UNLESS GOVERNED BY BUILDING CODE OR LOCAL AMENDMENTS: MANUFACTURE AND INSTALL MASONRY IN ACCORDANCE WITH (ACI 530/ASCE 5/TMS 402),(ACI 530.1/ASCE 6/TMS 602). WHEN THERE IS A CONFLICT, THE MOST STRINGENT IS TO APPLY.

B. BRICK: 3,000 PSI COMPRESSIVE STRENGTH - ASTM C-216, BLOCK: CONCRETE MASONRY UNITS: 1,900 PSI COMPRESSIVE STRENGTH (AVERAGE OF THREE UNITS). ASTM C-90 WITH MINIMUM DENSITY OF 125 LBS. PER CU. FT. FOR NORMAL WEIGHT AND 100 LBS. PER CU. FT. FOR LIGHT WEIGHT UNITS.

C. DESIGNED f'm: 1,500 PSI. AT 28 DAYS.

D. BLOCK USED IN EXTERIOR WALLS, INTERIOR BEARING WALLS, AND WALLS WITH VERTICAL STEEL REINFORCING SHALL BE MANUFACTURED AND LAID SUCH THAT WEBS ARE IN COMPLETE ALIGNMENT.

E. MORTAR: ASTM C-270, TYPE S. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS TO BE 1,800 PSI.

F. GROUT FOR WALL FILL: ASTM C-476, 3,000 PSI MINIMUM AT 28 DAYS WITH 65% OF STRENGTH AT 7 DAYS. USE FINE AGGREGATE SIZE #1 IN ACCORDANCE WITH ASTM C-404. MIX TO A SLUMP OF 8 TO 11 INCHES UTILIZING WATER REDUCING ADMIXTURES. FLY ASH AND BLAST-FURNACE SLAG (UP TO 25%) MAY BE USED. HOWEVER, FLY ASH AND BLAST-FURNACE SLAG CAN PRODUCE SLOWER INITIAL STRENGTH GAIN, WHICH NEEDS TO BE CONSIDERED IN COLD WEATHER.

G. GROUT FOR BOLT EMBEDS AND UNDER BEAM OR BASE PLATES: ASTM C-1107, 5,000 PSI, NON-SHRINK.

H. REINFORCING: ASTM A-615, GRADE 60.

I. SINGLE WYTHE 6" THICK OR MORE CONSTRUCTED WITH BRICK, BLOCK, OR ANY COMBINATION THEREOF (EXCEPT 4" VENEERS SEPARATED BY AIR SPACE) SHALL HAVE GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCING AT 16" O/C MAXIMUM WITH PREFABRICATED CORNER AND "T" PIECES UNLESS NOTED. PARAPET WALLS SHALL HAVE HORIZONTAL JOINT REINFORCING AT 8" O/C. LAP SPLICES 6" MIN. PROVIDE AN ADDITIONAL ROW ABOVE AND BELOW OPENINGS AND EXTEND 2'-0" BEYOND JAMBS. STOP HORIZONTAL JOINT REINFORCING EACH SIDE OF CONTROL AND EXPANSION JOINTS.

J. HORIZONTAL JOINT REINFORCING SHALL BE IN ACCORDANCE WITH ASTM A-951, SHALL BE MANUFACTURED FROM 9 GAGE (0.148) MIN. COLD DRAWN STEEL WIRE CONFORMING TO ASTM A-82, AND SHALL CONSIST OF TWO DEFORMED LONGITUDINAL SIDE RODS WELDED AT 16" PLUS OR MINUS INTERVALS TO A PERPENDICULAR CROSS ROD FORMING A LADDER DESIGN. CROSS ROD AND SIDE RODS SHALL BE LOCATED IN THE SAME PLANE AS THE LONGITUDINAL RODS. OUT-TO-OUT SPACING OF SIDE RODS SHALL BE APPROXIMATELY 2" LESS THAN THE NOMINAL WALL THICKNESS.

K. JOINT REINFORCEMENT IN INTERIOR WALLS TO BE MILL GALVANIZED IN ACCORDANCE WITH ASTM A-641, CLASS I (0.35 OZ./SQ. FT.).

L. JOINT REINFORCEMENT IN EXTERIOR WALLS TO BE HOT DIPPED GALVANIZED, AFTER FABRICATION, IN ACCORDANCE WITH ASTM A-153, CLASS B2 (1.80 OZ./SQ. FT.).

M. FILL CELLS OF BLOCK SOLID WITH MORTAR IN COURSE DIRECTLY BELOW CHANGES IN THICKNESS AND BOND.

N. WALLS NOTED AS FILLED SOLID AND CELLS CONTAINING VERTICAL REINFORCING SHALL HAVE CORES OF BLOCK FILLED WITH GROUT IN SIX COURSE MAXIMUM LIFTS.

O. PROVIDE CONTROL JOINTS AT 20' MAXIMUM.

P. LAP SPLICES IN REINFORCING 48 BAR DIAMETER MINIMUM. UNLESS NOTED OTHERWISE, VERTICAL REINFORCING TO BE FULL HEIGHT OF WALL AND DOWELED INTO FOOTINGS.

Q. SHORE REINFORCED WALLS UNTIL CONCRETE SLABS ARE POURED AND CURED.

R. (SEE MASONRY INSPECTION NOTES 4.2).

S. SUBMIT MATERIAL CERTIFICATION FOR:

1. BRICK UNITS
2. BLOCK UNITS
3. MORTAR
4. GROUT
5. HORIZONTAL JOINT REINFORCING

4.2 MASONRY INSPECTIONS

A. ENGAGE THE SERVICES OF A QUALIFIED INDEPENDENT TESTING AND INSPECTION AGENCY TO INSPECT MASONRY MATERIALS AND CONSTRUCTION DURING ERECTION.

B. LEVEL OF QUALITY ASSURANCE, PER BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402),(ACI 530.1/ASCE 6/TMS 602), SHALL BE:

TABLE 1.14.1 - LEVEL 1

MINIMUM TESTS AND SUBMITTALS

CERTIFICATES FOR MATERIALS USED IN MASONRY CONSTRUCTION INDICATING COMPLIANCE WITH CONTRACT DOCUMENTS.

MINIMUM INSPECTION

VERIFY COMPLIANCE WITH APPROVED SUBMITTALS.

4.4 STEEL & PRECAST LINTEL SCHEDULE

A. PROVIDE AND INSTALL LINTELS FOR OPENINGS IN MASONRY WALLS (NOT TO BE LIMITED TO OPENINGS SHOWN ON STRUCTURAL PLANS). UTILIZE LINTEL SIZES AS INDICATED ON THE SCHEDULE BELOW, UNLESS NOTED OTHERWISE ON PLAN. (COORDINATE OPENINGS FOR MECHANICAL TRADES, ARCHITECTURAL OPENINGS IN NONBEARING WALLS, ETC.)

B. WELD MULTIPLE ANGLE LINTELS AT ENDS AND 1/3 POINTS OF SPAN.

C. SHORE LINTELS TO PREVENT ROTATION DURING CONSTRUCTION.

D. LINTELS TO HAVE MINIMUM 8" BEARING ON SOLID MASONRY FOR A MINIMUM 16" DEEP EACH END, UNLESS NOTED OTHERWISE.

MARK	MATERIALS	REMARKS
L-1	1-L4x3½x5/16 LLV FOR EACH 4" WALL THICKNESS FOR OPENINGS UP TO 6'-0"	FOR CAVITY WALLS, REPLACE 1-L4x3½x5/16 LLV WITH 1-L5x5x3/8
L-2	1-L6x3½x5/16 LLV FOR EACH 4" WALL THICKNESS FOR OPENINGS UP TO 6'-1" TO 10'-0"	FOR CAVITY WALLS, REPLACE 1-L6x3½x5/16 LLV WITH 1-L5x5x3/8
P-1	1-4x8 PRECAST MASONRY LINTEL EACH 4" WALL THICKNESS OR 1-6x8 EACH 6" WALL THICKNESS WITH 1-#4 BOTTOM BAR	FOR OPENINGS UP TO 2'-8"
P-2	1-4X8 PRECAST MASONRY LINTEL EACH 4" WALL THICKNESS OR 1-6x8 EACH 6" WALL THICKNESS WITH 1-#3 TOP AND 1-#4 BOTTOM BAR	FOR OPENINGS UP TO 3'-0" TO 6'-0"
P-3	1-4X8 PRECAST MASONRY LINTEL EACH 4" WALL THICKNESS OR 1-6x8 EACH 6" WALL THICKNESS WITH 1-#3 TOP AND 1-#5 BOTTOM BAR	FOR OPENINGS UP TO 6'-1" TO 10'-0"

5.1 STRUCTURAL STEEL

A. UNLESS GOVERNED BY BUILDING CODE OR LOCAL AMENDMENTS: FABRICATE AND ERECT STRUCTURAL STEEL IN ACCORDANCE WITH AISC MANUAL OF STEEL CONSTRUCTION, FOURTEENTH EDITION, AND OSHA STEEL ERECTION STANDARDS UNLESS NOTED ON DRAWINGS OR SPECIFICATIONS. WHEN THERE IS A CONFLICT, THE MOST STRINGENT IS TO APPLY.

B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW PRIOR TO FABRICATION. REPRINTS OF CONTRACT DOCUMENTS ARE NOT ACCEPTABLE.

C. STEEL - ASTM A-36 FOR ANGLES, CHANNELS, AND MISCELLANEOUS SHAPES.
- ASTM A-992 (50 KSI) FOR WF SHAPES.

D. STRUCTURAL TUBES (RECTANGULAR AND ROUND) - ASTM A-500, GRADE B.

E. STRUCTURAL PIPES - ASTM A-501, OR ASTM A-53, TYPE E, GRADE B.

F. SUPPLY STEEL LINTELS REQUIRED FOR WALL SUPPORT. LINTELS WILL BE INSTALLED UNDER MASONRY DIVISION.

G. COLUMN BASE ANCHOR RODS - ASTM F-1554, GRADE 36

H. HOOKED, HEADED, OR THREADED ANCHOR RODS - ASTM A-307, GRADE A.

I. NUTS: A-563, HEAVY, WASHERS: F-436-1 IN ACCORDANCE WITH ASTM F-3125.

J. PLATE WASHERS - ASTM A-36.

K. HIGH STRENGTH BOLTS FOR CONNECTIONS - A-325 IN ACCORDANCE WITH ASTM-F3125.

L. GROUT FOR UNDER BASE AND BEARING PLATES: ASTM C-1107, 5,000 PSI.

M. WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS).

N. COORDINATE WELDING ELECTRODES, MACHINES, ETC., WITH TYPE OF STEEL BEING WELDED.

O. GUY AND BRACE STEEL FRAME TO MAINTAIN STABILITY OF BUILDING.

P. PROVIDE 1/2" DIA. BOLT AND WASHER AND 1 1/4" ROUND HOLE FOR CLIP AND CONTINUOUS ANGLES ATTACHED TO STEEL BEAMS OR COLUMNS.

Q. ENDS OF BEAMS BEARING ON TOP OF COLUMNS TO HAVE 1/4" STIFFENER PLATES EACH SIDE (SEE DETAILS).

R. PROVIDE 1/2" DIA. ERECTION BOLTS FOR CLIP AND CONTINUOUS ANGLES.

S. AFTER ADJUSTMENT AND FINISHED ALIGNMENT, PROVIDE 2" LENGTH OF 3/16" FILLET WELD AT EACH BOLT LOCATION, UNLESS OTHERWISE NOTED.

T. COAT STEEL EXPOSED AFTER BUILDING IS COMPLETED WITH ONE SHOP COAT OF AN APPROVED RUST INHIBITIVE PRIMER. PAINT STEEL EXPOSED TO WEATHER AFTER BUILDING IS COMPLETED WITH TWO ADDITIONAL COATS OF RUST INHIBITIVE PAINT AFTER ERECTION. PAINT SHALL BE COMPATIBLE WITH SHOP COAT.

U. ENGAGE THE SERVICES OF A QUALIFIED INSPECTION AND TESTING AGENCY TO INSPECT STRUCTURAL STEEL PLACEMENT AND CONNECTIONS.

V. ANCHORS AND FASTENERS SHALL HAVE CAPACITIES SHOWN ON DRAWINGS.

W. SUBMIT CAPACITIES OF ALL ANCHORS AND POWER ACTUATED FASTENERS FOR REVIEW PRIOR TO USE.

6.1 WOOD FRAMING

A. WOOD FRAMING AND FASTENERS - COMPLY WITH THE RECOMMENDATIONS OF THE AMERICAN WOOD COUNCIL (AWC).

B. PLYWOOD: APA - THE ENGINEERED WOOD ASSOCIATION GRADE TRADE MARKED MEETING THE REQUIREMENTS OF THE LATEST EDITION, PER CODE, OF U.S. PRODUCT STANDARD PS-1.

C. PANEL THICKNESS AND IDENTIFICATION INDEX SHALL BE AT LEAST EQUAL TO THAT SHOWN ON THE DRAWINGS. INSTALL AND CONNECT IN ACCORDANCE WITH THE RECOMMENDATIONS OF APA - THE ENGINEERED WOOD ASSOCIATION.

D. ATTACH PLYWOOD FLOOR SHEATHING USING GLUE AND NAILS.

E. NAILS AS OUTLINED IN GENERAL NOTES AND DRAWINGS ARE FOR COMMON NAIL TYPE AND SIZES AND ARE AS FOLLOWS:

8D (0.134 DIA.) 2.5 INCHES 10D (0.148) 3 INCHES

12D (0.148) 3-1/4 INCHES 16D (0.165) 3-1/2 INCHES.

F. UNLESS OTHERWISE NOTED ON DRAWINGS, ATTACH PLYWOOD TO FRAMING WITH MIN. 8d NAILS AT 6" O/C ON EDGES OF SHEET AND 12" O/C ON EACH INTERIOR SUPPORT.

G. STRUCTURAL LUMBER (2"-4" THICK, EXCEPT NONBEARING STUDS AND PLATES) - SPRUCE-PINE-FIR NO. 1/NO. 2 OR BETTER WITH 19% MAXIMUM MOISTURE CONTENT IN USE AND SHALL HAVE THE FOLLOWING MINIMUM UNFACTORED PROPERTIES:

E = 1,400,000 PSI fe = 425 PSI

fb = 875 PSI ft = 450 PSI

fc (PARALLEL TO GRAIN) = 1,150 PSI fv = 135 PSI

H. PRESSURE TREATED LUMBER - SOUTHERN PINE #2 WITH THE FOLLOWING RETENTION LEVELS: FOR ABOVE GROUND USE - 0.4 PCF FOR PROCESSES USING ACQ AND CBA-A, 0.2 FOR PROCESS USING CA-B.

I. INSTALL DOUBLE JOISTS UNDER PARTITIONS PARALLEL TO FRAMING.

J. ATTACH MULTIPLE MEMBERS TOGETHER AS FOLLOWS:

2-2X: 2 ROWS 16d NAILS @ 16" O/C

TOP LOADED WITH 3-2X: 2 ROWS 16d NAILS @ 16" O/C

SIDE LOADED 3-2X6 AND 3-2X8: 2 ROWS- 16d NAILS @ 12" O/C

SIDE LOADED 3-2X10 AND 3-2X12: 3 ROWS- 16d NAILS @ 12" O/C

4-2X12: 2 ROWS - 1/2" BOLTS @ 24" O/C

K. PROVIDE FLUSH FRAMED JOISTS AND HEADERS WITH A PREFABRICATED GALVANIZED (SADDLE TYPE) METAL CONNECTOR UNLESS NOTED OTHERWISE. HANGERS SHALL BE 18 GAGE MINIMUM THICK AND HAVE CAPACITY TO RESIST 400# MINIMUM FOR EACH 2X MEMBER IN SHEAR FOR SPECIES OF WOOD USED.

L. BRIDGING FOR WOOD JOISTS (ROOF AND FLOOR) TO BE DIAGONAL WOOD SPACED AS FOLLOWS:

SPANS OVER 8'-0" - ONE ROW

SPANS OVER 15'-0" - TWO ROWS

M. PROVIDE STUD BEARING WALLS WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE PLUS A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL, UNLESS NOTED OTHERWISE.

N. EXPOSED STRUCTURAL FRAMING MEMBERS IN ABOVE GROUND USE AND WOOD PLATES IN CONTACT WITH SLABS ON GRADE TO BE PRESSURE TREATED LUMBER. TREAT WOOD WITH A WATERBORNE PRESERVATIVE MATERIAL WITH ONE OF THE FOLLOWING: ALKALINE COPPER QUAT (ACQ) TYPES B OR D, OR COPPER AZOLE (CBA-A, CA-B).

O. STEEL MATERIALS IN CONTACT WITH PRESSURE TREATED LUMBER TO BE HOT DIPPED GALVANIZED. MINIMUM GALVANIZED COATING FOR PREFABRICATED METAL CONNECTORS TO BE G-185 PER ASTM A-653. CONNECTORS HOT DIPPED GALVANIZED AFTER FABRICATION TO BE IN ACCORDANCE WITH ASTM A-123. FASTENERS HOT DIPPED GALVANIZED AFTER FABRICATION TO BE IN ACCORDANCE WITH ASTM A-153. MECHANICALLY GALVANIZED FASTENERS TO BE IN ACCORDANCE WITH ASTM B-695, CLASS 55.

P. PROVIDE SOLID (CONTINUOUS) BRIDGING AT BEARING POINTS.

Q. CONNECT ROOF JOISTS AT EACH BEARING POINT WITH PREFABRICATED GALVANIZED METAL CONNECTORS UNLESS OTHERWISE NOTED. EACH CONNECTOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL HAVE THE MINIMUM UPLIFT AND SHEAR CAPACITY NOT LESS THAN 350# UPLIFT AND 130# SHEAR (EQUIVALENT TO 2 - H2.5A SIMPSON, INC. ANCHORS) FOR THE SPECIES OF WOOD USED.

R. INSTALL DOUBLE STUD EACH END OF WOOD BEAMS, UNLESS NOTED OTHERWISE.

S. ATTACH WOOD BLOCKING, NAILERS, ETC., TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS, UNLESS NOTED OTHERWISE. SPACE FASTENERS AT 2'-0" MAXIMUM O/C, STAGGERED. MINIMUM CAPACITY OF EACH FASTENER SHALL BE 100 POUNDS IN SHEAR AND PULLOUT, UNLESS NOTED OTHERWISE.

6.1A WOOD LINTEL SCHEDULE

A. FOR STUD WALL OPENINGS NOT SPECIFICALLY SHOWN IN PLAN (OPENINGS FOR MECHANICAL TRADES, OPENINGS IN BEARING AND NON BEARING WALLS, ETC.) PROVIDE WL-1, WL-2, OR WL-3 AS DIRECTED BY THE ARCHITECT.

B. PROVIDE ONE BEARING STUD AND ONE FULL HEIGHT JAMB STUD EACH END OF WOOD LINTELS AND HEADERS, UNLESS NOTED OTHERWISE. FOR OPENINGS OVER 7'-0", PROVIDE TWO BEARING STUDS AND ONE FULL HEIGHT JAMB STUD, UNLESS NOTED OTHERWISE.

C. LOOSE ANGLE LINTELS SUPPORTING BRICK VENEER AND SPANNING 4'-0" OR MORE SHALL HAVE PRE-PUNCHED HOLES SPACED AT 2'-0" MAXIMUM O/C IN VERTICAL LEG OF ANGLE FOR 10d NAIL ATTACHMENT TO WOOD LINTEL.

MARK	MATERIALS	REMARKS
WL-1	2 - 2 X 8 FOR 4" STUD WALL 3 - 2 X 6 FOR 6" STUD WALL	FOR OPNGS. UP TO 4'-6"
WL-2	2 - 2 X 10 FOR 4" STUD WALL 3 - 2 X 8 FOR 6" STUD WALL	FOR OPNGS. UP TO 5'-6"
WL-3	2 - 2 X 12 FOR 4" STUD WALL 3 - 2 X 10 FOR 6" STUD WALL	FOR OPNGS. UP TO 7'-0"
WL-4	3 - 2 X 12 FOR 6" STUD WALL	FOR OPNGS. UP TO 9'-8"

6.2 HEAVY TIMBER DECKING

A. WOOD DECK SHALL BE NOMINAL 2x6 TONGUE AND GROOVE DECKING.

B. DECK LUMBER SHALL BE DOUG FIR #1 HAVING A MINIMUM FB = 1000 PSI, MINIMUM E = 1700 KSI AND A MAXIMUM MOISTURE CONTENT OF 15% IN USE.

C. DECK SHALL BE LAID (THREE SPAN CONTINUOUS, ETC.)

D. DECK GRADING, INSTALLATION, AND CONNECTIONS SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) 112.

E. CUT DECK ENDS SQUARE AND FIT TIGHT TOGETHER.

F. PROTECT DECKING FROM DAMAGE AND FROM THE ELEMENTS UNTIL THE BUILDING IS COMPLETE.

G. ATTACH DECK TO SUPPORTS WITH 2-16d NAILS EACH NOMINAL 2X AND 2-20d NAILS EACH NOMINAL 3X.

6.3 PREFABRICATED WOOD TRUSSES

A. DESIGN AND INSTALL TRUSSES, BRACING, AND CONNECTORS FOR TRUSSES IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODE REQUIREMENTS AS WELL AS THE STRUCTURAL BUILDING COMPONENTS ASSOCIATION (SBCA) AND BY THE TRUSS PLATE INSTITUTE (TPI), UNLESS NOTED OTHERWISE ON THE DRAWINGS.

B. DESIGN TRUSSES TO RESIST LOADS SHOWN ON THE DRAWINGS. ONLY THE OUTLINES OF THE TRUSSES HAVE BEEN SHOWN. WEB CONFIGURATION SHALL BE THE RESPONSIBILITY OF THE MANUFACTURER.

C. TRUSSES TO BE DESIGNED FOR DEFLECTIONS AS FOLLOWS:

ROOF: LIVE LOAD L/240, L/360 WITH PLASTER OR STUCCO CEILINGS.
TOTAL LOAD - L/240

D. PROVIDE TRUSSES WITH CAMBER IN ACCORDANCE WITH "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES," LATEST EDITION PER CODE, TPI-85P AND PCT-85.

E. INSTALL BRACING OF WOOD TRUSSES IN ACCORDANCE WITH MANUFACTURERS DESIGN, SBCA, AND TPI, UNLESS NOTED OTHERWISE. THE MINIMUM BRACING ELEMENTS NOTED BELOW ARE TO REMAIN IN PLACE IN THE FINISHED STRUCTURE:

1. CONTINUOUS LATERAL BRACING REQUIRED BY TRUSS DESIGN INCLUDING DIAGONAL BRACING AT ENDS OF THE BUILDING AND AT 16'-0" MAXIMUM INTERVALS IN THE LENGTH OF THE BUILDING.
2. WEB MEMBER PLANE BRACING.
3. BOTTOM CHORD PLANE BRACING.

F. TRUSS SUPPLIER SHALL TAKE SPECIAL CARE TO DESIGN AND SUPPLY LATERAL BRACING FOR COMPRESSION MEMBERS OF TRUSSES SHIPPED IN MULTIPLE PIECES AND FIELD CONNECTED.

G. LUMBER SHALL CONFORM TO THE RECOMMENDATIONS OF THE "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION," LATEST EDITION PER CODE, AS PUBLISHED BY THE AMERICAN WOOD COUNCIL. EACH PIECE SHALL BE GRADE MARKED.

H. SUBMIT WRITTEN COPIES OF LOAD TEST DATA FOR ALLOWABLE LOADS ON CONNECTORS TO BE USED WITH FIRST SUBMISSION OF SHOP DRAWINGS.

I. TRUSS MANUFACTURER SHALL COORDINATE PLATE MATERIAL WITH ANY SPECIFIED TREATMENT PROCESS.

J. CONNECT ROOF TRUSSES AT EACH BEARING POINT WITH PREFABRICATED GALVANIZED METAL CONNECTORS AT EACH TRUSS, UNLESS OTHERWISE NOTED. EACH CONNECTOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL HAVE THE UPLIFT AND SHEAR CAPACITY AS REQUIRED BY THE TRUSS MANUFACTURER, BUT SHALL NOT BE LESS THAN 350# UPLIFT AND 130# SHEAR (EQUIVALENT TO 2 - H2.5A SIMPSON ANCHORS) FOR THE SPECIES OF WOOD USED.

K. TRUSS-TO-TRUSS AND TRUSS-TO-HEADER CONNECTIONS SHALL BE DESIGNED BY TRUSS MANUFACTURER.

L. SUBMIT TO THE ARCHITECT, PRIOR TO FABRICATION, COMPLETE SHOP DRAWINGS OF TRUSSES. SHOP DRAWINGS SHALL INCLUDE MEMBER STRESSES, MEMBER GRADES AND SIZES, SIZE AND LOCATION OF CONNECTOR PLATES, SIZE AND LOCATION OF PERMANENT TRUSS BRIDGING AND MEMBER BRACING, DATA RELATIVE TO PREFABRICATED HANGERS FOR TRUSS-TO-TRUSS AND TRUSS-TO-HEADER CONNECTIONS, DESIGN COMPUTATIONS, AND ERECTION PLANS. REPRINTS OF CONTRACT DRAWINGS ARE NOT ACCEPTABLE. DESIGN COMPUTATIONS AND SHOP DRAWINGS SHALL BE SIGNED BY A PROFESSIONAL ENGINEER (REGISTERED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED). ONLY SHOP DRAWINGS BEARING THE STAMP OF THE ARCHITECT SHALL BE USED FOR FABRICATION AND ERECTION.

M. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS, AND ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE GUYS, BRACES, STRUTS, ETC., TO ACCOMMODATE LIVE, DEAD, AND WIND LOADS UNTIL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE. PERMANENT BRIDGING REQUIRED BY TRUSS DESIGN SHALL BE SIZED AND SUPPLIED BY TRUSS MANUFACTURER. SPECIAL CARE SHALL BE TAKEN TO SIZE AND SUPPLY LATERAL BRACING REQUIRED FOR COMPRESSION MEMBERS OF TRUSSES SHIPPED IN TWO PIECES AND FIELD CONNECTED.

N. BRIDGING, MEMBER BRACING, ETC., SHALL BE BY MANUFACTURERS DESIGN AND SHALL BE INSTALLED BY CONTRACTOR IN STRICT ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.

O. ENGAGE THE SERVICES OF AN INDEPENDENT INSPECTION AGENCY TO VISUALLY INSPECT TRUSSES BEFORE AND AFTER ERECTION. INSPECTION AGENCY SHALL CERTIFY THAT THE TRUSSES, CONNECTIONS, AND BRACING HAVE BEEN INSTALLED IN COMPLIANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

6.4 LAMINATED VENEER LUMBER

A. LVL SHALL BE OF WIDTH, DEPTH, AND OF MULTIPLES AS SHOWN ON PLANS.

B. EACH LVL BEAM SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

E = 1,900,000 PSI

fb = 2,600 PSI

fc (PARALLEL TO GRAIN) = 2,500 PSI

fe = 750 PSI

ft = 1,550 PSI

fv = 285 PSI

C. WRAP EACH LVL BEAM WITH A WATERPROOF COVERING UNTIL AREA WHERE BEAM IS PLACED IS PROTECTED FROM THE ELEMENTS.

D. ATTACH MULTIPLE MEMBERS TOGETHER AS FOLLOWS:

TOP & SIDE LOADED: 2- LVL UP TO 12" DEEP- 2 ROWS 16d NAILS @ 12" OC
2- LVL 14" TO 18" DEEP- 3 ROWS 16d NAILS @ 12" OC

TOP LOADED: 3- LVL MEMBERS- 2 ROWS 1/2" BOLTS @ 24" O/C

SIDE LOADED: 3- LVL MEMBERS- 2 ROWS 1/2" BOLTS @ 16" O/C

TOP LOADED OR LOADED FROM BOTH SIDES: 4 LVL-2 ROWS 1/2" BOLTS @ 24" OC

E. HOLES, NOTCHES, ETC., SHALL BE APPROVED BY THE LVL MANUFACTURER.

6.8 PERFORMANCE RATED WOOD "I" JOISTS

A. THE WOOD "I" JOISTS ARE TO BE DESIGNED AND MANUFACTURED TO FIT DIMENSIONS SHOWN ON THE DRAWINGS. THE WOOD "I" JOISTS ARE TO BE DESIGNED TO SUPPORT THE LOADINGS AS SHOWN ON THE DRAWINGS AND A MINIMUM DEFLECTION CRITERIA AS FOLLOWS:

ROOFS: TOTAL LOAD DEFLECTION OF L/240.

FLOORS: LIVE LOAD DEFLECTION OF L/480.

B. USE MATERIALS, METHOD OF MANUFACTURE, AND INSTALLATION PROCEDURES DESCRIBED IN THE MANUFACTURER'S CATALOG, EXCEPT AS MODIFIED IN THESE SPECIFICATIONS OR ON THE DRAWINGS.

C. USE BRIDGING, MEMBER BRACING, END BLOCKING, ETC., AS REQUIRED BY MANUFACTURER'S DESIGN. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

D. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS, AND ROOF ACTING TOGETHER. PROVIDE GUYS, BRACES, STRUTS, ETC., TO ACCOMMODATE LIVE, DEAD, AND WIND LOADS UNTIL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE. PERMANENT BRIDGING REQUIRED BY DESIGN SHALL BE SIZED AND SUPPLIED BY JOIST MANUFACTURER.

E. SUBMIT TO ARCHITECT, PRIOR TO FABRICATION, MANUFACTURER'S PRODUCT CATALOG AND COMPLETE SHOP DRAWINGS OF FABRICATED MEMBERS. REPRINTS OF CONTRACT DRAWINGS ARE NOT ACCEPTABLE. SHOP DRAWINGS SHALL INCLUDE SIZE AND LOCATION OF PERMANENT BRIDGING AND ERECTION PLAN. ONLY SHOP DRAWINGS BEARING THE STAMP OF THE ARCHITECT SHALL BE USED FOR FABRICATION AND ERECTION.

F. SUBMIT WRITTEN CERTIFICATION FROM MANUFACTURER THAT MEMBERS AS FABRICATED AND ERECTED MEET WITH THE REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS BEFORE FINAL PAYMENT.

G. STORE JOISTS FREE FROM THE GROUND IN WATERPROOF ENCLOSURE AND PROTECT FROM WEATHER UNTIL BUILDING IS ENCLOSED AND WATERTIGHT.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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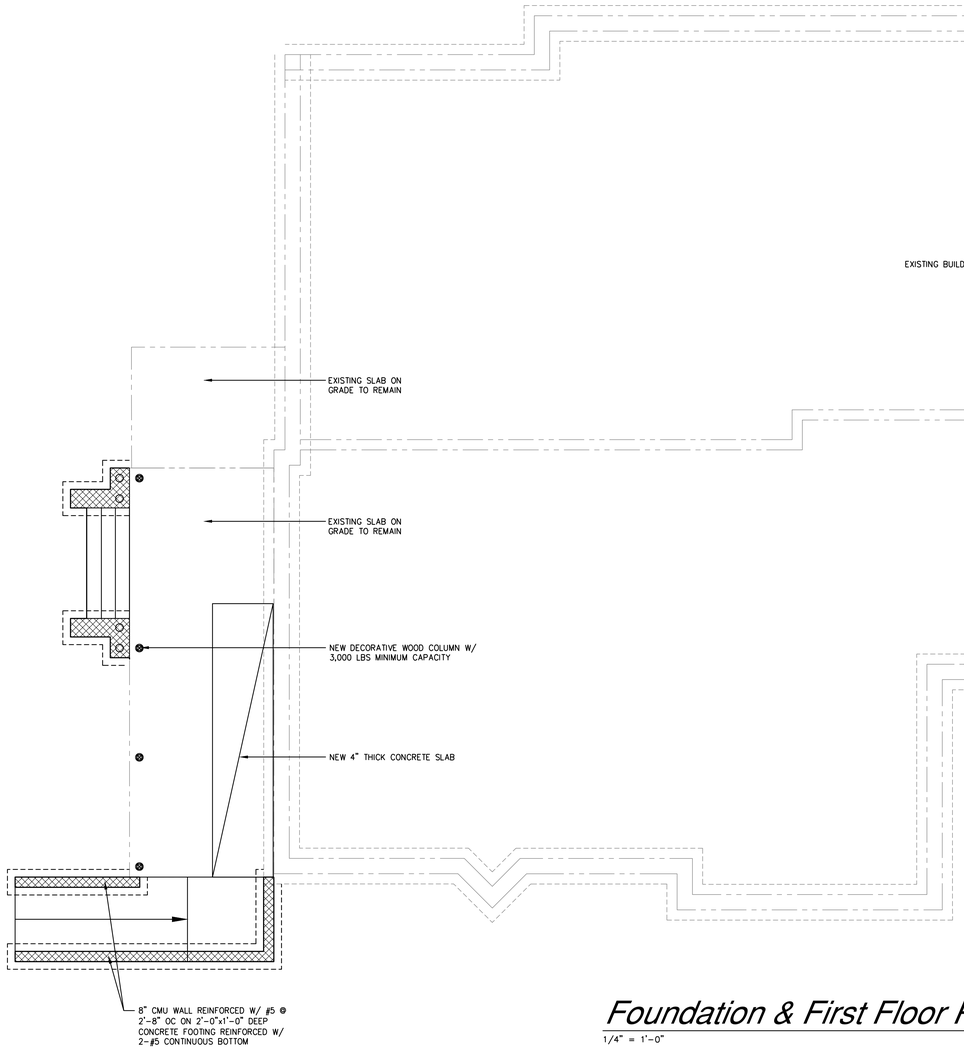
LICENSE NO: 200363
EXPIRATION DATE: MARCH 19, 2023

S001

GENERAL NOTES

15024 R 200320 CD.vwx

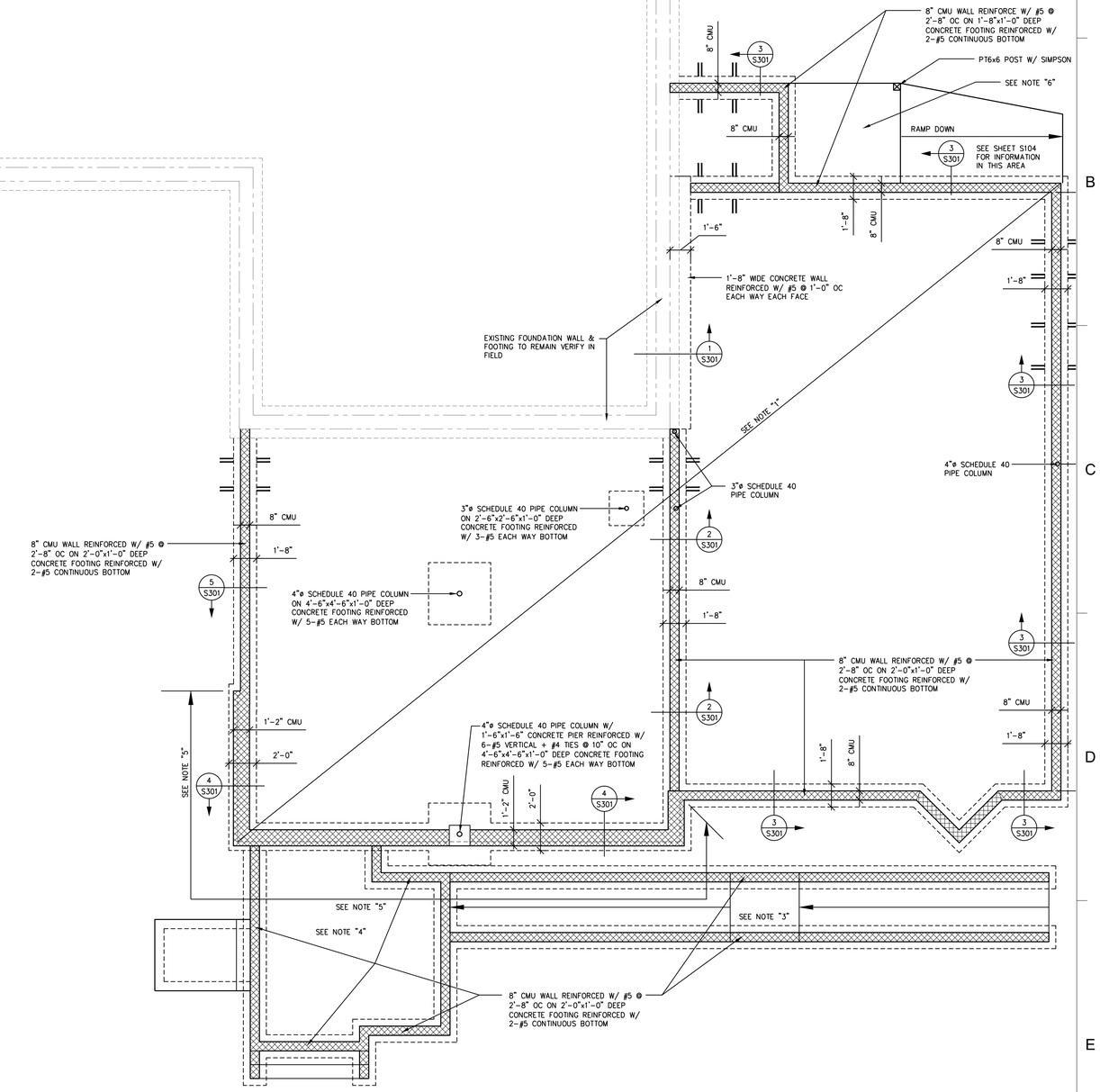
S&A # 22588



Foundation & First Floor Plan

1/4" = 1'-0"

1. PROVIDE NEW 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH OVER 10 MIL VAPOR BARRIER & 4" WASHED STONE SUB-BASE..
2. STEP NEW FOOTINGS AS REQUIRED PER DETAIL "A/S-201". BOTTOM OF NEW FOOTING TO MATCH BOTTOM OF EXISTING FOOTINGS. STEP FOOTING AROUND PIPING AS REQUIRED PER DETAIL COORDINATE WITH MECHANICAL & CIVIL DRAWINGS. FOR ELEVATION TOP OF FOOTING SEE SHEET S104.
3. NEW RAMP TO BE 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH.
4. NEW PORCH SLAB TO BE 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH.
5. EXTENT OF 1'-2" CMU WALL REINFORCED W/ #4 @ 2'-8" OC VERTICAL ON A 2'-0"x1'-0" DEEP CONCRETE FOOTING REINFORCED W/ 2-#5 CONTINUOUS.
6. NEW LANDING AND RAMP TO BE 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH.



No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #15024R

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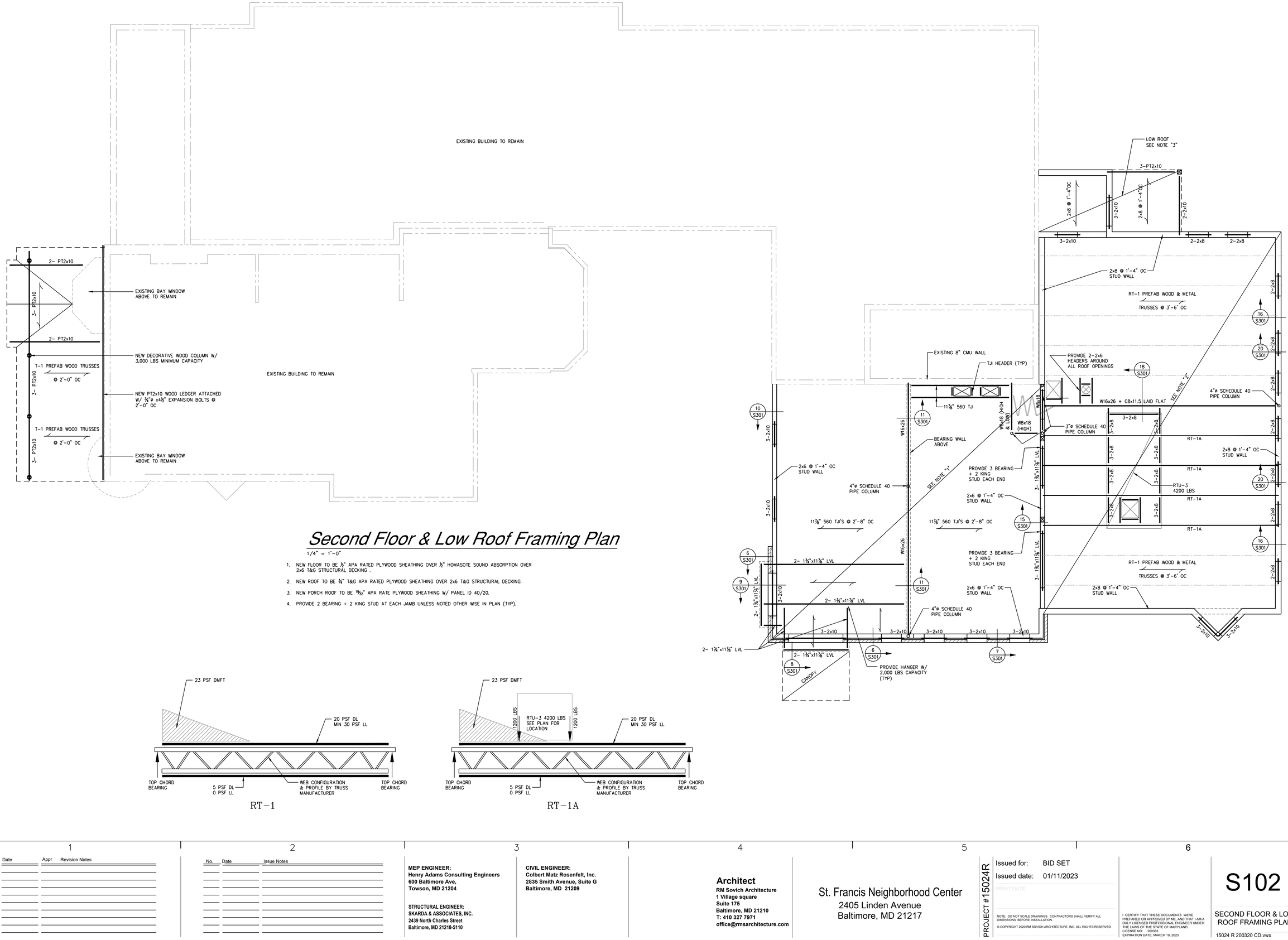
S101

FOUNDATION & FIRST FLOOR PLAN

15024 R 200320 CD.vwx

S&A # 22588



Second Floor & Low Roof Framing Plan

1/4" = 1'-0"

1. NEW FLOOR TO BE ⅝" APA RATED PLYWOOD SHEATHING OVER ⅝" HOMASOTE SOUND ABSORPTION OVER 2x6 T&G STRUCTURAL DECKING .
2. NEW ROOF TO BE ¾" T&G APA RATED PLYWOOD SHEATHING OVER 2x6 T&G STRUCTURAL DECKING.
3. NEW PORCH ROOF TO BE 19/32" APA RATE PLYWOOD SHEATHING W/ PANEL ID 40/20.
4. PROVIDE 2 BEARING + 2 KING STUD AT EACH JAMB UNLESS NOTED OTHER WISE IN PLAN (TYP).

RT-1

RT-1A

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Henry Adams Consulting Engineers
600 Baltimore Ave,
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SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
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Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
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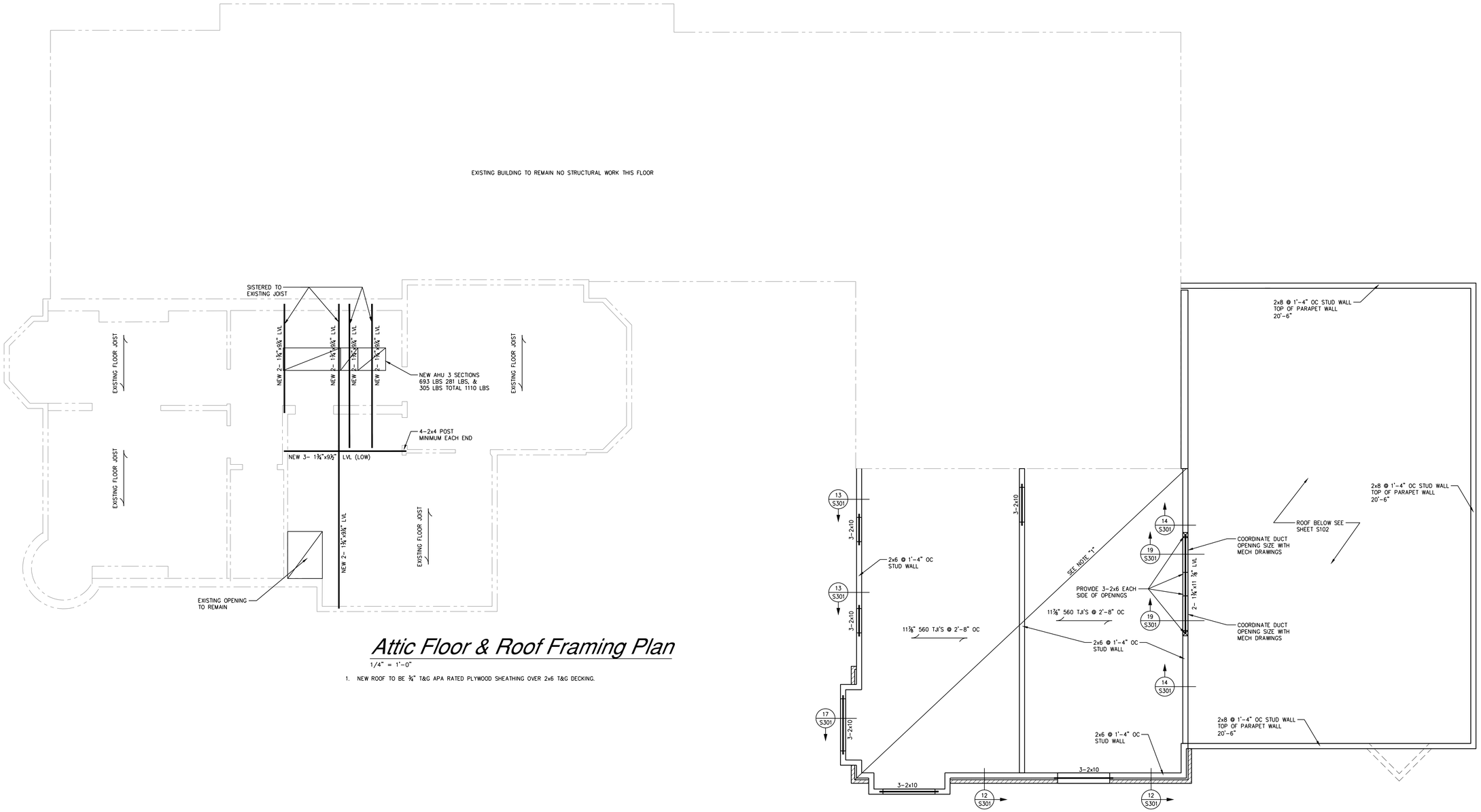
S102

SECOND FLOOR & LOW ROOF FRAMING PLAN

15024 R 200320 CD.vwx

S&A # 22588



Attic Floor & Roof Framing Plan

1/4" = 1'-0"

1. NEW ROOF TO BE ⅜" T&G APA RATED PLYWOOD SHEATHING OVER 2x6 T&G DECKING.

No.	Date	Appr	Revision Notes

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Baltimore, MD 21218-5110

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Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
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S103

ATTIC FLOOR & ROOF FRAMING PLAN

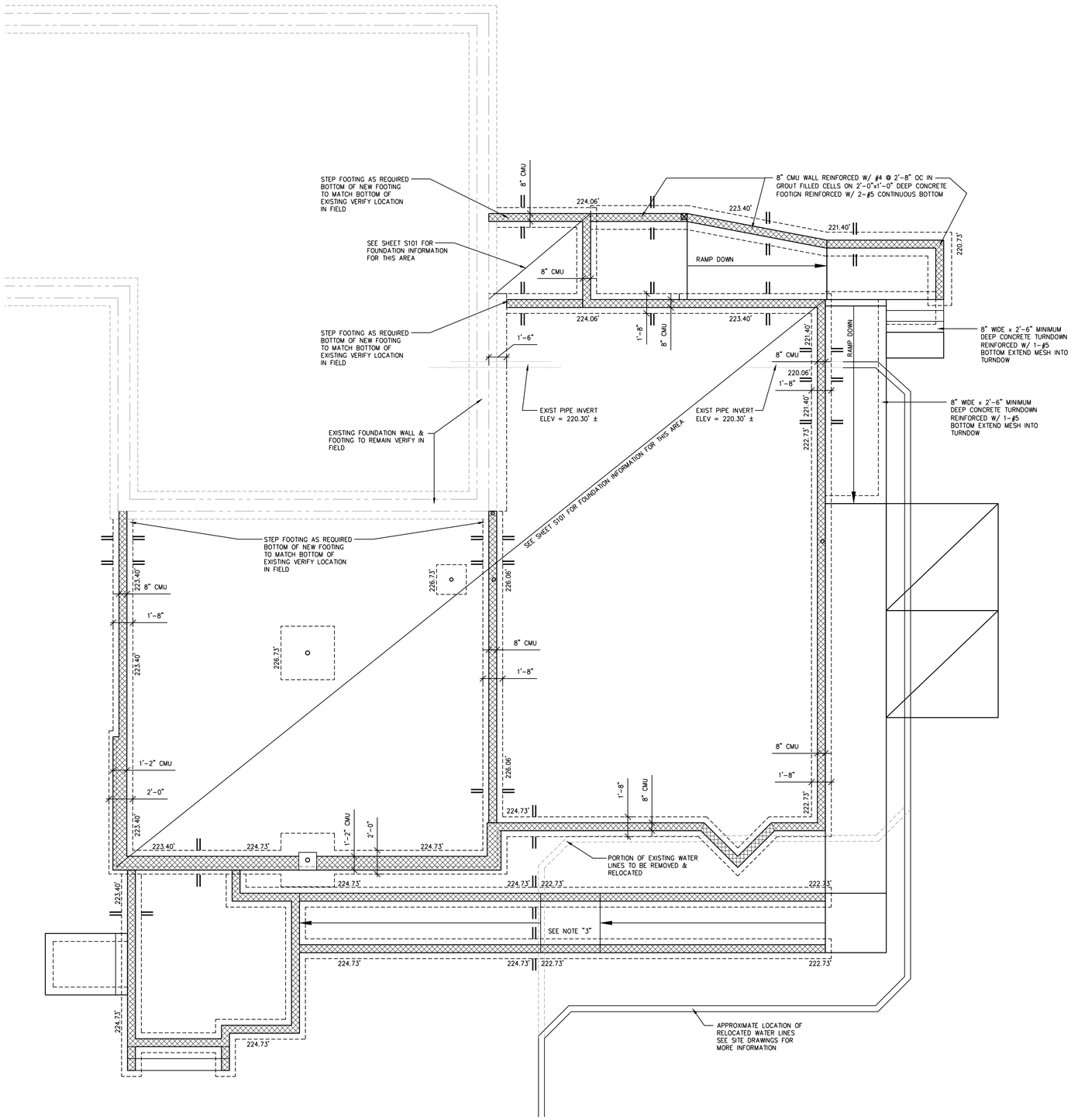
15024 R 200320 CD.vwx

S&A # 22588

Foundation & First Floor Plan

1/4" = 1'-0"

1. FOR INFORMATION NOT SHOWN SEE SHEET S101.
2. STEP NEW FOOTINGS AS REQUIRED PER DETAIL "A/S-201". BOTTOM OF NEW FOOTING TO MATCH BOTTOM OF EXISTING FOOTINGS. STEP FOOTING AROUND PIPING AS REQUIRED PER DETAIL COORDINATE WITH MECHANICAL & CIVIL DRAWINGS.
3. NEW RAMP TO BE 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH.
4. NEW PORCH SLAB TO BE 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH.
5. NEW LANDING AND RAMP TO BE 4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6-W2.0xW2.0 WELDED WIRE MESH W/ 8" WIDE x 2'-6" MINIMUM DEEP CONCRETE TURNDOWN REINFORCED W/ 1-#5 CONTINUOUS BOTTOM EXTEND MESH FROM SLAB TO BOTTOM OF TURNDOWN.



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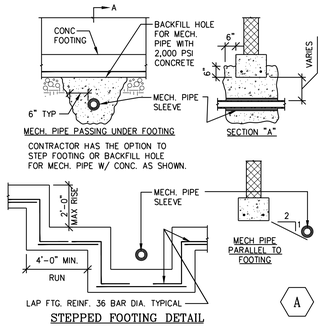
S104

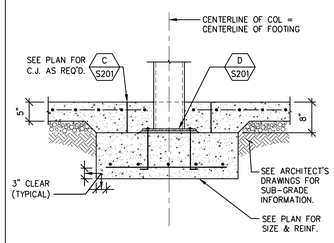
FOUNDATION & FIRST FLOOR ENLARGE PLAN

15024 R 200320 CD.vwx

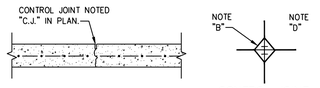
S&A # 22588



STEPPED FOOTING DETAIL (A)



TYP. INTERIOR SPREAD FOOTING (B)



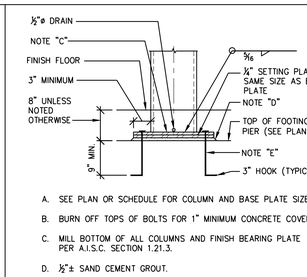
A. JOINTS WHERE POSSIBLE SHALL BE LOCATED BELOW PARTITIONS AND/OR ON CENTER LINE OF COLUMN GRID. PROVIDE DIAMOND SHAPED JOINT AT ALL COLUMNS.

B. SAW CUT JOINTS WHERE NOTED IN PLAN USING SOFT-CUT METHOD. SAW CUT DEPTH SHALL BE ¼ SLAB THICKNESS. SAW CUT JOINT AS SOON AS SLAB WILL SUPPORT WEIGHT OF SAW AND OPERATOR WITHOUT DISTURBING SLAB FINISH.

C. FILL SAW CUT WITH A SELF-LEVELING JOINT SEALANT HAVING A SHORE "A"-SCALE HARDNESS NUMBER OF "80" MINIMUM.

D. PROVIDE ⅜" MIN. THICK PREMOLDED EXPANSION JOINT MATERIAL AND NON SAG SEALANT AROUND CORNERS.

SLAB CONTROL JOINT DETAIL (C)



A. SEE PLAN OR SCHEDULE FOR COLUMN AND BASE PLATE SIZES.

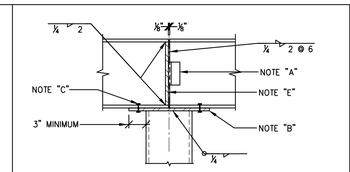
B. BURN OFF TOPS OF BOLTS FOR 1" MINIMUM CONCRETE COVER.

C. MILL BOTTOM OF ALL COLUMNS AND FINISH BEARING PLATE PER A.I.S.C. SECTION 1.21.3.

D. ½"± SAND CEMENT GROUT.

E. 4 -¾"ø ANCHOR BOLTS.

TYP. ROUND OR TUBE COLUMN BASE (D)



A. CONTRACTOR TO FURNISH CLIPS, PLATES, ETC. AS REQUIRED TO KEEP WEBS IN ALIGNMENT.

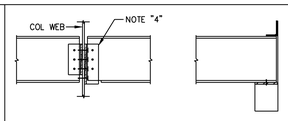
B. ⅜" THICK CAP PLATE; SIZE AS REQUIRED TO RECEIVE BOLTS.

C. 4 -¾"ø A-325 H.S. BOLTS (TWO EACH BEAM)

D. MILL TOP OF COLUMN TO RECEIVE PLATE (TYPICAL).

E. ¼" STIFFENER PLATE IN BEAM (BOTH SIDES, END OF ONE BEAM ONLY)

TWO BEAMS BEARING ON TUBE OR ROUND COLUMN (E)



1. ALL CONNECTIONS SHALL BE BOLTED OR WELDED, AND SHALL BE IN ACCORDANCE WITH TABLES IN CHAPTER'S 9 & 10 IN A.I.S.C. MANUAL 14TH EDITION.

2. CONNECTION SHALL DEVELOP END REACTION FOR SPECIFIED SHAPE, SPAN AND STEEL GRADE AS COMPUTED FROM TABLES INDICATING ALLOWABLE UNIFORM LOADS IN KIPS FOR BEAMS LATERALLY SUPPORTED. A.I.S.C. MANUAL 14TH EDITION UNLESS OTHERWISE NOTED THUS [X] IN PLAN.

3. ALL BOLTS USED FOR FINAL CONNECTIONS SHALL BE MINIMUM A-325 H.S BOLTS.

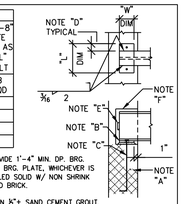
4. FOR DOUBLE CONNECTION ON EACH SIDE OF COLUMN WEB, MAKE ONE ANGLE LONGER AND ADD AN EXTRA BOLT FOR THE BEAM ERECTED FIRST OR PROVIDE A SEAT ANGLE FOR ERECTION TO COMPLY W/OSHA REQUIREMENTS.

TYPICAL BEAM SHEAR CONNECTION (F)

BEARING PLATE SCHEDULE

ALL BEAMS TO BEAR ON 7"x½"x0'-8" UNLESS NOTED OTHERWISE. PLATE MATERIAL IN SCHEDULE IS SHOWN AS "W" DIMENSION x THICKNESS x "L" DIMENSION. "A.B." = ANCHOR BOLT

MARK	MATERIAL	AB REQD



A. IN THE CASE OF A MASONRY, WALL PROVIDE 1'-4" MIN. DP. BRG. COURSE X 2'-0" LG. OR 3 X LENGTH OF BRG. PLATE, WHICHEVER IS LONGER. BRG. COURSE TO BE BLOCK FILLED SOLID W/ NON SHRINK GROUT PER ASTM C 476 OR TO BE SOLID BRICK.

B. BRG. PLATE (SEE PLAN OR SCHEDULE) ON ½"± SAND CEMENT GROUT.

C. 2 -¾"ø A.B. X 1'-4" MIN. EMBEDMENT + HOOK

D. PLATE SHALL BE MIN. SIZE SHOWN IN SCHEDULE AND SHALL EXTEND 2" MIN. PAST BM. FLANGE TO ACCEPT ANCHOR BOLT.

E. SHOP WELD 2"x½"x0'-8" WALL ANCHOR TO BM. WHEN ANCHOR BOLTS ARE NOT REQUIRED.

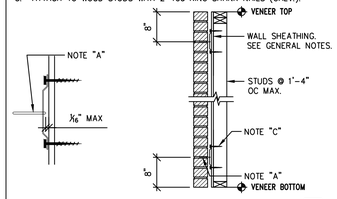
F. FILL BM. POCKETS SOLID W/ BRICK, BLOCK OR NON SHRINK GROUT. WHERE POCKETS ARE EXPOSED TO VIEW, USE MATERIALS TO MATCH PATTERN OF WALL.

TYPICAL BEAM BEARING (PERPENDICULAR) ON WALL (G)

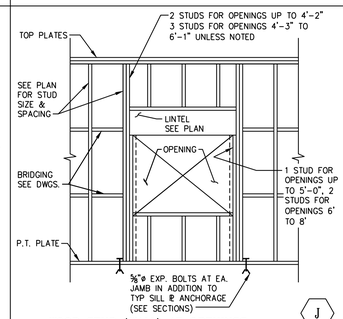
A. ADJUSTABLE TWO-PIECE WALL TIE ANCHORS @ 1'-4" OC VERTICAL @ EACH STUD.

B. PROVIDE ADDITIONAL ANCHORS AROUND OPENINGS LARGER THAN 1'-4" IN EITHER DIMENSION. SPACE ANCHORS AROUND PERIMETER OF OPENING @ A MAXIMUM OF 1'-4" OC. PLACE ANCHORS WITHIN 8" OF OPENINGS.

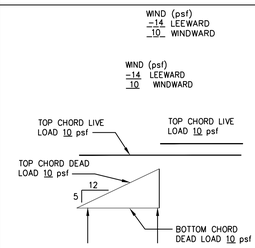
C. ATTACH TO WOOD STUDS WITH 2-10d RING SHANK NAILS (GALV.).



MASONRY VENEER W/ ADJUSTABLE TWO PIECE ANCHORAGE TO WOOD STUDS (H)



WOOD STUD (WALL) AT OPENINGS (J)

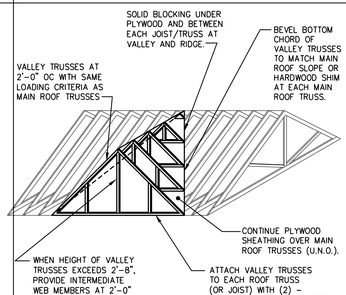


ROOF TRUSS T-1

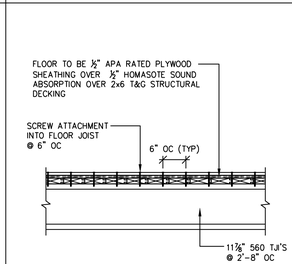
LOADS SHOWN ARE IN POUNDS PER SQUARE FOOT UNLESS NOTED OTHERWISE. TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CONDITIONS:

1. DEAD + BOTTOM CHORD LIVE LOAD + TOP CHORD LIVE LOAD (WHICHEVER IS GREATER)
2. WIND + DEAD LOAD + BOTTOM CHORD LIVE LOAD
3. DEAD LOAD + WIND + BOTTOM CHORD LIVE LOAD + TOP CHORD LIVE LOAD (WHICHEVER IS GREATER)
4. ALL WIND LOADS ARE NORMAL AND OUTWARD TO ROOF SLOPE.
5. OVERHANGS AND OTHER ROOF PROJECTIONS SHALL BE DESIGNED FOR UPWARD PRESSURE OF TWO TIMES WIND LOAD.
6. ALL TRUSSES SHALL BE DESIGNED FOR THE LOADS SHOWN UNLESS NOTED OTHERWISE.
7. SEE ARCHITECT'S DRAWINGS FOR SPAN, HEIGHT AND PROJECTION DIMENSIONS.
8. WEB CONFIGURATION PER MANUFACTURER'S REQUIREMENTS.
9. | – INDICATES CENTERLINE OF SUPPORTS.

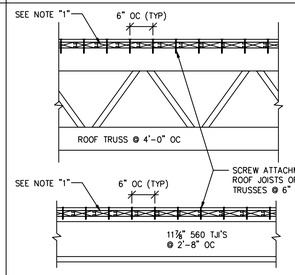
ROOF TRUSS DETAIL (K)



TYPICAL VALLEY TRUSS DETAIL (L)

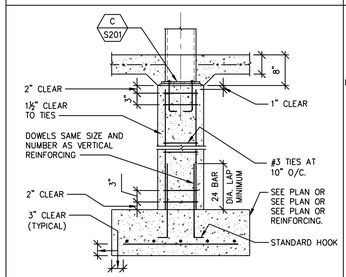


TYPICAL FLOOR DECKING DETAIL (M)



NOTES:
1. ROOF TO BE ¾" APA RATED PLYWOOD SHEATHING OVER 2x6 T&G STRUCTURAL DECKING

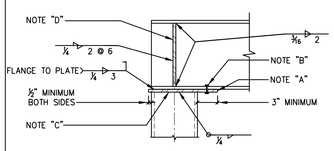
TYPICAL ROOF DECKING DETAIL (N)



A. SEE PLAN FOR ELEVATION TOP OF FOOTING.

B. PROVIDE PIER WHENEVER TOP OF FOOTING IS MORE THAN 8" BELOW TOP OF SLAB.

CONCRETE PIER ON SPREAD FTG. DETAIL (O)



A. ⅜" THICK CAP PLATE BY SIZE AS REQUIRED TO RECEIVE BOLTS.

B. 2 -¾"ø A-325 H.S. BOLTS (ONE NEAR SIDE AND ONE FAR SIDE).

C. MILL TOP OF COLUMN TO RECEIVE PLATE (TYPICAL).

D. ¼" STIFFENER PLATE IN BEAM (BOTH SIDES) AT COLUMN CENTERLINE.

ONE BEAM BEARING ON TUBE OR ROUND COLUMN (P)

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LICENSE NO: 20080
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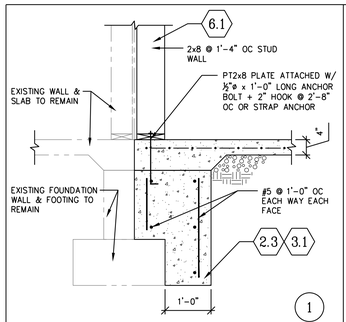
S201

STRUCTURAL DETAILS

15024 R 200320 CD.vwx

S&A # 22588



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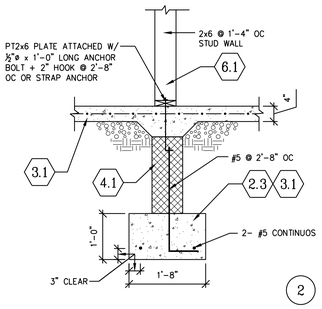

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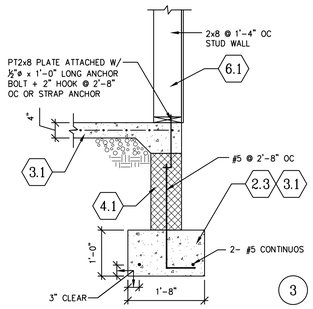

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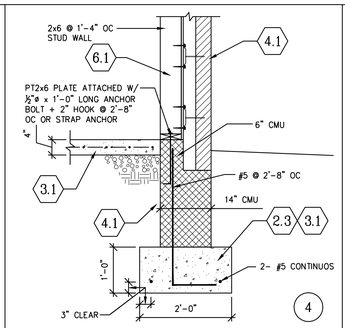

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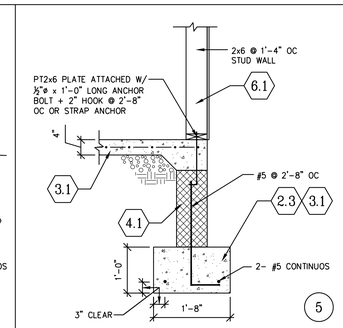

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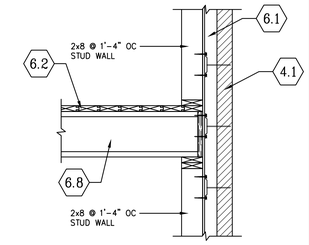

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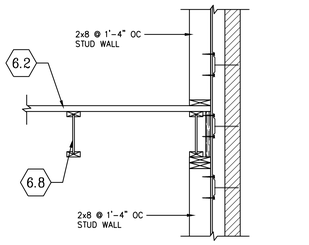

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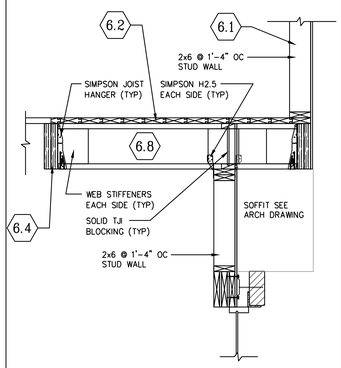

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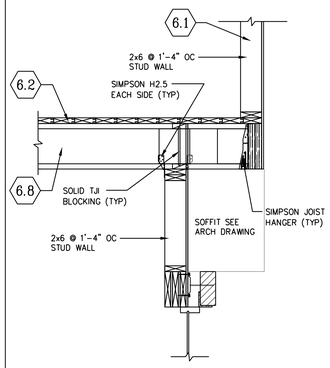

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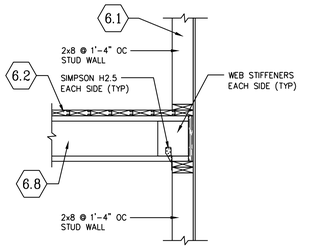

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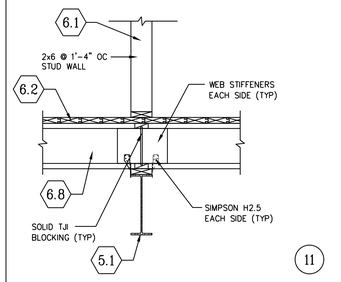

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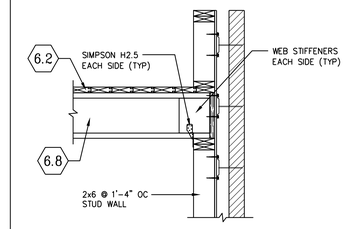

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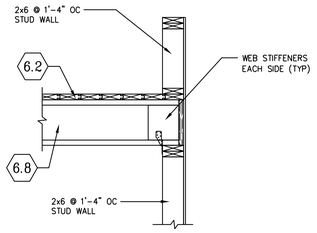

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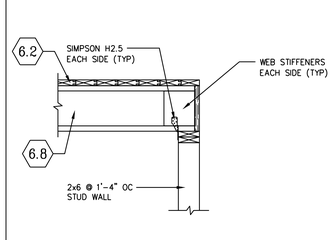

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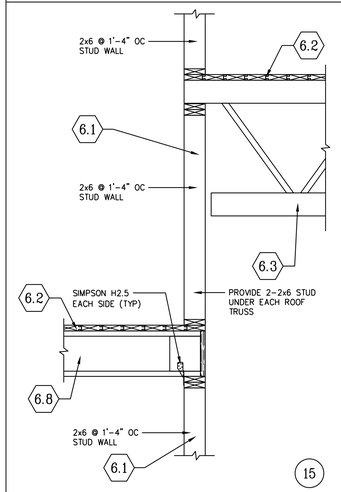

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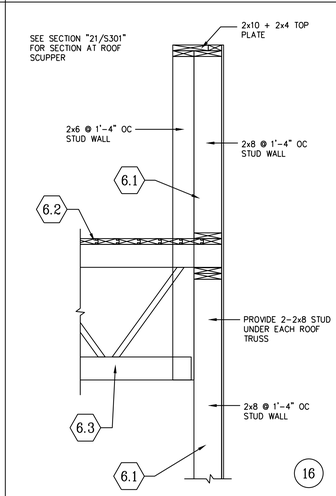

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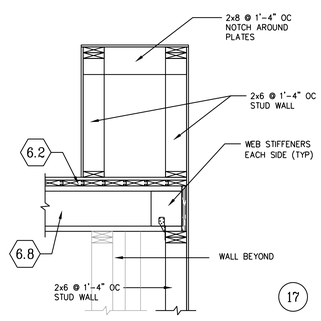

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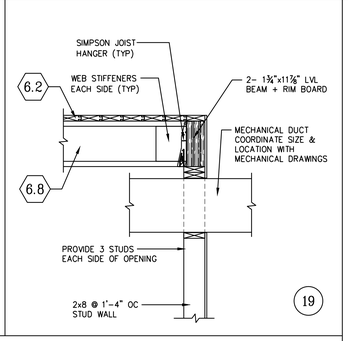

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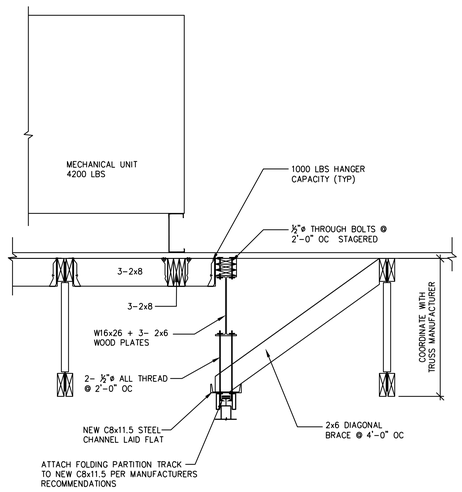

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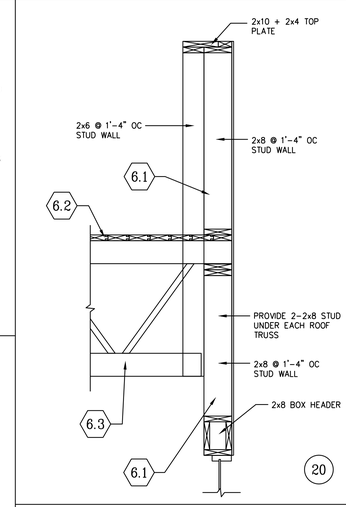

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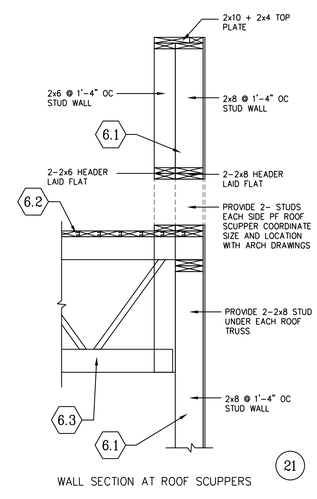


21

WALL SECTION AT ROOF SCUPPERS

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

MEP ENGINEER:
Henry Adams Consulting Engineers
600 Baltimore Ave,
Towson, MD 21204

STRUCTURAL ENGINEER:
SKARDA & ASSOCIATES, INC.
2439 North Charles Street
Baltimore, MD 21218-5110

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #15024R

Issued for: BID SET
Issued date: 01/11/2023
PRINT DATE:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 20263
EXPIRATION DATE: MARCH 19, 2023

S301

SECTIONS

15024 R 200320 CD.vwx

S&A # 22588

GENERAL NOTES: (APPLICABLE TO ALL MECHANICAL SCHEDULES)

1. UNIT NUMBERS ARE INDICATED WHERE ALL UNITS ARE LISTED AND NUMBERED INDIVIDUALLY.
2. UNIT TYPES ARE DESCRIBED IN THE SPECIFICATIONS.
3. TEMPERATURE VALUES ARE LISTED IN DEGREES FAHRENHEIT.
4. AIR PRESSURE VALUES ARE LISTED IN INCHES OF WATER COLUMN.
5. DUCT SIZES ARE LISTED IN SINGLE-NUMBER INCHES OF NOMINAL DIAMETER OR MULTIPLE NUMBER INCHES OF INDICATED PARAMETER. CONNECTION SIZES ARE BRANCH SIZES FROM MAINS TO UNIT INLETS.

AIR HANDLING UNITS

UNIT NO.	LOCATION	SERVICE	OA	MAX SA	MAX RA	SUPPLY FAN SECTION					FILTERS (MERV) (NOTE 2)	DX COOLING COIL (NOTE 1)									HOT GAS REHEAT MBH	HEATING						ELECTRICAL		BASIS OF DESIGN	NOTES
						ESP	TSP	MOTOR TYPE	BHP	HP		TOTAL MBH	SENS MBH	EDB	EWB	LDB	LWB	REFG	APD			AIR DATA EDB	AIR DATA LDB	KW	INPUT MBH	GAS PRESS IN W.C.	V	PH		
RTU-3	ROOF	1ST & 2ND FLOOR EAST	2,100	7,250	6950	1.5	3.1	ODP	5.3	7.5	8	337	225	83.3	69.4	54.9	54.8	R410A	0.38	158	360	41	87	-	450	5-14	208	3	DAIKIN REBEL	3, 4
AHU-4	ATTIC	2ND FLOOR WEST	250	1,125	925	1	2.8	ODP	1.32	2	8	49	34	82.1	68.5	54.9	54.8	R410A	1.1	-	54.6	40	84.9	16	-	-	208	3	DAIKIN VISION	3, 5

NOTES FOR ROOFTOP AIR HANDLING UNITS:
1. COIL SIZE IS DETERMINED BY AHU SIZE.
2. PROVIDE 4-INCH THICK MERV RATING FILTERS.
3. ELECTRICAL PANEL SHALL BE RATED FOR A MINIMUM OF 65 KAIC RATING.
4. TOTAL STATIC PRESSURE INCLUDES 0.5 IN W.C. PRESSURE DROP FOR DIRTY FILTERS.
5. TOTAL STATIC PRESSURE INCLUDES 0.57 IN W.C. PRESSURE DROP FOR DIRTY FILTERS.
6. RTU-3 SHALL HAVE A GAS FURNACE.
7. AHU-4 SHALL HAVE AN ELECTRIC HEATING COIL.

UNIT HEATERS

UNIT NO	TYPE	LOCATION	CFM	APPROX SIZE W	APPROX SIZE H	APPROX SIZE D	EAT	ELECTRICAL KW	ELECTRICAL V	ELECTRICAL PH	BASIS OF DESIGN	NOTES
UH-1	E	135 - HALL	100	16	20	6	70	1.5	120	1	BERKO FRC	

SINGLE DUCT AIR TERMINAL UNITS

UNIT NO.	MAX CFM	MIN CFM	HEATING CFM	BRANCH DUCT SIZE (NOTE 1)	HEATING (NOTE 2) EAT	HEATING (NOTE 2) LAT	ELECTRIC KW	ELECTRIC CONTROL	CONTROL SEQUENCE	BASIS OF DESIGN	NOTES
VAV-134A	1600	800	800	14	55	83	7	SCR	B	TITUS DESV	
VAV-134B	2100	945	945	14	55	82	8	SCR	B	TITUS DESV	
VAV-130	2000	1100	1100	14	55	81	9	SCR	B	TITUS DESV	
VAV-132	250	75	75	8	55	76	0.5	SCR	B	TITUS DESV	
VAV-222	600	330	330	10	55	84	3	SCR	B	TITUS DESV	
VAV-223	700	315	315	10	55	90	3.5	SCR	B	TITUS DESV	
VAV-226	375	115	375	8	55	89	4	SCR	A	TITUS DESV	
VAV-228	100	50	50	6	55	86	0.5	SCR	B	TITUS DESV	
VAV-230	210	65	210	8	55	90	2.5	SCR	A	TITUS DESV	
VAV-231	405	125	250	10	55	90	3	SCR	A	TITUS DESV	

NOTES FOR SINGLE DUCT AIR TERMINAL UNITS:

1. BRANCH DUCT SIZE IS RUNOUT SIZE AND NOT NECESSARILY BOX INLET SIZE. PROVIDE 3 DUCT DIAMETERS UPSTREAM OF BOX WITH THE LAST ONE FOOT SHEET METAL AT BOX INLET THE SAME SIZE AS BOX INLET. PROVIDE INSULATED TRANSITION IF REQUIRED FOR CONNECTION.

2. HEATING CAPACITY (MBH) IS BASED ON KW AT HEATING CFM.

AIR COOLED CONDENSING UNIT

UNIT NO.	LOCATION	SERVICE	COOLING CAPCITY (NOTE 2) TOTAL MBH	COOLING CAPCITY (NOTE 2) EAT	TOTAL REFG CHARGE	ELECTRICAL V	ELECTRICAL PH	BASIS OF DESIGN	NOTES
CU-1	ROOF	2ND FLOOR WEST	56	95	35	208	3	DAIKIN DX16TC0601	

NOTES FOR ROOFTOP AIR HANDLING UNITS:
1. R-410A REFRIGERANT.
2. COOLING DESIGNED AT 95 DEGREES F AMBIENT.
3. TOTAL POUNDS OF REFRIGERANT IS BASED ON EQUIPMENT AND PIPING LAYOUT SHOWN ON DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL MATERIALS, SENSORS, CONDENSATE PIPING, ETC. DUE TO ANY DEVIATION OR ALTERNATE MANUFACTURER FROM THAT WHICH IS SPECIFIED.

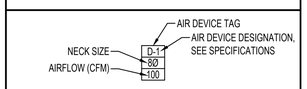
MECHANICAL ABBREVIATIONS
(APPLICABLE TO ALL MECHANICAL DRAWINGS)

AFM	AIR FLOW MONITORING STATION
AHU	AIR HANDLING UNIT
BHP	BRAKE HORSEPOWER
CFM	CUBIC FEET PER MINUTE
CO2	CARBON DIOXIDE SENSOR
COR	CONTRACTING OFFICER REPRESENTATIVE
CS	CURRENT SWITCH
CU	CONDENSING UNIT
CW	COLD WATER
D	DIFFUSER/DEPTH/DAMPER/DRAIN
DIFF	DIFFUSER
DN	DOWN
DPS	DIFFERENTIAL PRESSURE SWITCH
DX	DIRECT EXPANSION
EAT	ENTERING AIR TEMPERATURE
EDB	ENTERING DRY BULB
EQUIP	EQUIPMENT
ESP	EXTERNAL STATIC PRESSURE
ESS	EMERGENCY SHUTDOWN SWITCH
EWB	ENTERING WET BULB
EX	EXISTING
F	FAHRENHEIT/FREEZESTAT
FC	FLEXIBLE CONNECTION
FS	FLOW SWITCH
FT	FEET
G	GRILLE
H	HUMUDITY SENSOR
HC	HEATING COIL
HOA	HAND-OFF-AUTOMATIC SWITCH
HP	HORSEPOWER
HW	HOT WATER
IN	INCHES
KW	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LDB	LEAVING DRY BULB
LWB	LEAVING WET BULB
M	MECHANICAL
MAX	MAXIMUM
MBH	THOUSAND BTU PER HOUR
MD	MECHANICAL DEMOLITION
MIN	MINIMUM
N	NORTH
NO	NUMBER
OA	OUTDOOR AIR
ODP	OPEN DRIP PROOF
PD	PRESSURE DIFFERENTIAL SENSOR
PH	PHASE
PRESS	PRESSURE
R	REGISTER/RADIUS/REFRIGERANT
RA	RETURN AIR
RAD	RADIATOR
REFG	REFRIGERANT
RHC	REHEAT COIL
RL	REFRIGERANT LIQUID
RS	REFRIGERANT SUCTION
RTU	ROOFTOP UNIT
RX	REMOVE EXISTING
S	SECONDS/SWITCH
SA	SUPPLY AIR
SCR	SILICON CONTROLLED RECTIFIER
SD	SMOKE DETECTOR
SENS	SENSIBLE
SPSS	STATIC PRESSURE SENSING STATION
T	TEMPERATURE/ THERMOSTAT/ TRANSFER
TSP	TOTAL STATIC PRESSURE
V	VOLTS/VALVE
VAV	VARIABLE AIR VOLUME
VD	VOLUME DAMPER
VR	VOLUME REGULATOR
VSD	VARIABLE SPEED DRIVE
WC	WATER COLUMN

GENERAL MECHANICAL NOTES
(APPLICABLE TO ALL MECHANICAL DRAWINGS)

1. COORDINATE ALL MECHANICAL AND PLUMBING WORK WITH WORK OF OTHER TRADES SHOWN ON OTHER DRAWINGS.
2. THE LOCATION OF EXISTING UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. REPAIR ALL DAMAGES OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
3. RUN ALL DRAIN PIPING WITH 2 PERCENT MINIMUM GRADE UNLESS OTHERWISE NOTED.
4. INSTALL PIPING AND DUCTWORK SO THAT ALL VALVES AND DAMPERS ARE ACCESSIBLE.
5. UNLESS OTHERWISE NOTED, ROUTE ALL PIPING AND DUCTWORK OVERHEAD, TIGHT TO UNDERSIDE OF SLAB, WITH SPACE FOR INSULATION IF REQUIRED.
6. MAINTAIN MINIMUM 6'-8" CLEARANCE TO UNDERSIDE OF PIPES, DUCTS, CONDUITS, SUSPENDED EQUIPMENT, ETC., THROUGHOUT ACCESS ROUTES IN MECHANICAL ROOMS.
7. CERTAIN ITEMS SUCH AS ACCESS DOORS, CLEANOUTS, RISE AND DROPS IN DUCTWORK AND PIPING, ETC., ARE INDICATED ON THE DRAWINGS FOR CLARITY OR A SPECIFIC LOCATION REQUIREMENT AND SHALL NOT BE INTERPRETED AS THE EXTENT OF THE REQUIREMENTS FOR THESE ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THESE ITEMS AS REQUIRED ELSEWHERE IN THE CONTRACT DOCUMENTS.
8. WHERE THE INSTALLATION OF NEW SERVICES OR THE EXTENSION OF EXISTING SERVICES REQUIRES CUTTING OF EXISTING FLOORS, WALLS, PARTITIONS, ETC., CHECK FOR THE PRESENCE OF EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SERVICES WITHIN OR IMMEDIATELY BENEATH CONSTRUCTION. EXERCISE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THE SERVICES OR INJURY TO PERSONNEL DUE TO CONTACT WITH SAME. TEMPORARILY DISCONNECT SERVICES DURING THE CUTTING OPERATION. SCHEDULE SERVICE OUTAGES IN ADVANCE WITH THE OWNER.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESEARCHING ALL SYSTEMS THAT A PARTICULAR OUTAGE WILL AFFECT AS WELL AS LOCATING ALL SHUTOFF POINTS. INCLUDE THIS INFORMATION IN THE OUTAGE PLAN AND SUBMIT TO THE OWNER FOR APPROVAL.
10. EXCEPT AS OTHERWISE NOTED, LOCATE ALL ROOM THERMOSTATS ABOVE FINISHED FLOOR ON SAME HORIZONTAL CENTERLINE AS LIGHT SWITCH. WHERE LIGHT SWITCH AND THERMOSTAT ARE ADJACENT TO EACH OTHER, LIGHT SWITCH SHALL BE CLOSEST TO THE DOOR. COORDINATE WITH ELECTRICAL CONTRACTOR. NOTIFY THE ENGINEER OF ROOMS WHERE THE ABOVE LOCATION CANNOT BE MAINTAINED OR WHERE THERE IS A QUESTION ON LOCATION.
11. IN CORRIDORS WHERE CEILING SPEAKERS AND AIR DIFFUSERS ARE INDICATED BETWEEN THE SAME LIGHTING FIXTURES, RELOCATE BOTH DEVICES TO QUARTER POINTS BETWEEN THE SAME FIXTURE.
12. RECYCLE MERCURY SWITCH THERMOSTATS THAT ARE REMOVED. DELIVER RECYCLED THERMOSTATS TO PARTICIPATING WHOLESALERS.

AIR DEVICE TAG



MECHANICAL LEGEND
(APPLICABLE TO ALL MECHANICAL DRAWINGS)

SYMBOL	DESCRIPTION
	DUCT/PIPE CAP
	CONNECT TO EXISTING
	END OF DEMOLITION
	SUPPLY AIR DUCT
	RETURN AIR DUCT
	EXHAUST/RELIEF AIR DUCT
	VOLUME DAMPER
T	TEMPERATURE SENSOR (ADJUSTABLE)
D	DROP IN DUCTWORK
R	RISE IN DUCTWORK
	FLEXIBLE CONNECTION
SPSS	STATIC PRESSURE SENSING STATION
RL	REFRIGERANT LIQUID
RS	REFRIGERANT SUCTION
G	GAS
D	CONDENSATE DRAIN
C	CARBON DIOXIDE SENSOR
AFMS	AIRFLOW MONITORING STATION
	SHUTOFF VALVE
	TWO WAY AUTOMATIC CONTROL VALVE
	MOTOR OPERATED DAMPER
	SINGLE DUCT AIR TERMINAL UNIT WITH INTEGRAL SOUND ATTENUATOR (IF REQUIRED)
S	DUCT MOUNTED SMOKE DETECTOR
	FIRE DAMPER
AD	ACCESS DOOR
1 / M-101	PLAN/SECTION DESIGNATION TOP - PLAN/SECTION REFERENCE BOTTOM - REFERENCED DRAWING

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE January 10, 2023

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 37247
EXPIRATION DATE: 01-09-2024

MECHANICAL COVER SHEET

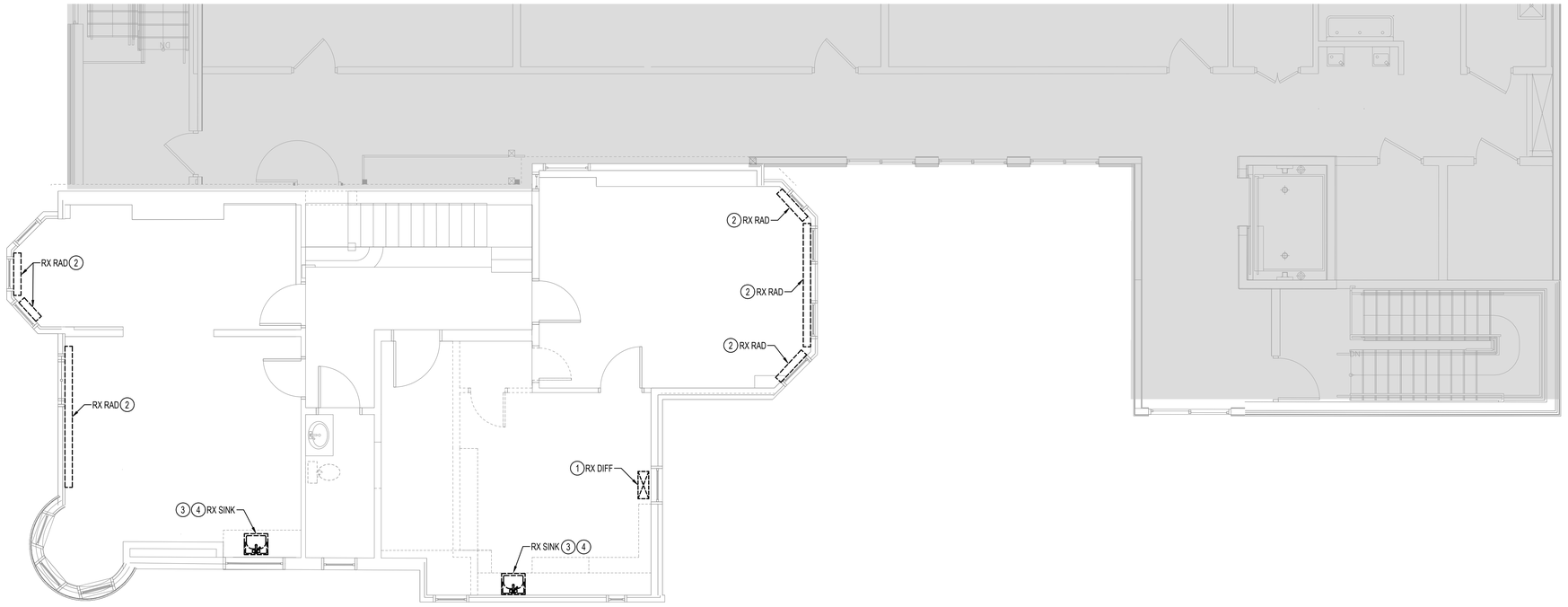
M001

SPECIAL NOTES: (APPLICABLE TO THIS DRAWING ONLY)

1. REMOVE DUCTWORK UP. CAP ABOVE CEILING.
2. REMOVE ASSOCIATED THERMOSTAT AND CONTROL WIRING.
3. REMOVE PLUMBING FIXTURE AND ALL ASSOCIATED PIPING AND ACCESSORIES. CAP AND VALVE DOMESTIC WATER AND VENT PIPING TO REMAIN ABOVE CEILING.
4. CAP SANITARY PIPING TO REMAIN BELOW FLOOR.

DRAWING NOTES: (APPLICABLE TO THIS DRAWING ONLY)

1. EXISTING SHOWN WITH LIGHT WEIGHT LINE, ————
2. DEMOLITION SHOWN WITH HEAVY WEIGHT, DASHED LINE, – – – – – –
3. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. EXISTING CONDITIONS ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO DEMOLITION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, OR THERE IS A QUESTION REGARDING SCOPE OF WORK OR LIMITS OF DISTURBANCE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.
4. CONTRACTOR SHALL IDENTIFY REMOVAL OF ALL MECHANICAL PIPING, DUCTWORK, AND EQUIPMENT AND REVIEW WITH COR BEFORE REMOVING. WORK REMOVED WITHOUT PRIOR CONFIRMATION THAT WAS NOT INTENDED TO BE REMOVED, SHALL BE REPLACED IN SAME OR BETTER CONDITION AT CONTRACTOR'S COST.



1 MD101 SECOND FLOOR PLAN - MECHANICAL - DEMOLITION
1/4" = 1'-0"

N

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE January 10, 2023

NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 37247
EXPIRATION DATE: 01-09-2024

SECOND FLOOR PLAN - MECHANICAL - DEMOLITION

MD101

SPECIAL NOTES: (APPLICABLE TO THIS DRAWING ONLY)

(1) SERVED BY EXISTING AIR HANDLING UNIT IN BASEMENT.

(2) PROVIDE FIRE DAMPER AT SLAB PENETRATION.

DRAWING NOTES: (APPLICABLE TO THIS DRAWING ONLY)

1. EXISTING SHOWN WITH LIGHT WEIGHT LINE, ———
2. NEW WORK SHOWN WITH HEAVY WEIGHT LINE, ———
3. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. EXISTING CONDITIONS ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, OR THERE IS A QUESTION REGARDING SCOPE OF WORK OR LIMITS OF DISTURBANCE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.
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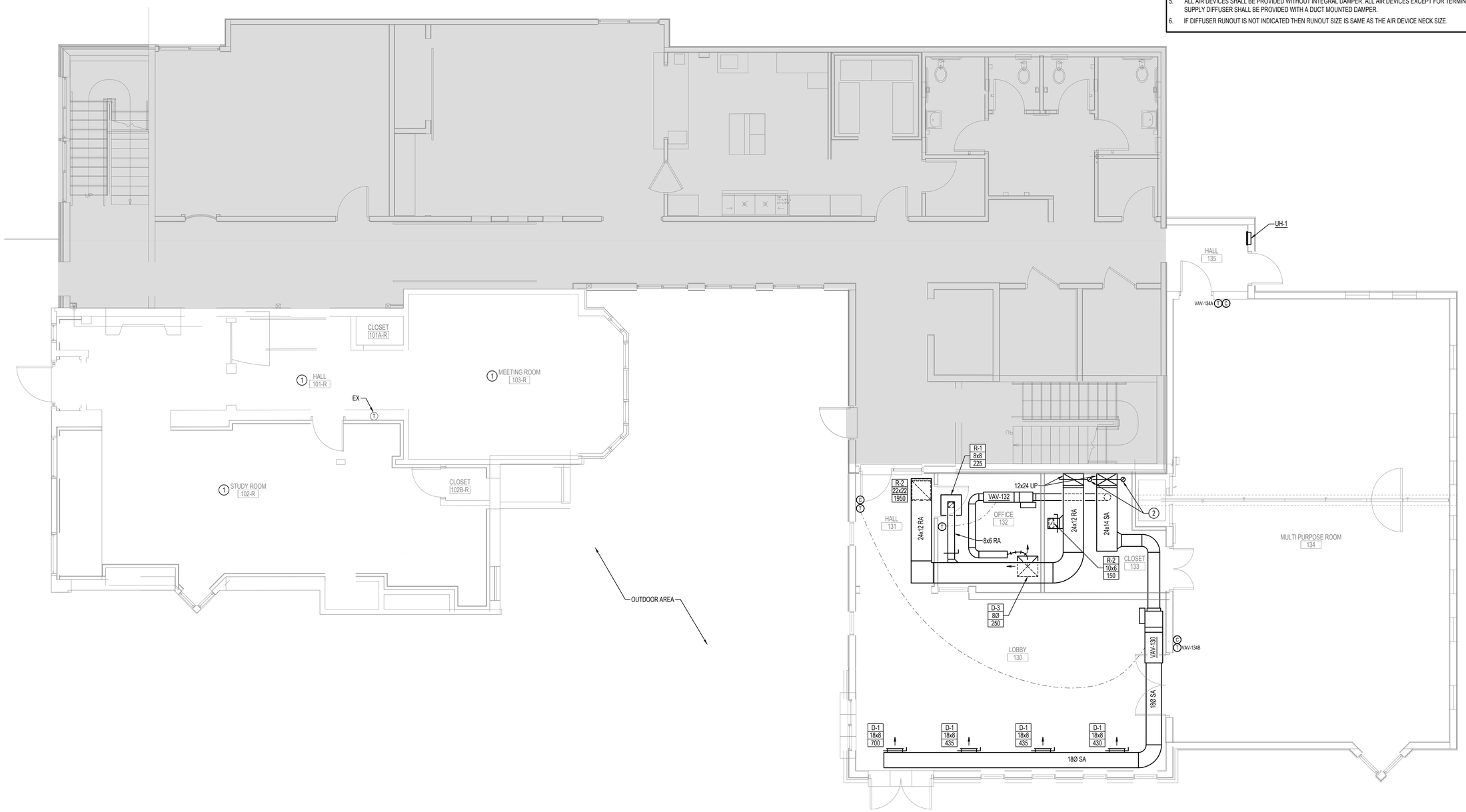
5. ALL AIR DEVICES SHALL BE PROVIDED WITHOUT INTEGRAL DAMPER. ALL AIR DEVICES EXCEPT FOR TERMINAL DEVICES SERVING ONE SUPPLY DIFFUSER SHALL BE PROVIDED WITH A DUCT MOUNTED DAMPER.
6. IF DIFFUSER RUNOUT IS NOT INDICATED THEN RUNOUT SIZE IS SAME AS THE AIR DEVICE NECK SIZE.



1 M101 FIRST FLOOR PLAN - MECHANICAL - NEW WORK
1/4" = 1'-0"

N

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
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LICENSE NO. 37247
EXPIRATION DATE: 01-09-2024

FIRST FLOOR PLAN - MECHANICAL - NEW WORK

M101

SPECIAL NOTES: (APPLICABLE TO THIS DRAWING ONLY)

1. ROUTE DUCT BETWEEN JOISTS, TIGHT TO STRUCTURE ABOVE.
2. REFER TO M103 FOR CONTINUATION.
3. CONNECT TO AHU PLENUM AT ROOF.
4. INSTALL TOP OF AIR DEVICES CONES BELOW STRUCTURE.

DRAWING NOTES: (APPLICABLE TO THIS DRAWING ONLY)

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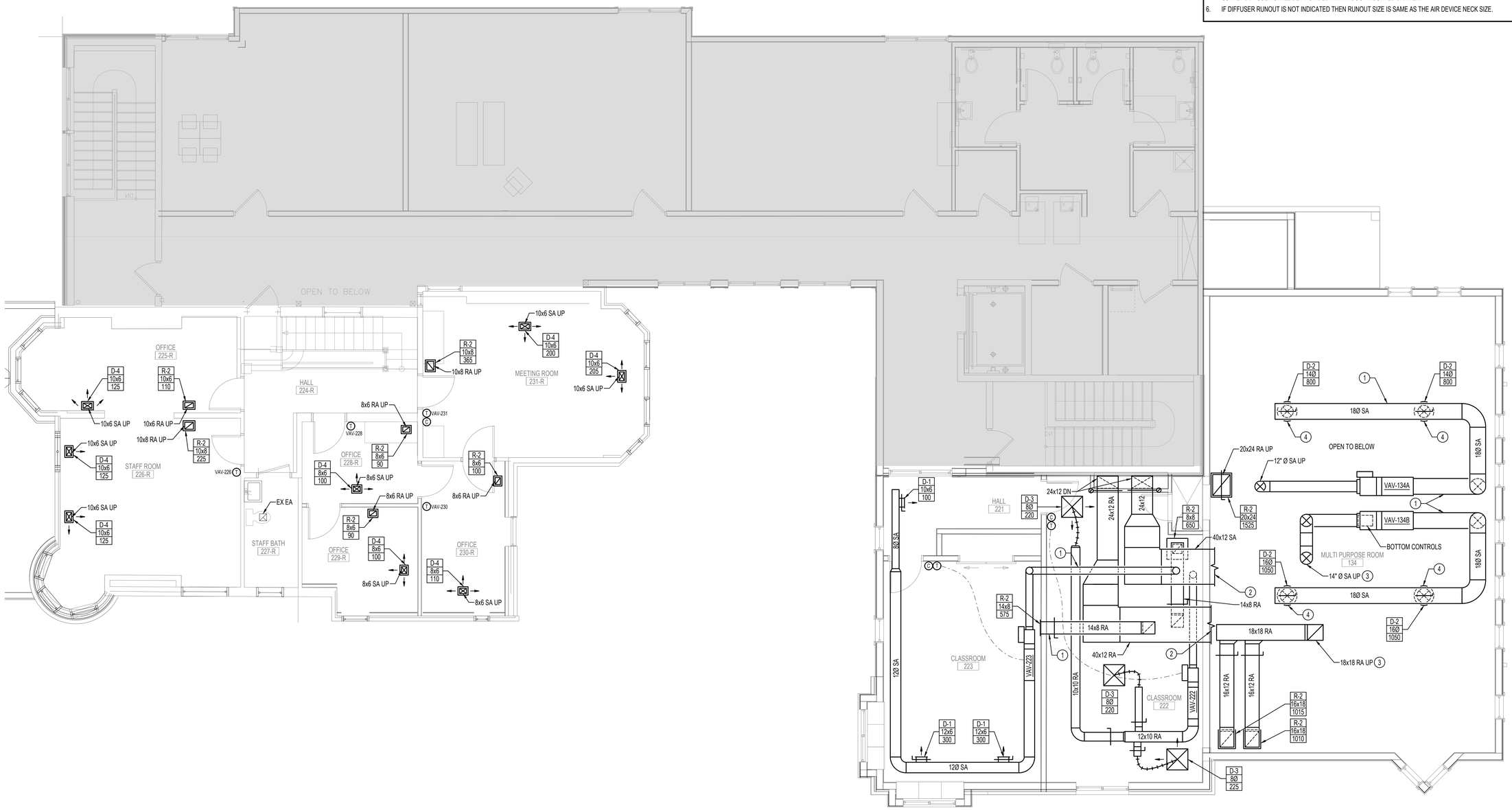

1 M102 SECOND FLOOR PLAN - MECHANICAL - NEW WORK
1/4" = 1'-0"

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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SECOND FLOOR PLAN - MECHANICAL - NEW WORK

M102

SPECIAL NOTES: (APPLICABLE TO THIS DRAWING ONLY)

1. REFER TO M102 FOR CONTINUATION.
2. MOUNT ON MANUFACTURER SUPPLIED PLENUM.
3. TRANSITION TO UNIT CONNECTION AS REQUIRED. PROVIDE FLEXIBLE CONNECTION AT UNIT.
4. MOUNT ON 4" HIGH HOUSEKEEPING PAD.
5. EXISTING AIR HANDLING UNIT AND ASSOCIATED DUCTWORK TO REMAIN.

DRAWING NOTES: (APPLICABLE TO THIS DRAWING ONLY)

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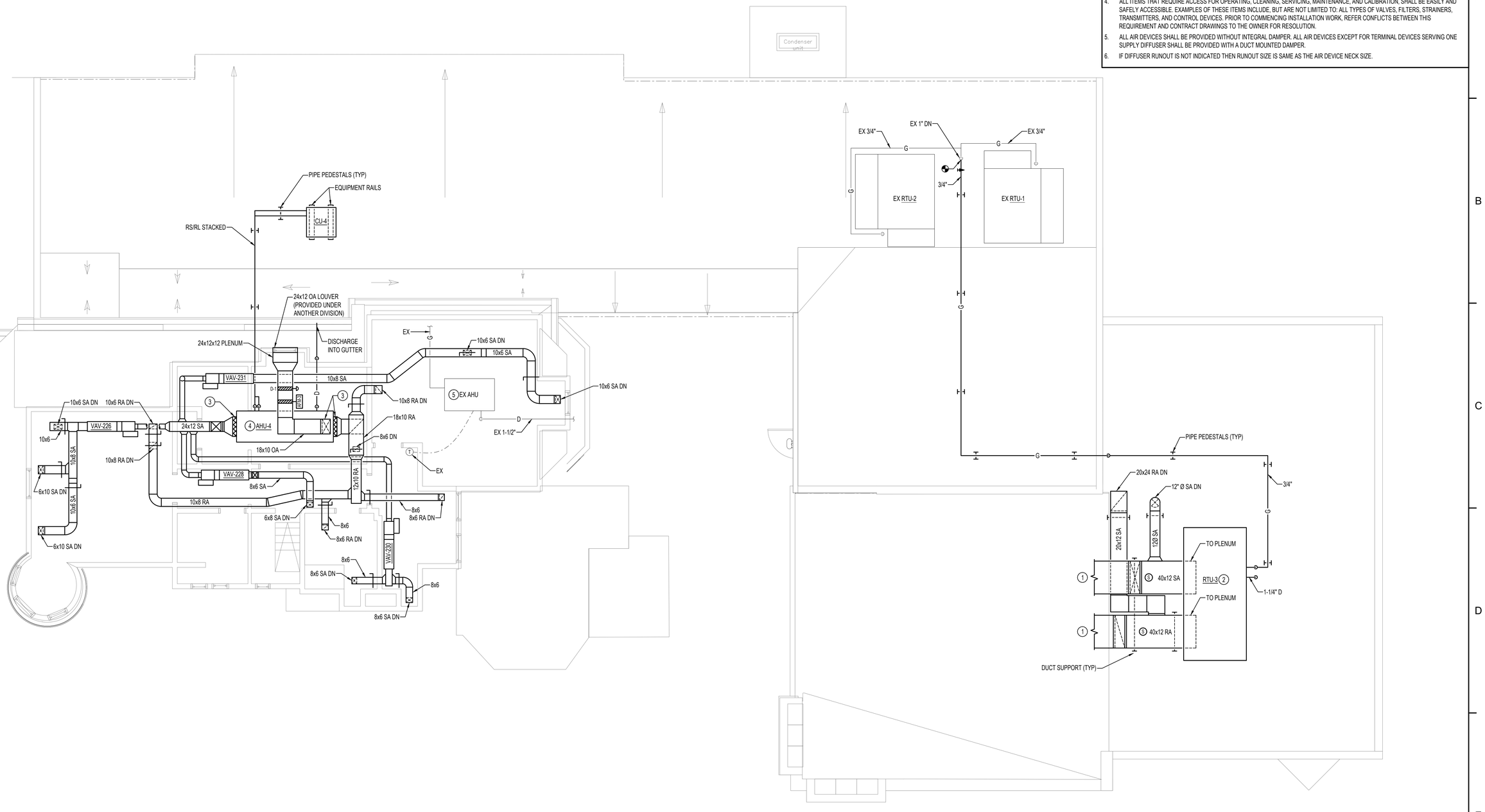

1 M103 ATTIC AND ROOF PLAN - MECHANICAL - NEW WORK

1/4" = 1'-0"

0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

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2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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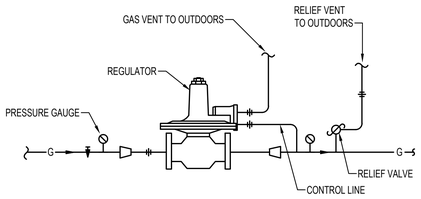
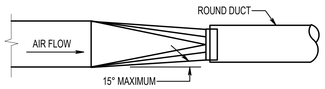
ATTIC PLAN - MECHANICAL - NEW WORK

M103



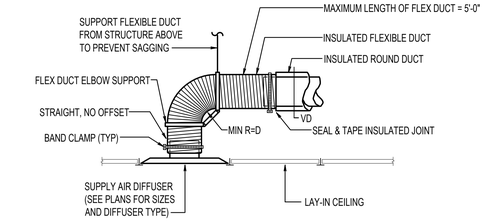
NOTE:
EXTEND REGULATOR VENT AND RELIEF VENT TO OUTDOORS INDEFINITELY. TERMINATE VENTS IN ACCORDANCE WITH CODE REQUIREMENTS FOR CLEARANCES FROM LOT LINES, WALKWAYS, OUTDOOR AIR INTAKES (NATURAL AND MECHANICAL), OPERABLE OPENINGS, ETC., VENT SIZING AND QUANTITY BY REGULATOR MANUFACTURER.

1/M501 GAS PRESSURE REGULATOR

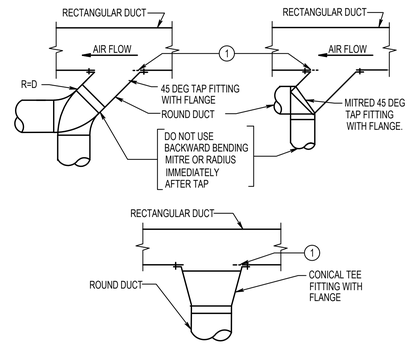


NOTES:
1. FOR AIR FLOW IN OPPOSITE DIRECTION, TRANSITION COLLAR SHALL OVERLAP EXTERIOR OR ROUND DUCT.

2/M501 RECTANGULAR TO ROUND DUCT TRANSITION



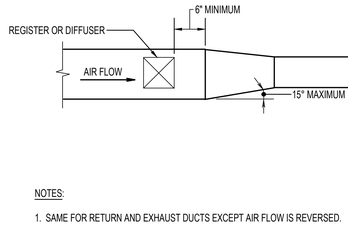
3/M501 SUPPLY AIR DIFFUSER FLEXIBLE DUCT CONNECTION



NOTES:
1. DO NOT USE 45 DEG TAP FITTINGS EXCEPT WHERE TIGHT CONDITION PREVENTS USE OF OTHER FITTINGS INDICATED.

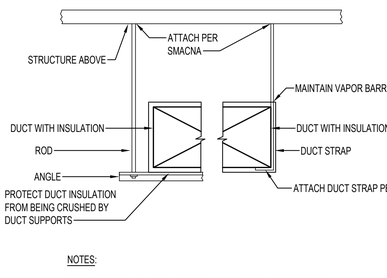
SPECIAL NOTES:
(1) CUT HOLE IN RECTANGULAR DUCT LARGE ENOUGH SO THAT ROUGH METAL EDGE DOES NOT PROJECT INTO AIR STREAM.

4/M501 TAPOFF FROM RECTANGULAR DUCT TO ROUND DUCT



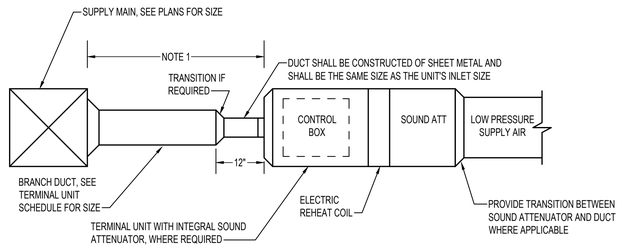
NOTES:
1. SAME FOR RETURN AND EXHAUST DUCTS EXCEPT AIR FLOW IS REVERSED.

5/M501 DIFFUSER OR REGISTER TAPOFF AND TRANSITION



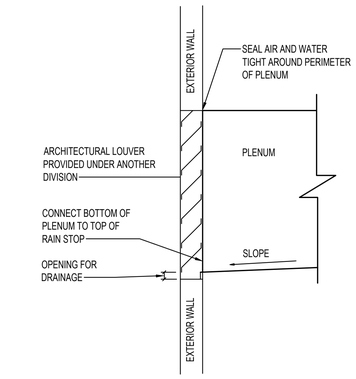
NOTES:
1. REFER TO SMACNA FOR ADDITIONAL HANGERS AND SUPPORTS

6/M501 DUCT INSULATION SUPPORT

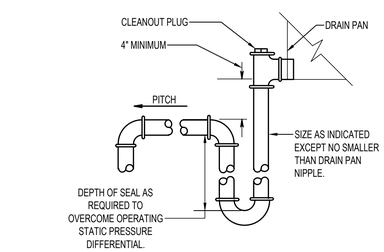


NOTES:
1. PROVIDE MINIMUM THREE DUCT DIAMETERS UPSTREAM OF TERMINAL UNIT. A MAXIMUM OF 60 INCHES OF INSULATED FLEXIBLE DUCT MAY BE USED FOR BRANCH DUCT.

7/M501 TERMINAL UNIT



8/M501 PLENUM CONNECTION TO LOUVER



EQUIPMENT NO.	DEPTH OF SEAL
RTU-3	6"
AHU-4	6"

9/M501 AHU CONDENSATE TRAP

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
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Office: 410.296.6500 Fax: 410.296.6501
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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE January 10, 2023

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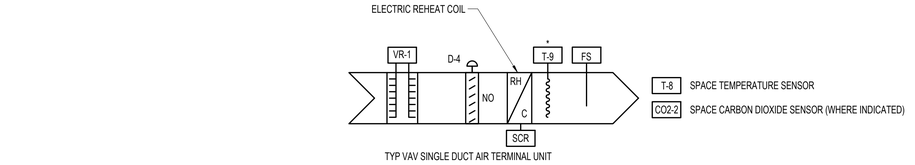
LICENSE NO. 37247
EXPIRATION DATE: 01-09-2024

MECHANICAL DETAILS

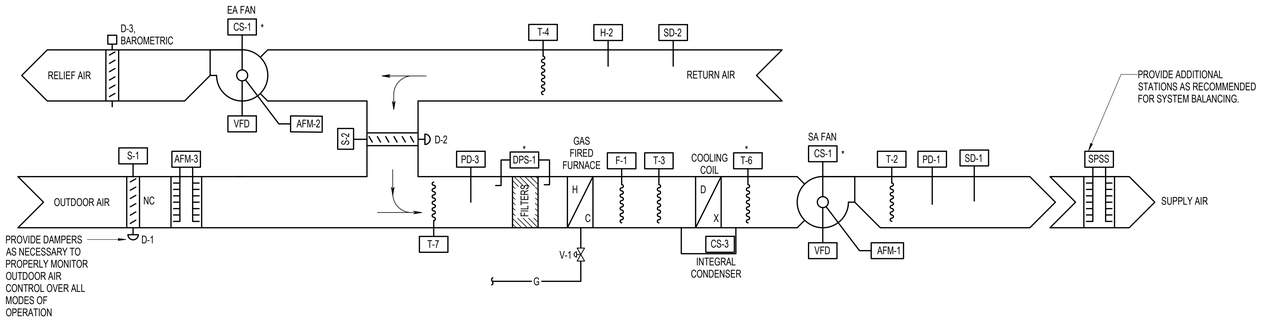
M501

NOTES:
1. DAMPER D-1, D-2, D-3 AND AIR FLOW MEASURING STATION AFM-3 IS PROVIDED BY THE AHU MANUFACTURER. DEPENDING ON MANUFACTURER, DAMPER D-3 CAN BE BAROMETRIC TYPE.
2. DAMPER D-4 IS PROVIDED WITH THE VAV TERMINAL UNIT MANUFACTURER.
3. DEVICES SHOWN WITH ASTERISKS HAVE NO CONTROL FUNCTION; PROVIDE INFORMATION ONLY.

T-1	OUTDOOR AIR TEMPERATURE SENSOR (GLOBAL)
CO2-1	OUTDOOR AIR CARBON DIOXIDE SENSOR (GLOBAL)
ESS	EMERGENCY SHUTDOWN SWITCH
RCP	REMOTE CONTROL PANEL (COORDINATE LOCATION WITH OWNER)
HOA	SYSTEM: HAND-OFF-AUTOMATIC SWITCH
H-1	OUTDOOR AIR HUMIDITY SENSOR (GLOBAL)



TYP VAV SINGLE DUCT AIR TERMINAL UNIT



AIR FLOW SCHEDULE

AHU	SUPPLY AIR (SA) FAN		OUTDOOR AIR			OA/EA DIFFERENTIAL
	MAX	MIN	ECON MAX	MIN NORMAL OCCUPANCY	MIN LOW OCCUPANCY	
RTU-3	7,250	2,100	7,250	2,100	500	300

VARIABLE AIR VOLUME AIR HANDLING UNIT CONTROL DIAGRAM (RTU-3)

VARIABLE AIR VOLUME AIR HANDLING UNIT SEQUENCE OF OPERATION

GENERAL:

1. THE AIR HANDLING UNIT, REFRIGERANT AND FAN SYSTEMS SHALL BE STARTED AND STOPPED THROUGH A SYSTEM HAND-OFF-AUTOMATIC (HOA) SWITCH. WHEN INDEXED TO "HAND", THE SYSTEM SHALL BE ENERGIZED TO OPERATE UNDER THE CONTROL SEQUENCE. WHEN INDEXED TO "OFF", THE SYSTEM SHALL BE DE-ENERGIZED. WHEN INDEXED TO "AUTOMATIC", THE SYSTEM SHALL BE STARTED AND STOPPED THROUGH THE BUILDING AUTOMATION SYSTEM (BAS). THE H-O-A SWITCH POSITION SHALL BE MONITORED THROUGH THE BAS.

2. ALL SAFETIES AND ASSOCIATED CONTROL INTERLOCKS SHALL BE HARDWIRED AND REMAIN ACTIVE IN ALL H-O-A SWITCH POSITIONS.

3. COORDINATE VFD INTERFACE REQUIREMENTS WITH AHU AND VFD MANUFACTURERS.

4. PROVIDE A REMOTE EMERGENCY SHUTDOWN SWITCH (ESS) FOR SYSTEM SHUTDOWN. SWITCH SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE INSPECTOR. TYPICALLY INSTALL AT THE BUILDING ENTRANCE ADJACENT TO THE FIRE ALARM ANNUNCIATOR PANEL.

5. LOW LIMIT STAT T-3 SHALL ALARM WHEN DISCHARGE TEMPERATURE DROPS TO 40 DEGREES F.

6. ELECTRIC FREEZESTAT F-1 SHALL STOP SA FAN AT 35 DEGREES F, AN ALARM SHALL BE SENT THROUGH THE BAS.

7. COOLING SPACE SETPOINT AT T-8 SHALL BE 75 DEGREES F (ADJ) AND HEATING SPACE SETPOINT AT T-8 SHALL BE 72 (ADJ) DEGREES F.

8. ON A LOSS OF AIRFLOW ON A CALL FOR HEATING AS SENSED BY PRESSURE SWITCH PD-1, THE ELECTRIC HEATING COIL SHALL BE DE-ENERGIZED AND SEND AN ALARM TO THE BAS.

STARTING AND STOPPING:

1. WHEN SYSTEM OPERATION IS STARTED BY THE H-O-A SWITCH UNIT SHALL OPERATE ACCORDING TO MANUFACTURER'S PACKAGED CONTROLS.

3. PRESSURE SWITCH PD-3 STOPS SYSTEM SHOULD MIXING PLENUM PRESSURE FALL BELOW MINUS 2" WG (ADJUSTABLE).

4. PRESSURE SWITCH PD-1 STOPS SYSTEM SHOULD SUPPLY AIR DUCT PRESSURE RISE ABOVE 4"WG (ADJUSTABLE).

PREPARATORY/(600 TO 700)/(ADJUSTABLE):

1. AHU STARTS. AHU SA FAN ON. D-1 IS CLOSED, D-2 IS OPEN.

2. WARM-UP: WHEN RETURN AIR TEMPERATURE AT T-4 IS BELOW 72 DEGREES F, T-4 SHALL RESET T-2 TO 70 DEGREES F. AIR TERMINAL UNIT DAMPER D-4 AND ELECTRIC REHEAT COIL THROUGH SCR CONTROL SHALL MODULATE IN SEQUENCE TO MAINTAIN SPACE TEMPERATURE AT T-8.

3. PROVIDE OPTIMUM START CONTROLS IN ACCORDANCE WITH ASHRAE 90.1-2013 TO OPTIMIZE START OF PREPARATORY MODE. SYSTEM SHALL LEARN WHEN TO START BASED ON OUTDOOR AIR TEMPERATURE AND HOW LONG THE PULL DOWN OR WARM UP MODE SHALL LAST.

OCCUPIED/(700 TO 1800)/(ADJUSTABLE):

1. AHU SA FAN ON. D-2 IS OPEN.

2. DAMPER D-1 OPENS TO MINIMUM POSITION.

3. WHEN OUTDOOR AIR TEMPERATURE AT T-1 IS BELOW 55 DEGREES F, MANUFACTURER'S SUPPLIED CONTROLS SHALL MODULATE D-1, D-2, V-1 AND GAS FIRED FURNACE TO MAINTAIN 55 DEGREES F TEMPERATURE AT T-2.

5. WHEN OUTDOOR AIR TEMPERATURE AT T-1 IS ABOVE 55 DEGREES F AND NOT IN ECONOMIZER MODE, REFRIGERATION SYSTEM SHALL BE ENERGIZED AND MANUFACTURER'S SUPPLIED CONTROLS SHALL OPERATE COOLING SYSTEM TO MAINTAIN 55 DEGREES F AT T-2.

6. ECONOMIZER CONTROL SHALL BE BY ELECTRONIC ENTHALPY CONTROL WITH HIGH LIMIT SHUT-OFF WHEN OUTDOOR AIR ENTHALPY EXCEEDS 28 BTU/LB OF DRY AIR DETERMINED BY OUTDOOR AIR SENSORS T-1/H-1 AND RETURN AIR SENSORS T-4/H-2. ECONOMIZER LOW LIMIT SHUT-OFF SHALL BE WHEN MIXED AIR TEMPERATURE AT T-7 IS BELOW 52 DEGREES F AT REQUIRED OUTDOOR AIRFLOW.

7. WHEN SA FAN IS AT MINIMUM AIRFLOW FOR 30 MINUTES, RESET SUPPLY AIR TEMPERATURE AT T-2 UP IN 1 DEGREE F EVERY 30 MINUTES UNTIL THE RELATIVE HUMIDITY AT H-2 RISES ABOVE 60 PERCENT AT WHICH POINT, SUPPLY AIR TEMPERATURE AT T-2 SHALL RESET TO 55 DEGREES F UNTIL RETURN RELATIVE HUMIDITY FAN FALLS BELOW 55 PERCENT. WHEN FAN IS ABOVE MINIMUM AIR FLOW FOR 30 MINUTES, RESET SUPPLY AIR TEMPERATURE DOWN IN 1 DEGREE F INCREMENTS EVERY 10 MINUTES.

FAN CAPACITY CONTROL:

1. STATIC PRESSURE SENSING STATION SPSS SHALL MODULATE THE SUPPLY AIR FAN SPEED THROUGH THE ASSOCIATED VFD, TO MAINTAIN MINIMUM 0.75" WG STATIC PRESSURE. AIR FLOW MEASURING STATION AFM-1 SHALL RESET AIR FLOW MEASURING STATION AFM-2. AFM-2 SHALL MODULATE THE AHU EA FAN SPEED THROUGH ASSOCIATED VFD ACCORDING TO THE INDICATED SCHEDULE TO MAINTAIN OA/EA DIFFERENTIAL.

2. THE BAS SHALL POLE THE POSITION OF ALL D-4 DAMPERS AND RESET SPSS SETPOINT UNTIL ONE D-4 DAMPER IS OPEN TO 90 PERCENT OF FULL AIR FLOW.

UNOCCUPIED/(1800 TO 600)/(ADJUSTABLE):

1. AHU SA AND EA FANS OFF. D-1 IS CLOSED. D-2 IS OPEN.

2. UNITS SHALL OPERATE AS INDICATED IN PREPARATORY MODE UNTIL TEMPERATURE SETPOINT IS MET AT T-8 FOR ALL SPACES.

3. WINTER NIGHT SETBACK TEMPERATURE SHALL BE 65 DEGREES F (ADJUSTABLE).

4. SUMMER NIGHT SETBACK TEMPERATURE SHALL BE 80 DEGREES F (ADJUSTABLE) AND RELATIVE HUMIDITY AT H-2 SHALL BE MAINTAINED BELOW 55%.

SMOKE DETECTORS:

1. WHEN SMOKE IS SENSED, BY EITHER SMOKE DETECTOR SD-1 OR SD-2, SYSTEM STOPS. AHU SYSTEM SHALL RETURN TO NORMAL OPERATION WHEN SD-1 AND SD-2 ARE MANUALLY RESET.

OUTDOOR AIR CONTROL:

1. IF THE CARBON DIOXIDE DIFFERENTIAL BETWEEN ANY SPACE SENSOR CO2-2 AND THE OUTDOOR AIR SENSOR CO2-1 EXCEEDS 500 PPM (ADJUSTABLE) THEN AFM-3 SHALL MODULATE D-4 TO MAINTAIN MINIMUM NORMAL OCCUPANCY AIRFLOW ACCORDING TO SCHEDULE. IF CARBON DIOXIDE DIFFERENTIAL FALLS BELOW 400 PPM, THEN AFM-3 SHALL MODULATE D-4 TO MAINTAIN MINIMUM LOW OCCUPANCY AIRFLOW ACCORDING TO SCHEDULE. AFM-3 SHALL MAINTAIN LOW OCCUPANCY AIRFLOW UNTIL THE CARBON DIOXIDE DIFFERENTIAL BETWEEN ANY SPACE SENSOR CO2-2 AND THE OUTDOOR AIR SENSOR CO2-1 EXCEEDS 500 PPM (ADJ).

AIR TERMINAL UNIT CONTROL:

1. SPACE TEMPERATURE SENSOR, T-8, SHALL MODULATE DAMPER, D-4, THROUGH VOLUME REGULATOR VR-1, FROM MAXIMUM AIRFLOW SETTING TO MINIMUM AIRFLOW SETTING, TO MAINTAIN 75 DEGREES F SPACE TEMPERATURE.

2. IF SPACE TEMPERATURE AT T-8 FALLS BELOW 70 DEGREES F, D-4 SHALL MODULATE THROUGH VOLUME REGULATOR VR-1 TO MAXIMUM HEATING CFM AND REHEAT COIL SCR SHALL MODULATE TO MAINTAIN 72 DEGREES F SPACE TEMPERATURE. IF SPACE TEMPERATURE REACHES 75 DEGREES F, REHEAT COIL SHALL BE DISABLED AND AIR TERMINAL UNIT SHALL RETURN TO NORMAL OPERATION.

3. IF THE CARBON DIOXIDE DIFFERENTIAL BETWEEN CO2-2 AND THE OUTDOOR AIR SENSOR CO2-1 EXCEEDS 400 PPM (ADJUSTABLE), VOLUME REGULATOR VR-1 SHALL MODULATE DAMPER D-4 TO MAXIMUM AIRFLOW. WHEN DIFFERENTIAL BETWEEN CO2-2 AND THE OUTDOOR AIR SENSOR CO2-1 FALLS BELOW 400 PPM (ADJUSTABLE), AIR TERMINAL UNIT SHALL RETURN TO NORMAL OPERATION.

4. ON A LOSS OF AIRFLOW ON A CALL FOR HEATING, THE ELECTRIC HEATING COIL SHALL BE DE-ENERGIZED AND SEND AN ALARM TO THE BAS.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #21005

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NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

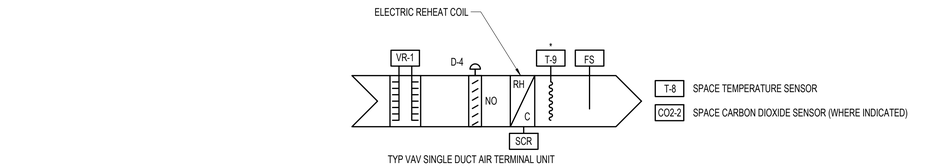
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 37247
EXPIRATION DATE: 01-09-2024

AUTOMATIC CONTROLS

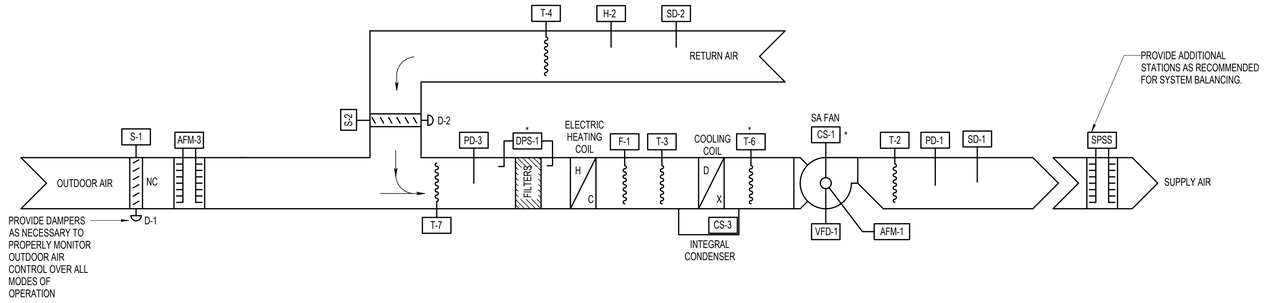
M701

NOTES:
1. DAMPER D-2 IS PROVIDED BY THE AHU MANUFACTURER.
1. DAMPER D-1 AND AIR FLOW MEASURING STATION AFM-3 ARE PROVIDED BY THE CONTROLS CONTRACTOR.
2. DAMPER D-4 IS PROVIDED WITH THE VAV TERMINAL UNIT MANUFACTURER.
3. DEVICES SHOWN WITH ASTERISKS HAVE NO CONTROL FUNCTION; PROVIDE INFORMATION ONLY.

T-1	OUTDOOR AIR TEMPERATURE SENSOR (GLOBAL)
CO2-1	OUTDOOR AIR CARBON DIOXIDE SENSOR (GLOBAL)
ESS	EMERGENCY SHUTDOWN SWITCH
RCP	REMOTE CONTROL PANEL (COORDINATE LOCATION WITH OWNER)
HOA	SYSTEM: HAND-OFF-AUTOMATIC SWITCH
H-1	OUTDOOR AIR HUMIDITY SENSOR (GLOBAL)



TYP VAV SINGLE DUCT AIR TERMINAL UNIT



AIR FLOW SCHEDULE				
AHU	SUPPLY AIR (SA) FAN		OUTDOOR AIR	
	MAX	MIN	MIN NORMAL OCCUPANCY	MIN LOW OCCUPANCY
AHU-4	1,125	355	250	100

VARIABLE AIR VOLUME AIR HANDLING UNIT CONTROL DIAGRAM (AHU-4)

GENERAL:

1. THE AIR HANDLING UNIT, REFRIGERANT AND FAN SYSTEMS SHALL BE STARTED AND STOPPED THROUGH A SYSTEM HAND-OFF-AUTOMATIC (HOA) SWITCH. WHEN INDEXED TO "HAND", THE SYSTEM SHALL BE ENERGIZED TO OPERATE UNDER THE CONTROL SEQUENCE. WHEN INDEXED TO "OFF", THE SYSTEM SHALL BE DE-ENERGIZED. WHEN INDEXED TO "AUTOMATIC", THE SYSTEM SHALL BE STARTED AND STOPPED THROUGH THE BUILDING AUTOMATION SYSTEM (BAS). THE H-O-A SWITCH POSITION SHALL BE MONITORED THROUGH THE BAS.

2. ALL SAFETIES AND ASSOCIATED CONTROL INTERLOCKS SHALL BE HARDWIRED AND REMAIN ACTIVE IN ALL H-O-A SWITCH POSITIONS.

3. COORDINATE VFD INTERFACE REQUIREMENTS WITH AHU AND VFD MANUFACTURERS.

4. PROVIDE A REMOTE EMERGENCY SHUTDOWN SWITCH (ESS) FOR SYSTEM SHUTDOWN. SWITCH SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE INSPECTOR. TYPICALLY INSTALL AT THE BUILDING ENTRANCE ADJACENT TO THE FIRE ALARM ANNUNCIATOR PANEL.

5. LOW LIMIT STAT T-3 SHALL ALARM WHEN DISCHARGE TEMPERATURE DROPS TO 40 DEGREES F.

6. ELECTRIC FREEZESTAT F-1 SHALL STOP SA FAN AT 35 DEGREES F, AN ALARM SHALL BE SENT THROUGH THE BAS.

7. COOLING SPACE SETPOINT AT T-8 SHALL BE 75 DEGREES F (ADJ) AND HEATING SPACE SETPOINT AT T-8 SHALL BE 72 (ADJ) DEGREES F.

8. ON A LOSS OF AIRFLOW ON A CALL FOR HEATING AS SENSED BY PRESSURE SWITCH PD-1, THE ELECTRIC HEATING COIL SHALL BE DE-ENERGIZED AND SEND AN ALARM TO THE BAS.

STARTING AND STOPPING:

1. WHEN SYSTEM OPERATION IS STARTED BY THE H-O-A SWITCH UNIT SHALL OPERATE ACCORDING TO MANUFACTURER'S PACKAGED CONTROLS.

2. PRESSURE SWITCH PD-3 STOPS SYSTEM SHOULD MIXING PLENUM PRESSURE FALL BELOW MINUS 2" WG (ADJUSTABLE).

3. PRESSURE SWITCH PD-1 STOPS SYSTEM SHOULD SUPPLY AIR DUCT PRESSURE RISE ABOVE 4"WG (ADJUSTABLE).

PREPARATORY/(600 TO 700)/(ADJUSTABLE):

1. AHU STARTS. AHU SA FAN ON. D-1 IS CLOSED, D-2 IS OPEN.

2. WARM-UP: WHEN RETURN AIR TEMPERATURE AT T-4 IS BELOW 72 DEGREES F, T-4 SHALL RESET T-2 TO 70 DEGREES F. AIR TERMINAL UNIT DAMPER D-4 AND ELECTRIC REHEAT COIL THROUGH SCR CONTROL SHALL MODULATE IN SEQUENCE TO MAINTAIN SPACE TEMPERATURE AT T-8.

3. PROVIDE OPTIMUM START CONTROLS IN ACCORDANCE WITH ASHRAE 90.1-2013 TO OPTIMIZE START OF PREPARATORY MODE. SYSTEM SHALL LEARN WHEN TO START BASED ON OUTDOOR AIR TEMPERATURE AND HOW LONG THE PULL DOWN OR WARM UP MODE SHALL LAST.

OCCUPIED/(700 TO 1800)/(ADJUSTABLE):

1. AHU SA FAN ON. D-2 IS OPEN.

2. DAMPER D-1 OPENS TO MINIMUM POSITION.

3. WHEN OUTDOOR AIR TEMPERATURE AT T-1 IS BELOW 55 DEGREES F, MANUFACTURER'S SUPPLIED CONTROLS SHALL MODULATE D-1, D-2, V-1 AND GAS FIRED FURNACE TO MAINTAIN 55 DEGREES F TEMPERATURE AT T-2.

5. WHEN OUTDOOR AIR TEMPERATURE AT T-1 IS ABOVE 55 DEGREES F AND NOT IN ECONOMIZER MODE, REFRIGERATION SYSTEM SHALL BE ENERGIZED AND MANUFACTURER'S SUPPLIED CONTROLS SHALL OPERATE COOLING SYSTEM TO MAINTAIN 55 DEGREES F AT T-2.

6. ECONOMIZER CONTROL SHALL BE BY ELECTRONIC ENTHALPY CONTROL WITH HIGH LIMIT SHUT-OFF WHEN OUTDOOR AIR ENTHALPY EXCEEDS 28 BTU/LB OF DRY AIR DETERMINED BY OUTDOOR AIR SENSORS T-1/H-1 AND RETURN AIR SENSORS T-4/H-2. ECONOMIZER LOW LIMIT SHUT-OFF SHALL BE WHEN MIXED AIR TEMPERATURE AT T-7 IS BELOW 52 DEGREES F AT REQUIRED OUTDOOR AIRFLOW.

7. WHEN SA FAN IS AT MINIMUM AIRFLOW FOR 30 MINUTES, RESET SUPPLY AIR TEMPERATURE AT T-2 UP IN 1 DEGREE F EVERY 30 MINUTES UNTIL THE RELATIVE HUMIDITY AT H-2 RISES ABOVE 60 PERCENT AT WHICH POINT, SUPPLY AIR TEMPERATURE AT T-2 SHALL RESET TO 55 DEGREES F UNTIL RETURN RELATIVE HUMIDITY FAN FALLS BELOW 55 PERCENT. WHEN FAN IS ABOVE MINIMUM AIR FLOW FOR 30 MINUTES, RESET SUPPLY AIR TEMPERATURE DOWN IN 1 DEGREE F INCREMENTS EVERY 10 MINUTES.

FAN CAPACITY CONTROL:

1. STATIC PRESSURE SENSING STATION SPSS SHALL MODULATE THE SUPPLY AIR FAN SPEED THROUGH THE ASSOCIATED VFD, TO MAINTAIN MINIMUM 0.75" WG STATIC PRESSURE.

2. THE BAS SHALL POLE THE POSITION OF ALL D-4 DAMPERS AND RESET SPSS SETPOINT UNTIL ONE D-4 DAMPER IS OPEN TO 90 PERCENT OF FULL AIR FLOW.

UNOCCUPIED/(1800 TO 600)/(ADJUSTABLE):

1. AHU SA FAN IS OFF. D-1 IS CLOSED. D-2 IS OPEN.

2. UNITS SHALL OPERATE AS INDICATED IN PREPARATORY MODE UNTIL TEMPERATURE SETPOINT IS MET AT T-8 FOR ALL SPACES.

3. WINTER NIGHT SETBACK TEMPERATURE SHALL BE 65 DEGREES F (ADJUSTABLE).

4. SUMMER NIGHT SETBACK TEMPERATURE SHALL BE 80 DEGREES F (ADJUSTABLE) AND RELATIVE HUMIDITY AT H-2 SHALL BE MAINTAINED BELOW 55%.

SMOKE DETECTORS:

1. WHEN SMOKE IS SENSED, BY EITHER SMOKE DETECTOR SD-1 OR SD-2, SYSTEM STOPS. AHU SYSTEM SHALL RETURN TO NORMAL OPERATION WHEN SD-1 AND SD-2 ARE MANUALLY RESET.

OUTDOOR AIR CONTROL:

AFM-3 SHALL MODULATE D-4 TO MAINTAIN OUTDOOR AIRFLOW ACCORDING TO SCHEDULE.

AIR TERMINAL UNIT CONTROL:

1. SPACE TEMPERATURE SENSOR, T-8, SHALL MODULATE DAMPER, D-4, THROUGH VOLUME REGULATOR VR-1, FROM MAXIMUM AIRFLOW SETTING TO MINIMUM AIRFLOW SETTING, TO MAINTAIN 75 DEGREES F SPACE TEMPERATURE.

2. IF SPACE TEMPERATURE AT T-8 FALLS BELOW 70 DEGREES F, D-4 SHALL MODULATE THROUGH VOLUME REGULATOR VR-1 TO MAXIMUM HEATING CFM AND REHEAT COIL SCR SHALL MODULATE TO MAINTAIN 72 DEGREES F SPACE TEMPERATURE. IF SPACE TEMPERATURE REACHES 75 DEGREES F, REHEAT COIL SHALL BE DISABLED AND AIR TERMINAL UNIT SHALL RETURN TO NORMAL OPERATION.

3. IF THE CARBON DIOXIDE DIFFERENTIAL BETWEEN CO2-2 AND THE OUTDOOR AIR SENSOR CO2-1 EXCEEDS 400 PPM (ADJUSTABLE), VOLUME REGULATOR VR-1 SHALL MODULATE DAMPER D-4 TO MAXIMUM AIRFLOW. WHEN DIFFERENTIAL BETWEEN CO2-2 AND THE OUTDOOR AIR SENSOR CO2-1 FALLS BELOW 400 PPM (ADJUSTABLE), AIR TERMINAL UNIT SHALL RETURN TO NORMAL OPERATION.

4. ON A LOSS OF AIRFLOW ON A CALL FOR HEATING, THE ELECTRIC HEATING COIL SHALL BE DE-ENERGIZED AND SEND AN ALARM TO THE BAS.

VARIABLE AIR VOLUME AIR HANDLING UNIT SEQUENCE OF OPERATION

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HENRY ADAMS
Consulting Engineers
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RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
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AUTOMATIC CONTROLS

M702

ELECTRICAL ABBREVIATIONS

A	AMPERE
ACCU	AIR COOLED CONDENSING UNIT
ACU	AIR CONDITIONING UNIT
ADA	AMERICANS WITH DISABILITIES ACT
AF	AMPERE FRAME, AMPERE FUSE
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
AIC	AMPERE INTERRUPTING CAPACITY
AL	ALUMINUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATING, AND AIR-CONDITIONING ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ASYM	ASYMMETRICAL
AT	AMPERE TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AUX	AUXILIARY
AWG	AMERICAN WIRE GAUGE
BAS	BUILDING AUTOMATION SYSTEM
BF	BALLAST FACTOR
BGE	BALTIMORE GAS & ELECTRIC
BOD	BASIS OF DESIGN
BS	BRANCH SELECTOR
C	CONDUIT
CB	CIRCUIT BREAKER
CCT	CORRELATED COLOR TEMPERATURE
CCTV	CLOSED CIRCUIT TELEVISION
CH	CHILLER
CKT	CIRCUIT
CMS	COMBINATION MOTOR STARTER
COMM	COMMUNICATION
CRI	COLOR RENDERING INDEX
CT	CURRENT TRANSFORMER
CU	COPPER
CX	CONNECT TO EXISTING
DOAS	DEDICATED OUTDOOR AIR SYSTEM
DS	DISCONNECT SWITCH
DWC	DRINKING WATER COOLER
DWG	DRAWING
E	EMERGENCY
EBH	ELECTRIC BASEBOARD HEATER
EBU	EMERGENCY BATTERY UNIT
ECB	ENCLOSED CIRCUIT BREAKER
EF	EXHAUST FAN
EMT	ELECTRICAL METALLIC TUBING
ENCL	ENCLOSURE
ENT	ELECTRICAL NONMETALLIC TUBING
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EWH	ELECTRIC WATER HEATER
EX	EXISTING
F	FUSED, FUSIBLE, FAHRENHEIT
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FCU	FAN COIL UNIT
FDR	FEEDER
FLA	FULL LOAD AMPERAGE
FMC	FLEXIBLE METAL CONDUIT
FP	FAN POWERED, FIRE PUMP
FSS	FUSED SAFETY SWITCH
FT	FEET
FVNR	FULL VOLTAGE NON-REVERSING
G	GROUND
GB	GROUND BAR
GD	GENERAL DUTY
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFEP	GROUND FAULT EQUIPMENT PROTECTOR
GFI	GROUND FAULT INTERRUPTER
GND	GROUND
GRC	GALVANIZED RIGID STEEL
GW	GROUND WIRE
HD	HEAVY DUTY
HDPE	HIGH-DENSITY POLYETHYLENE
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HPU	HEAT PUMP UNIT
HV	HIGH VOLTAGE
HVAC	HEATING VENTILATING AIR CONDITIONING
HZ	HERTZ
IBC	INTERNATIONAL BUILDING CODE
ICCB	INSULATED CASE CIRCUIT BREAKER
IEBC	INTERNATIONAL EXISTING BUILDING CODE
IECC	INTERNATIONAL ENERGY CONSERVATION CODE
IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
IG	ISOLATED GROUND
IGCC	INTERNATIONAL GREEN CONSTRUCTION CODE
IMC	INTERMEDIATE METALLIC CONDUIT
IN	INCH
IT	INFORMATION TECHNOLOGY
JB	JUNCTION BOX
K	ONE THOUSAND, KELVIN
KAIC	THOUSAND AMPERE INTERRUPTING CAPACITY
KCMIL	THOUSAND CIRCULAR MILS
KV	KILOVOLTS
KVA	KILOVOLT-AMPERES
KW	KILOWATTS
LC	LOAD CENTER
LED	LIGHT EMITTING DIODE
LF	LINEAR FEET
LFMC	LIQUID TIGHT FLEXIBLE METALLIC CONDUIT
LFNC	LIQUID TIGHT FLEXIBLE NON-METALLIC CONDUIT
LRA	LOCKED ROTOR AMPS
LS	LIMIT SWITCH, LONG TIME-SHORT TIME
LSI	LONG TIME-SHORT TIME-INSTANTANEOUS
LSIG	LONG TIME-SHORT TIME-INSTANTANEOUS GROUND FAULT
LTG	LIGHTING
LTS	LIGHTS
LV	LOW VOLTAGE
MAX	MAXIMUM
MC	METAL CLAD, METER CENTER
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROL CENTER
MCCB	MOLDED CASE CIRCUIT BREAKER
MCP	MOTOR CIRCUIT PROTECTOR
MDP	MAIN DISTRIBUTION PANEL
MGB	MAIN GROUND BAR
MH	MANHOLE, METAL HALIDE, MOUNTING HEIGHT
MIN	MINIMUM
MLO	MAIN LUGS ONLY
MMS	MANUAL MOTOR STARTER
MOCP	MAXIMUM OVERCURRENT PROTECTION
MOD	MOTOR OPERATED DAMPER
MTD	MOUNTED
MV	MEDIUM VOLTAGE
N	NEUTRAL
NAC	NOTIFICATION APPLIANCE CIRCUIT
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRICAL CODE
NECA	NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NF	NON-FUSED
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NFSS	NON-FUSED SAFETY SWITCH
NM	NON-METALLIC
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OCP	OVERCURRENT PROTECTION
OH	OVERHEAD
OHE	OVERHEAD ELECTRIC
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
P	POLE(1P, 2P, 3P)
PA	PUBLIC ADDRESS
PEPCO	POTOMAC ELECTRIC POWER COMPANY
PF	POWER FACTOR
PH	PHASE
PIR	PASSIVE INFRARED
PT	POTENTIAL TRANSFORMER
PVC	POLYVINYL CHLORIDE
QTY	QUANTITY
R	RACEWAY
REC	RECEPTACLE
RGS	RIGID GALVANIZED STEEL
RLA	RATED LOAD AMPERES
RM	ROOM
RMS	ROOT MEAN SQUARE
RNC	RIGID NONMETALLIC CONDUIT
RTU	ROOF TOP UNIT
RX	REMOVE EXISTING
SCTE	SOCIETY OF CABLE TELECOMMUNICATIONS ENGINEERS
SE	SERVICE ENTRANCE
SF	SQUARE FEET
SN	SOLID NEUTRAL
SPD	SURGE PROTECTION DEVICE
SS	SAFETY SWITCH
ST	SINGLE-THROW
SW	SWITCH
SWBD	SWITCHBOARD
SWGR	SWITCHGEAR
SYM	SYMMETRICAL
T	TRANSFORMER
TA	TRIP AMPERES
TECH	TECHNOLOGY
TGB	TELECOMMUNICATIONS GROUND BAR
THD	TOTAL HARMONIC DISTORTION
TIA	TELECOMMUNICATIONS INDUSTRY ASSOCIATION
TMGB	TELECOMMUNICATIONS MAIN GROUND BAR
TTB	TELEPHONE TERMINAL BOARD
TV	TELEVISION
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UH	UNIT HEATER
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
UTP	UNSHIELDED TWISTED PAIR
V	VOLTS
VA	VOLT-AMPERES
VFD	VARIABLE FREQUENCY DRIVE
VRF	VARIABLE REFRIGERANT FLOW
VSD	VARIABLE SPEED DRIVE
W	WIRE, WATTS
W/	WITH
WP	WEATHERPROOF
WR	WEATHER RESISTANT
XFMR	TRANSFORMER
Y	WYE

GENERAL ELECTRICAL NOTES

1. PROVIDE LABOR, MATERIALS, TOOLS, EQUIPMENT, COORDINATION, DELEGATED DESIGN AND INCIDENTALS NECESSARY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM.
2. PERFORM WORK AS REQUIRED BY APPLICABLE CODES, REGULATIONS AND LAWS OF LOCAL, STATE AND FEDERAL GOVERNMENTS AND OTHER AUTHORITIES WITH LAWFUL JURISDICTION.
3. MATERIAL AND EQUIPMENT SHALL BE LISTED AND LABELED BY NATIONALLY RECOGNIZED TESTING LABORATORIES FOR INTENDED SERVICE.
4. GIVE NOTICES, FILE PLANS, OBTAIN PERMITS AND LICENSES, PAY FEES AND BACK CHARGES, AND OBTAIN NECESSARY APPROVALS FROM AUTHORITIES THAT HAVE JURISDICTION.
5. MAINTAIN RECORD DRAWINGS ON SITE. RECORD SET SHALL BE COMPLETE, CURRENT, AND AVAILABLE UPON REQUEST.
6. SUBMIT FOR APPROVAL, SHOP DRAWINGS FOR EQUIPMENT AND MATERIALS USED ON PROJECT. OBTAIN APPROVAL BY ENGINEER PRIOR TO PURCHASE OF EQUIPMENT AND MATERIALS.
7. REPAIR OR REPLACE DAMAGE TO FACILITIES AND EQUIPMENT AT NO ADDITIONAL EXPENSE TO OWNER.
8. PATCH AND REPAIR DISTURBED AREAS TO MATCH ADJACENT SURFACES AND FINISHES.
9. PROVIDE TEMPORARY POWER AND LIGHTING FOR OTHER TRADES AS REQUIRED TO COMPLETE PROJECT IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.
10. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS. PROVIDE COMPONENTS INDICATED ON RISER DIAGRAMS WHETHER OR NOT INDICATED ON PLANS, AND VICE VERSA.
11. LOCATIONS SHOWN ON PLANS ARE APPROXIMATE AND REQUIRE COORDINATION WITH OTHER TRADES. ROUTING OF CONDUIT IS DIAGRAMMATIC IN NATURE AND NOT INTENDED TO SHOW REQUIRED OFFSETS AND DETAILS. OBTAIN DRAWINGS AND SPECIFICATIONS FROM OTHER TRADES AND COORDINATE WITH OTHER TRADES.
12. COORDINATE ELECTRICAL INSTALLATION WITH FIELD CONDITIONS. LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY REQUIRE ADJUSTMENT IN FIELD.
13. COORDINATE LOCATIONS OF ELECTRICAL DEVICES WITH ARCHITECTURAL ELEVATIONS, CASEWORK DETAILS, AND KITCHEN EQUIPMENT DRAWINGS PRIOR TO INSTALLATION.
14. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION OF MECHANICAL EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
15. REFER TO ARCHITECTURAL DRAWINGS FOR FIRE RATED WALLS REQUIRING SPECIAL CONSTRUCTION.
16. PERMANENTLY LABEL NEW ELECTRICAL EQUIPMENT, INCLUDING BUT NOT LIMITED TO, DEVICE DESIGNATION AND SUPPLY CIRCUIT DESIGNATION.
17. CORE DRILL CONCRETE WALLS AND FLOORS TO PROVIDE OPENINGS FOR CONDUIT INSTALLATION. MAXIMUM CORE DRILL SIZE SHALL BE 5-INCH DIAMETER. SPACE CORE DRILL LOCATIONS A MINIMUM OF 6" FROM EACH OTHER, MEASURED FROM CORE DRILL OPENINGS. PROPERLY SEAL OPENINGS ACCORDING TO LOCATION AND APPLICATION.
18. PROVIDE EACH CIRCUIT WITH A DEDICATED NEUTRAL UNLESS NOTED OTHERWISE.
19. CONDUIT HOMERUNS SHOWN ON DRAWINGS WITH MORE THAN 3 CURRENT CARRYING CONDUCTORS ARE SHOWN DIAGRAMMATICALLY. DO NOT INSTALL MORE THAN 3 CURRENT CARRYING CONDUCTORS IN A SINGLE RACEWAY UNLESS INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
20. PROVIDE FIRESTOPPING FOR ELECTRICAL PENETRATIONS IN FIRE RATED ASSEMBLIES.
21. INSTALL ELECTRICAL WORK IN A NEAT AND WORKMANLIKE MANNER, RECTILINEAR TO BUILDING STRUCTURE. INSTALL RACEWAYS TIGHT TO STRUCTURAL CEILING AND AS HIGH AS POSSIBLE WITHIN CEILING SPACES TO MAINTAIN MAXIMUM AMOUNT OF CLEAR SPACE BELOW RACEWAY.
22. INSTALL RACEWAYS CONCEALED IN BUILDING FINISHES FOR ALL EXTERIOR MOUNTED DEVICES. DO NOT ROUTE EXPOSED ON BUILDING EXTERIOR.
23. INSTALL RACEWAYS CONCEALED IN WALLS, UNDER FLOORS, ABOVE CEILINGS, ETC., EXCEPT AS FOLLOWS:
    A. WHERE SUSPENDED CEILINGS ARE NOT PROVIDED.
    B. IN VERTICAL SHAFTS, ELECTRICAL CLOSETS, ETC., MECHANICAL AND ELECTRICAL EQUIPMENT SPACES WHERE CONCEALMENT IS NOT PRACTICAL.
    C. AT SURFACE-MOUNT PANELBOARDS IN OTHERWISE FINISHED SPACES LIMITED TO VERTICAL RUNS ABOVE AND BELOW PANEL.
    D. WHERE REQUIRED FOR EQUIPMENT CONNECTIONS.
    E. WHERE SPECIFICALLY INDICATED ON DRAWINGS.
24. OWNER-FURNISHED EQUIPMENT: VERIFY AND COORDINATE ELECTRICAL ROUGH-IN REQUIREMENTS FOR OWNER-FURNISHED EQUIPMENT WITH OWNER PRIOR TO PULLING CONDUCTORS AND MAKING FINAL CONNECTIONS. LACK OF COORDINATION SHALL NOT JUSTIFY CHANGE ORDERS.
25. WHERE SUBMITTED EQUIPMENT REQUIRES REVISION TO OVERCURRENT PROTECTION, CONDUIT, AND WIRING, COORDINATE AND MAKE CHANGE TO PROVIDE A COMPLETE INSTALLATION IN ACCORDANCE WITH APPLICABLE CODES.
26. PRIOR TO SUBMITTING BID, VISIT SITE AND BECOME THOROUGHLY FAMILIAR WITH EXISTING CONDITIONS AND PROPOSED CONSTRUCTION.
27. COORDINATE WORK WITH PHASES INDICATED ON DRAWINGS OF OTHER TRADES.
28. PROVIDE NECESSARY SUPPORTING STRUT CHANNEL AND ALL MISCELLANEOUS HARDWARE FOR MOUNTING ELECTRICAL EQUIPMENT. MAINTAIN NEC WORKING CLEARANCES. COORDINATE EXACT LOCATION IN FIELD. DO NOT MOUNT ON EQUIPMENT ACCESS PANELS OR IN EQUIPMENT MANUFACTURER'S RECOMMENDED MAINTENANCE CLEARANCES.

GENERAL ELECTRICAL DEMOLITION/RENOVATION NOTES

1. THE FACILITY WILL REMAIN OCCUPIED DURING RENOVATIONS.
2. MINIMIZE OUTAGES. COORDINATE OUTAGES WITH OWNER.
3. IDENTIFY NONFUNCTIONING EQUIPMENT AND DEVICES TO REMAIN AFTER DEMOLITION. NOTIFY OWNER IN WRITING PRIOR TO DEMOLITION. UPON COMPLETION OF WORK, ENSURE THAT EXISTING EQUIPMENT AND DEVICES OPERATE PROPERLY.
4. EXISTING CONDITIONS REFLECT GENERAL OBSERVATIONS AND ARE NOT INTENDED TO INDICATE DETAILS OR DIMENSIONS. NO ATTEMPT HAS BEEN MADE TO SHOW ALL ELECTRICAL EQUIPMENT. VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. NOTIFY ARCHITECT IN WRITING IF CONDITIONS ARE DISCOVERED THAT PREVENT EXECUTION OF WORK.
5. PROTECT REMAINING ELECTRICAL SYSTEMS AND COMPONENTS FROM DAMAGE. REMOVE PROTECTIVE MATERIALS UPON COMPLETION OF WORK.
6. IN AREAS NOTED TO REMOVE ELECTRICAL WORK, REMOVE CONDUITS AND ASSOCIATED SUPPORTS BACK TO POINT OF CONCEALMENT AND REMOVE WIRING BACK TO REMAINING ACTIVE DEVICES OR SOURCE.
7. DISPOSE OF LIGHTING BALLASTS AND CAPACITORS CONTAINING PCB'S, AS DEFINED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA), IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, FEDERAL AND EPA REGULATIONS.
8. UPDATE PANELBOARD DIRECTORIES TO INCLUDE MODIFICATIONS BY THIS PROJECT. TRACE CIRCUITS TO IDENTIFY UNLABELED LOADS.
9. PROVIDE BLANK COVER PLATES FOR DEVICES REMOVED WHEN A REPLACEMENT DEVICE IS NOT INDICATED.
10. PRIOR TO SUBMITTING BID, VISIT SITE AND IDENTIFY EXISTING CONDITIONS AND CHALLENGES THAT WILL AFFECT DEMOLITION AND CONSTRUCTION. REPORT DISCREPANCIES TO OWNER DURING BID PROCESS. ADDITIONAL COMPENSATION WILL NOT BE GRANTED FOR WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS.
11. WHERE CIRCUITS ARE REMOVED BACK TO PANELS, ASSOCIATED CIRCUIT BREAKERS WILL BE UTILIZED FOR NEW CIRCUITING.

INTERNATIONAL GREEN CONSTRUCTION CODE ELECTRICAL COMPLIANCE NOTES

IGCC.1 VOLTAGE DROP IN FEEDERS SHALL NOT EXCEED 1.5 PERCENT AT DESIGN LOAD TO SATISFY IGCC 608.8.1.2.

IGCC.2 VOLTAGE DROP IN BRANCH CIRCUITS SHALL NOT EXCEED 1.5 PERCENT AT DESIGN LOAD TO SATISFY IGCC 608.8.1.3.

IGCC.4 PROVIDE PLUG LOAD CONTROL OF RECEPTACLES IN CLASSROOMS AND SIMILAR SPACES TO SATISFY IGCC 608.6. MARK CONTROLLED RECEPTACLES TO DIFFERENTIATE THEM FROM UNCONTROLLED RECEPTACLES.

IGCC.5 PROVIDE LIGHTING CONTROLS TO SATISFY IGCC 608.

IGCC.6 PROVIDE ELECTRICAL DISTRIBUTION SYSTEM TO FACILITATE THE COLLECTION OF DATA FOR EACH ENERGY USE TYPE TO SAFTISFY IGCC 603.2

IGCC.7 PROVIDE ELECTRICAL DISTRIBUTION SYSTEM WITH THE CAPABILITY TO BE METERED TO SATISFY IGCC 603.3

IGCC.8 PROVIDE ELECTRICAL DISTRIBUTION SYSTEM WITH THE CAPABILITY TO ACCOMMODATE THE FUTURE INSTALLATION OF SUB-METERS TO SATISFY IGCC 603.4.1.

ELECTRICAL CONVENTIONS

LIGHTING

- A / 1b — LUMINAIRE TYPE - SEE LUMINAIRE SCHEDULE; CIRCUIT NUMBER; CONTROL POINT DESIGNATION (IF MORE THAN ONE)
- A / 1 — INDICATES TWO OUTBOARD LAMPS SWITCHED SEPARATELY FROM INBOARD LAMP(S) FOR MULTIPLE ILLUMINATION LEVELS
- A / 1 — LUMINAIRE WITH INTEGRAL BATTERY BACKUP
- STEM INDICATES WALL MOUNTED LUMINAIRE, MOUNTING HEIGHT AS NOTED
- 2S OS&1 — NUMBER OF CONTROL POINTS; TYPE OF CONTROL; CONTROL ZONE REFERENCE

REFERENCE

- 1 / E501 — SECTION DESIGNATION; NUMBER DENOTES SECTION IDENTIFICATION; DRAWING NUMBER WHERE DETAIL IS LOCATED
- 1 / E501 — DETAIL DESIGNATION; NUMBER DENOTES SECTION IDENTIFICATION; DRAWING NUMBER WHERE DETAIL IS LOCATED
- (1) — SPECIAL NOTE (APPLIES WHERE INDICATED ON THE DRAWING)
- S-1 — SPECIAL EQUIPMENT NUMBER

WIRING

- 1 — INDICATES PANELBOARD CIRCUIT DESIGNATION; DEVICE TYPE
- 1,3,5(LP-1) — BRANCH CIRCUIT HOMERUN TO PANEL "LP-1", CIRCUITS #1,3,5
- CONCEALED CONDUIT IN CEILING OR WALLS
- CONDUIT IN OR UNDER FLOOR
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- CONDUIT, CAPPED

GENERAL NOTE: WHERE WIRE SIZE IS INDICATED AT THE HOMERUN OR ON THE SCHEDULE TO BE LARGER THAN THE SPECIFIED MINIMUM PROVIDE THE INDICATED WIRE SIZE THROUGHOUT THE ENTIRE BRANCH CIRCUIT.

MOUNTING HEIGHTS

- INDICATES DEVICE TO BE MOUNTED 8" ABOVE COUNTERTOP BACKSPLASH; DEVICE TYPE
- 24" — INDICATES DEVICE MOUNTING HEIGHT ABOVE FINISHED FLOOR OR ABOVE FINISHED GRADE (AS APPROPRIATE); DEVICE TYPE

PRESENTATION

- ELECTRICAL EQUIPMENT DESIGNATED BY SOLID HEAVY LINEWEIGHT INDICATES NEW WORK TO BE PROVIDED.
- ELECTRICAL EQUIPMENT DESIGNATED BY SOLID LIGHT LINEWEIGHT INDICATES EXISTING EQUIPMENT TO REMAIN, UNLESS OTHERWISE INDICATED.
- ELECTRICAL EQUIPMENT DESIGNATED BY DASHED HEAVY LINEWEIGHT REPRESENTS EXISTING EQUIPMENT TO BE REMOVED AND DISPOSED, UNLESS INDICATED TO BE REMOUNTED, RELOCATED, OR TURNED OVER TO OWNER.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
	LUMINAIRE	- -
	EMERGENCY LUMINAIRE, BATTERY POWERED - SEE SCHEDULE FOR TYPE	- -
	COMBINATION ILLUMINATED EXIT SIGN AND BATTERY POWERED EMERGENCY LUMINAIRE	- -
	ILLUMINATED EXIT SIGN, SINGLE FACE, ARROW INDICATES DIRECTIONAL CHEVRON, CEILING/WALL MOUNT	- - / 90°
	ILLUMINATED EXIT SIGN, DOUBLE FACE, ARROW INDICATES DIRECTIONAL CHEVRON, CEILING/WALL MOUNT	- - / 90°
LCP	LIGHTING CONTROL RELAY PANEL	72" TO TOP
LC	LIGHTING CONTACTOR	- -
TC	TIME CLOCK	72" TO TOP
$S	SINGLE POLE TOGGLE SWITCH	46"
$3	THREE-WAY TOGGLE SWITCH	46"
$OS	OCCUPANCY SENSOR SWITCH	46"
$LV1	LOW VOLTAGE SWITCH FOR ONE ZONE, ON/OFF CONTROL	46"
$LV1D	LOW VOLTAGE SWITCH FOR ONE ZONE, ON/OFF AND UP/DOWN DIMMING	46"
$LV2D	LOW VOLTAGE SWITCH FOR TWO ZONES, ON/OFF AND UP/DOWN DIMMING	46"
OS OS	OCCUPANCY SENSOR, CEILING/WALL MOUNT SUBSCRIPTS: DT: DUAL TECHNOLOGY (DEFAULT IF NO SUBSCRIPT INDICATED) U: ULTRASONIC P: PASSIVE INFRARED	- - / 92"
PC	OUTDOOR PHOTOCELL	- -
PS	INDOOR PHOTOSENSOR, CEILING MOUNTED	- -
	OCCUPANCY SENSOR - POWER PACK	ABOVE CEILING
(SIMPLEX) (DUPLEX) (QUAD)	RECEPTACLE - NEMA CONFIGURATION 5-20R. SHADING INDICATES CONNECTED TO EMERGENCY/STANDBY POWER CIRCUIT SUBSCRIPTS: GFI: WITH 5mA GROUND FAULT INTERRUPTER C: CONTROLLED SPD: INTEGRAL SURGE PROTECTION AND INDICATOR LIGHT TR: TAMPER-RESISTANT EXP: EXPLOSION PROOF USB: WITH USB CHARGING RECEPTACLES WP: WEATHER-RESISTANT RECEPTACLE WITH WEATHERPROOF WHILE-IN-USE COVER	18"
(DUPLEX) (QUAD)	COMBINATION DUPLEX OR QUAD RECEPTACLE AND COMBINATION TELEPHONE/DATA OUTLET, FLOOR MOUNTED SUBSCRIPTS: F: FLUSH MOUNTED T: TOMBSTONE MOUNTED P: POKE-THRU MOUNTED	- -
	JUNCTION BOX, CEILING AND WALL MOUNTED	- - / AS NOTED
	SAFETY SWITCH	60" TO TOP
	PANELBOARD, SURFACE AND FLUSH MOUNTED	78" TO TOP
$M	FRACTIONAL HORSEPOWER MANUAL MOTOR SWITCH	46"
$MHOA	FRACTIONAL HORSEPOWER MANUAL MOTOR SWITCH WITH HAND-OFF-AUTOMATIC SWITCH	46"
	MOTOR	- -
	TELEPHONE OUTLET, WALL MOUNTED SUBSCRIPTS: W: WITH WALL TELEPHONE MOUNTING LUGS (MOUNT AT 52")	18"
	WALL BOX WITH PULL STRING FOR TELEPHONE/DATA OUTLET	18"
	GROUNDING SYSTEM - GROUND ROD	- -
	MOLDED CASE CIRCUIT BREAKER (600V AND BELOW)	- -
	CURRENT LIMITING FUSE (600V AND BELOW)	- -
	DISCONNECT SWITCH (600V AND BELOW)	- -
	TRANSFORMER	- -

NOTES: (APPLICABLE TO ELECTRICAL LEGEND ONLY)

1. THE MOUNTING HEIGHTS GIVEN ON THIS SHEET IN THE ELECTRICAL LEGEND ARE GENERAL AND SHALL BE USED ONLY WHEN MOUNTING HEIGHTS CANNOT BE ESTABLISHED BY REFERENCE TO DETAILS, ELEVATIONS, AND NOTES ON THE DRAWINGS.
2. ALL MOUNTING HEIGHTS, UNLESS OTHERWISE NOTED, SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE CENTERLINE OF THE OUTLET OR DEVICE.
3. HEIGHTS OF ALL ITEMS NOT COVERED BY THE ELECTRICAL LEGEND AND NOT SHOWN ON THE DRAWINGS SHALL BE AS DIRECTED BY THE ARCHITECT OR ENGINEER.
4. WHERE PLACING ANY ITEM AT THE HEIGHTS LISTED OR NOTED WILL CAUSE INTERFERENCE WITH THE WORK OF OTHER TRADES, OR IS NOT PHYSICALLY POSSIBLE OR DESIRABLE FOR ONE REASON OR ANOTHER, THE ITEM SHALL BE INSTALLED AT A LOCATION APPROVED BY THE ARCHITECT OR ENGINEER.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #21005

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NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 42418
EXPIRATION DATE: 06-06-2024

ELECTRICAL COVER SHEET

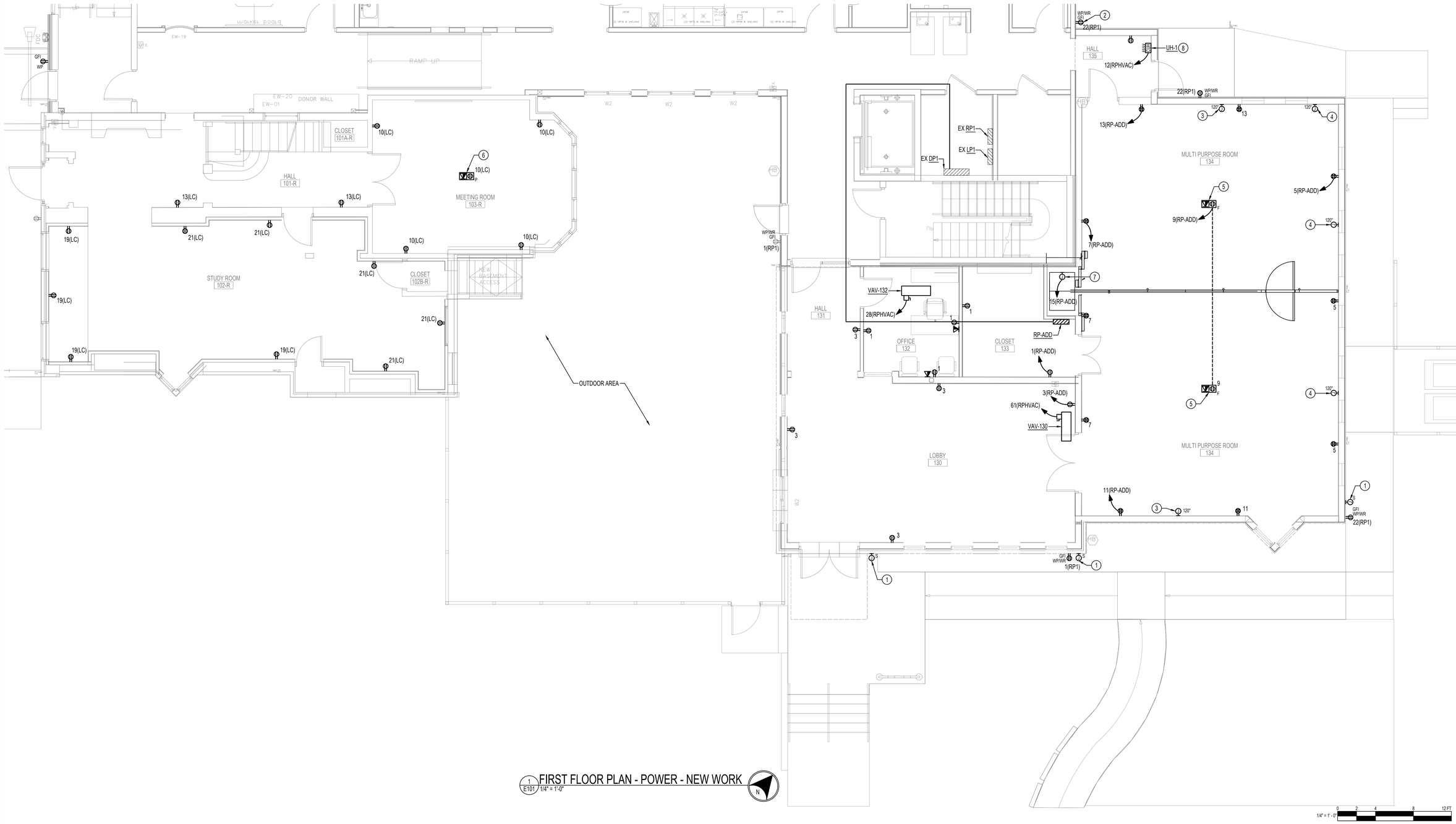
E001

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. RELOCATE EXISTING SECURITY DEVICE TO THIS LOCATION. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHITECT. EXTEND WIRING AND CONDUIT AS REQUIRED TO NEW LOCATION.
2. RELOCATE EXISTING POWER DEVICE TO THIS LOCATION. EXTEND WIRING AND CONDUIT AS REQUIRED TO NEW LOCATION.
3. FOR MOTOR-OPERATED PROJECTOR SCREEN. MOUNT 10'-0" AFF.
4. FOR MOTOR-OPERATED WINDOW SHADE. MOUNT 10'-0" AFF.
5. TWO-GANG FLUSH FLOOR BOX WITH NEMA 5-20R DUPLEX RECEPTACLE AND ACCOMMODATIONS FOR TELECOM/DATA OUTLETS.
6. FLUSH FLOOR-MOUNTED POWER/DATA POKE-THROUGH WITH NEMA 5-20R DUPLEX RECEPTACLE AND RJ-45 JACKS.
7. FOR MOTOR-OPERATED PARTITION, 120V, 1-PHASE, 1HP, 14 FLA.
8. DISCONNECT SWITCH FURNISHED INTEGRAL WITH EQUIPMENT.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.
3. ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
4. ROUTE ALL WIRING AND CONDUIT ASSOCIATED WITH EXTERIOR BUILDING MOUNTED DEVICES CONCEALED WITHIN BUILDING FINISHES.
5. COORDINATE EXACT MOUNTING HEIGHTS FOR ELECTRICAL DEVICES WITH ARCHITECTURAL ELEVATIONS.



1 E101 FIRST FLOOR PLAN - POWER - NEW WORK
1/4" = 1'-0"

1/4" = 1'-0" 0 2 4 8 12 FT

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Colbert Matz Rosenfelt, Inc.
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Baltimore, MD 21209

Structural Engineer:
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2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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FIRST FLOOR PLAN - POWER - NEW WORK

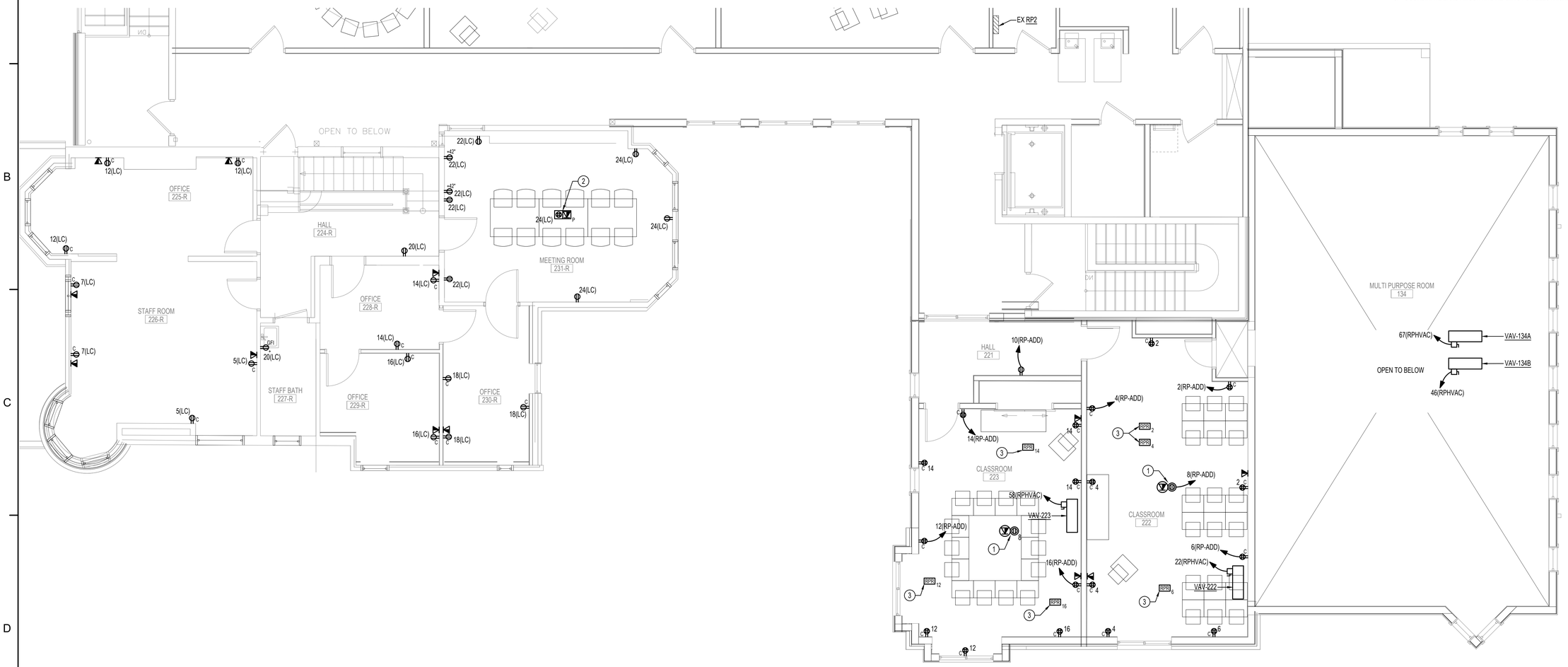
E101

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. TWO-GANG CEILING-MOUNTED BOX FOR PROJECTOR WITH NEMA 5-20R DUPLEX RECEPTACLE AND DATA OUTLET.
2. FLUSH FLOOR-MOUNTED POWER/DATA POKE-THROUGH WITH NEMA 5-20R DUPLEX RECEPTACLE AND RJ-45 JACKS.
3. FOR CONTROL OF RECEPTACLES TO SATISFY INTERNATIONAL GREEN CONSTRUCTION CODE SECTION 608.6, MARK CONTROLLED RECEPTACLES TO DIFFERENTIATE THEM FROM NON-CONTROLLED RECEPTACLES.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.
3. ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
4. ROUTE ALL WIRING AND CONDUIT ASSOCIATED WITH EXTERIOR BUILDING MOUNTED DEVICES CONCEALED WITHIN BUILDING FINISHES.
5. COORDINATE EXACT MOUNTING HEIGHTS FOR ELECTRICAL DEVICES WITH ARCHITECTURAL ELEVATIONS.



1 E102 SECOND FLOOR PLAN - POWER - NEW WORK
1/4" = 1'-0"

1/4" = 1'-0" 0 2 4 8 12 FT

1			
No.	Date	Appr	Revision Notes

2		
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CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

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SECOND FLOOR PLAN - POWER - NEW WORK

E102

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.

1 E103 ATTIC AND ROOF PLAN - POWER - NEW WORK
1/4" = 1'-0"

N

1/4" = 1'-0" 0 2 4 8 12 FT

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CIVIL ENGINEER:
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Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
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Baltimore, MD 21218

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RM Sovich Architecture
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office@rmsarchitecture.com

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ATTIC AND ROOF PLAN - POWER - NEW WORK

E103

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. RELOCATE EXISTING LUMINAIRE TO THIS LOCATION. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHITECT. EXTEND WIRING AND CONDUIT AS REQUIRED TO NEW LOCATION.
2. CONNECT TO EXISTING LINEAR HALL LIGHTING CIRCUIT AND CONTROL ZONE.
3. CONNECT TO EXISTING EXTERIOR LIGHTING CIRCUIT AND CONTROL ZONE, TYPICAL.
4. FOR SWITCHED ZONES, CONNECT THROUGH EXISTING LIGHTING CONTROL PANEL SPARE RELAYS.
5. FOR HALL ZONE, CONNECT THROUGH EXISTING LIGHTING CONTROL PANEL SPARE RELAY.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
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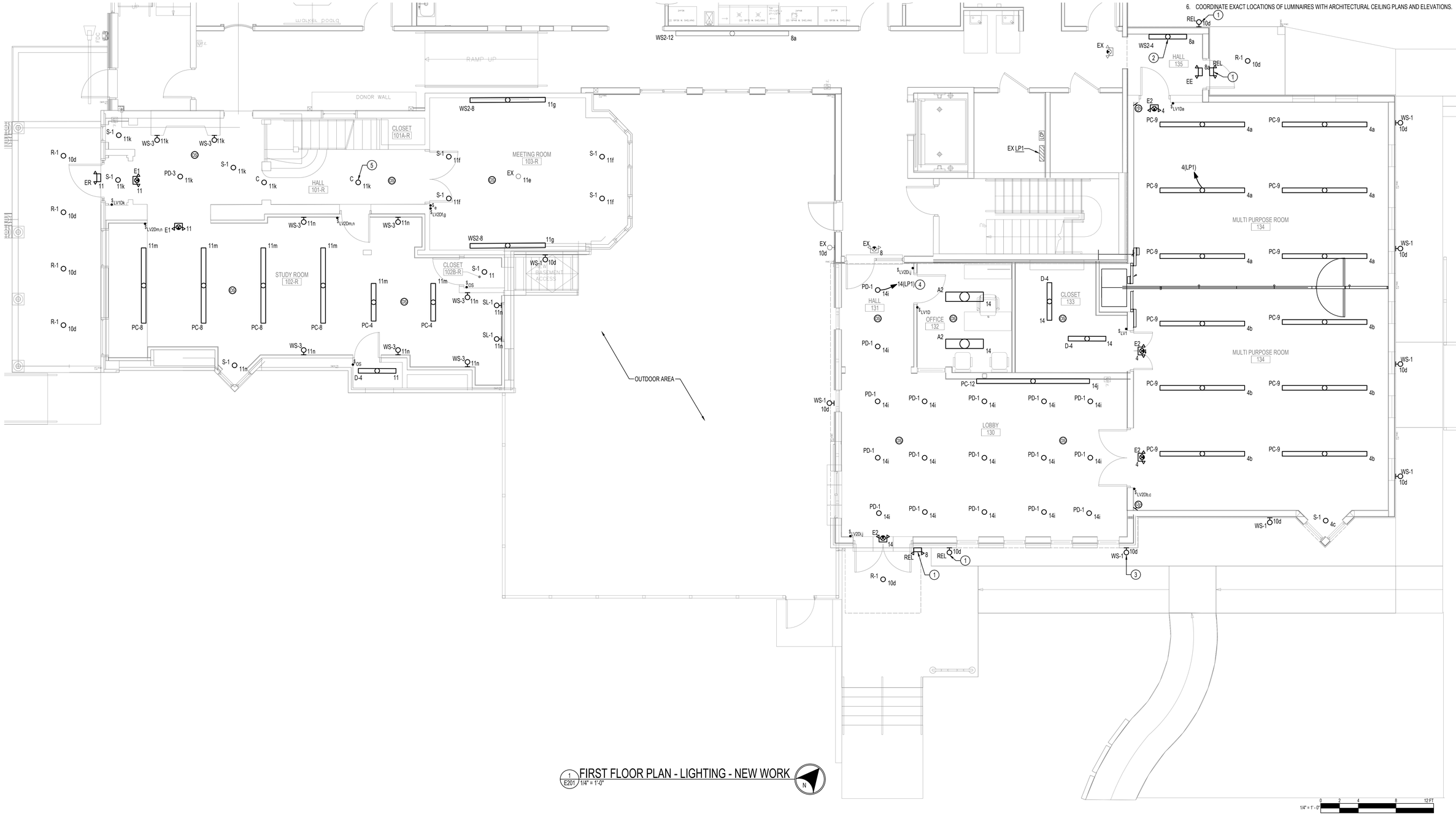
3. ROUTE ALL WIRING AND CONDUIT ASSOCIATED WITH EXTERIOR BUILDING MOUNTED DEVICES CONCEALED WITHIN BUILDING FINISHES.
4. FOR LUMINAIRES WITH EMERGENCY BATTERY DRIVERS, PROVIDE BATTERY WITH UNSWITCHED HOT LEG FROM SAME BRANCH CIRCUIT AS NORMAL DRIVER. THIS IS FOR BATTERY CHARGING AND TO SENSE NORMAL POWER FAILURE. PROVIDE SWITCHED HOT LEG TO NORMAL DRIVER.
5. ALL EXIT SIGNS AND EMERGENCY BATTERY UNITS SHALL BE ON UNSWITCHED CIRCUITS.
6. COORDINATE EXACT LOCATIONS OF LUMINAIRES WITH ARCHITECTURAL CEILING PLANS AND ELEVATIONS.



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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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LICENSE NO: 42418
EXPIRATION DATE: 06-06-2024

FIRST FLOOR PLAN - LIGHTING - NEW WORK

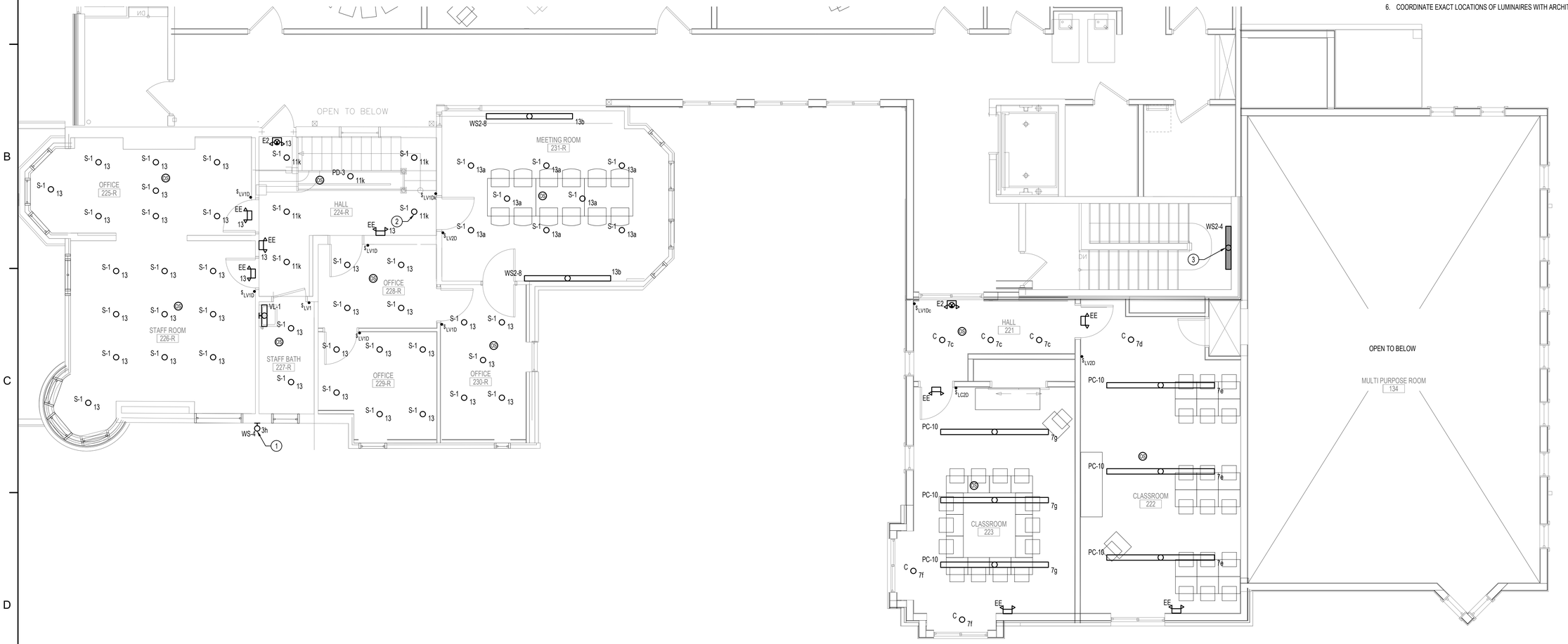
E201

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. CONNECT TO EXISTING EXTERIOR LIGHTING CIRCUIT AND CONTROL ZONE.
2. FOR HALL ZONE, CONNECT THROUGH EXISTING LIGHTING CONTROL PANEL SPARE RELAY.
3. LOCATE 10'-0" ABOVE EXISTING STAIR LUMINAIRE. CONNECT TO SAME CIRCUIT.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.
3. ROUTE ALL WIRING AND CONDUIT ASSOCIATED WITH EXTERIOR BUILDING MOUNTED DEVICES CONCEALED WITHIN BUILDING FINISHES.
4. FOR LUMINAIRES WITH EMERGENCY BATTERY DRIVERS, PROVIDE BATTERY WITH UNSWITCHED HOT LEG FROM SAME BRANCH CIRCUIT AS NORMAL DRIVER. THIS IS FOR BATTERY CHARGING AND TO SENSE NORMAL POWER FAILURE. PROVIDE SWITCHED HOT LEG TO NORMAL DRIVER.
5. ALL EXIT SIGNS AND EMERGENCY BATTERY UNITS SHALL BE ON UNSWITCHED CIRCUITS.
6. COORDINATE EXACT LOCATIONS OF LUMINAIRES WITH ARCHITECTURAL CEILING PLANS AND ELEVATIONS.



1 E202 SECOND FLOOR PLAN - LIGHTING - NEW WORK
1/4" = 1'-0"

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

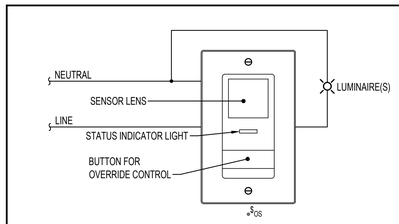
PROJECT #21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE January 10, 2023

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 42418
EXPIRATION DATE: 06-06-2024

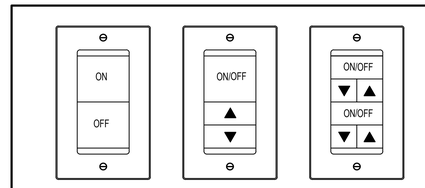
SECOND FLOOR PLAN - LIGHTING - NEW WORK

E202



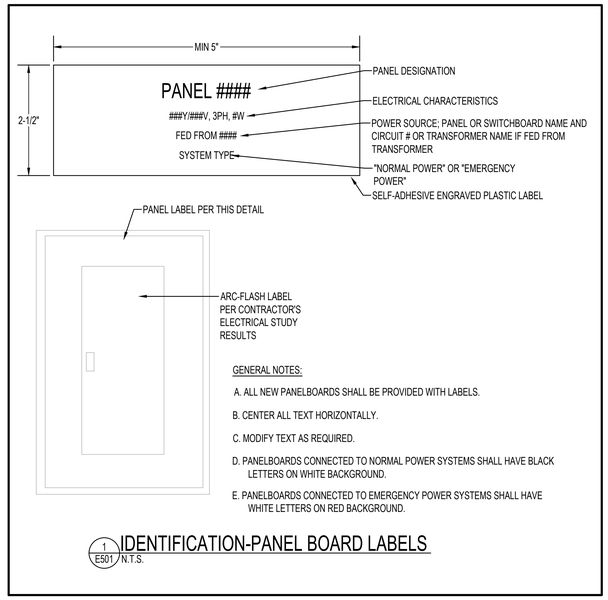
BASIS OF DESIGN PRODUCT: SENSOR SWITCH MODEL #WSX PDT
NOTE: GROUND WIRE NOT SHOWN, HOWEVER PROVIDE EQUIPMENT GROUNDING CONDUCTOR WITH ALL CIRCUIT WIRING PER NEC.

3 E501 WALLBOX OCCUPANCY SENSOR SWITCH N.T.S.



LOW VOLTAGE SWITCH TYPE LV1 nLIGHT MODEL NPODM *S LV1
LOW VOLTAGE SWITCH TYPE LV1D nLIGHT MODEL NPODM DX *S LV1D
LOW VOLTAGE SWITCH TYPE LV2D nLIGHT MODEL NPODM 2P DX *S LV2D

2 E501 LIGHTING CONTROL DIGITAL SWITCHES N.T.S.



GENERAL NOTES:

A. ALL NEW PANELBOARDS SHALL BE PROVIDED WITH LABELS.

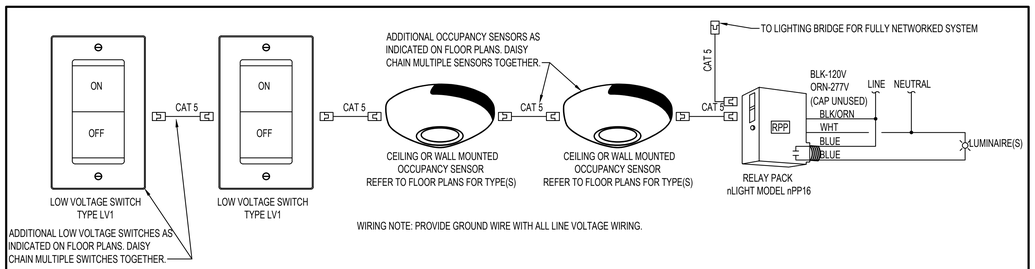
B. CENTER ALL TEXT HORIZONTALLY.

C. MODIFY TEXT AS REQUIRED.

D. PANELBOARDS CONNECTED TO NORMAL POWER SYSTEMS SHALL HAVE BLACK LETTERS ON WHITE BACKGROUND.

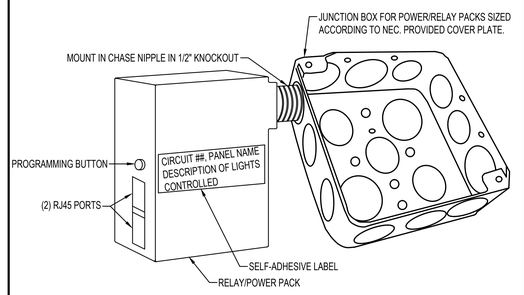
E. PANELBOARDS CONNECTED TO EMERGENCY POWER SYSTEMS SHALL HAVE WHITE LETTERS ON RED BACKGROUND.

1 E501 IDENTIFICATION-PANEL BOARD LABELS N.T.S.



WIRING NOTE: PROVIDE GROUND WIRE WITH ALL LINE VOLTAGE WIRING.

5 E501 ONE-ZONE LIGHTING CONTROL WITH OCCUPANCY SENSOR N.T.S.



4 E501 TYPICAL RELAY PACK INSTALLATION N.T.S.

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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
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Baltimore, MD 21217

PROJECT # 21005

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NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

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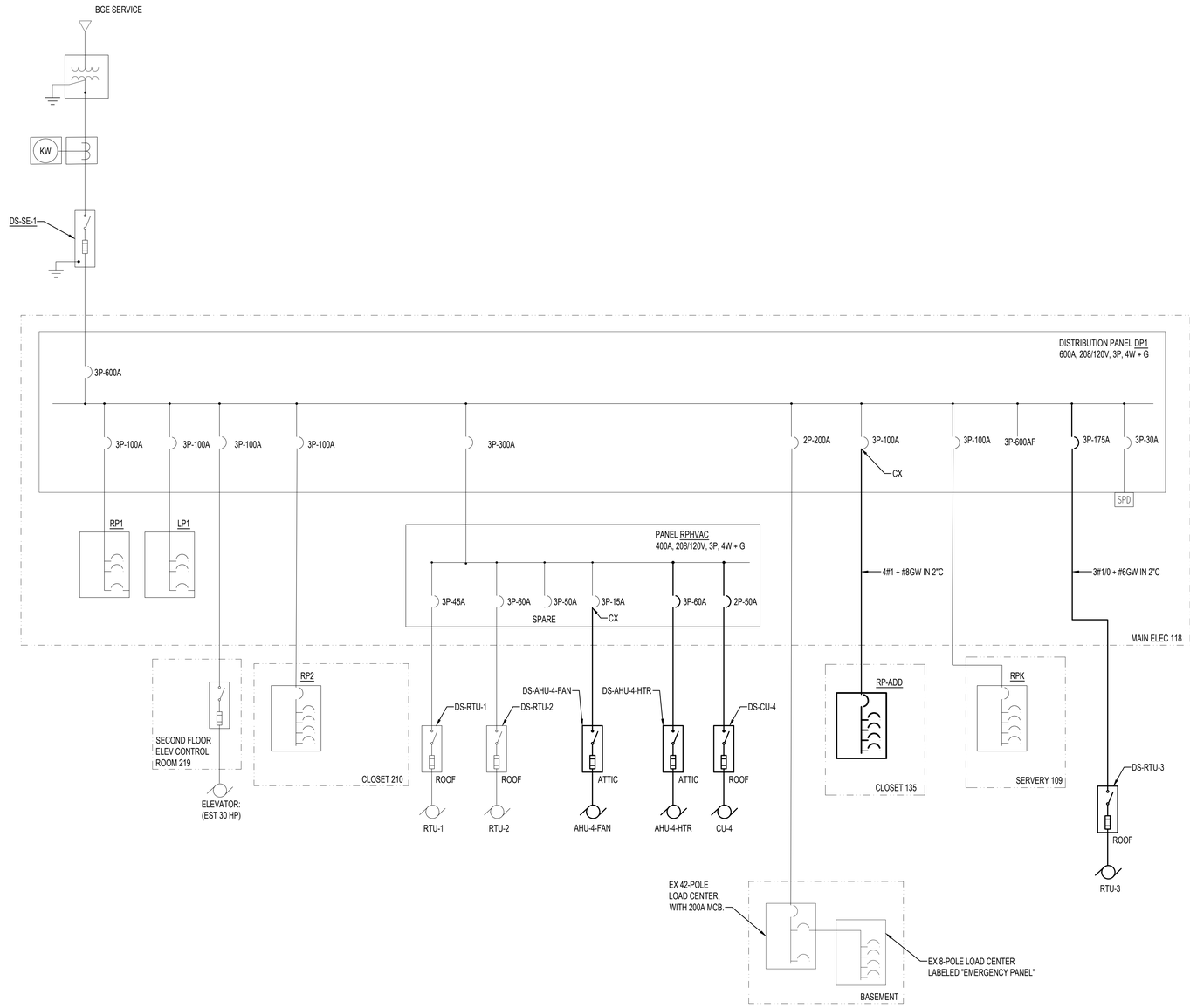
ELECTRICAL DETAILS

E501



1 E601 ELECTRICAL ONE-LINE DIAGRAM
NOT TO SCALE

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ELECTRICAL RISERS

E601

TYPICAL SPACE TYPE	LINE VOLTAGE CONTROL DEVICES: TOGGLE SWITCHES(1)	LINE VOLTAGE CONTROL DEVICES: CEILING/WALL MOUNTED OCCUPANCY SENSOR	LINE VOLTAGE CONTROL DEVICES: WALL BOX OCCUPANCY SENSOR(S) WITH SINGLE OUTPUT RELAYS	LINE VOLTAGE CONTROL DEVICES: WALL BOX OCCUPANCY SENSOR(S) WITH DUAL OUTPUT RELAYS	LINE VOLTAGE CONTROL DEVICES: LUMINAIRE WITH BUILT-IN OCCUPANCY SENSOR	LOW VOLTAGE CONTROL DEVICES: DIGITAL SWITCHES(1)	LOW VOLTAGE CONTROL DEVICES: CEILING/WALL MOUNTED OCCUPANCY SENSORS	LOW VOLTAGE CONTROL DEVICES: INDOOR PHOTOSENSORS	LOW VOLTAGE CONTROL DEVICES: OUTDOOR PHOTOCELLS	LOW VOLTAGE CONTROL DEVICES: ASTRONOMICAL TIMECLOCK	LOW VOLTAGE CONTROL DEVICES: -	SWITCHING/DIMMING: SWITCHING	SWITCHING/DIMMING: STEP-DIMMING	SWITCHING/DIMMING: FULL RANGE-DIMMING	SWITCHING/DIMMING: -	SWITCHING/DIMMING: OCCUPANCY SENSOR TIMOUT/DELAY (IN MINUTES)	SWITCHING/DIMMING: LIGHTS MANUAL ON	SWITCHING/DIMMING: LIGHTS AUTOMATIC ON 100% LIGHT LEVEL UPON OCCUPANCY	SWITCHING/DIMMING: LIGHTS AUTO ON 30% UPON OCCUPANCY, 100% MANUAL ON	SWITCHING/DIMMING: TIMECLOCK SCHEDULED ON TIME	SWITCHING/DIMMING: TIMECLOCK SCHEDULED OFF TIME	SWITCHING/DIMMING: OCC. SENSOR OVERRIDE TIMECLOCK DURING OFF HOURS	SWITCHING/DIMMING: DAYLIGHTING-DIM LIGHTS TO MAINTAIN MINIMUM 50FC AT 30"AFF	MISCELLANEOUS: (1)	MISCELLANEOUS: (1)	MISCELLANEOUS: (2)	MISCELLANEOUS: -	NOTES
BATHROOM	-	-	-	-	-	X	X	-	-	-	-	X	-	-	-	5	X	-	-	-	-	-	-	-	-	-	-	-
CLASSROOM	-	-	-	-	-	X	X	-	-	-	-	-	-	X	-	15	X	-	-	-	-	-	-	-	-	-	-	-
CLOSET	-	-	-	-	-	X	X	-	-	-	-	X	-	-	-	5	X	-	-	-	-	-	-	-	-	-	-	-
HALL	-	-	-	-	-	X	X	-	-	X	-	-	-	X	-	15	-	X	-	7AM	6PM	X	-	-	-	-	-	-
LOBBY	-	-	-	-	-	X	X	-	-	X	-	-	-	X	-	15	-	X	-	7AM	6PM	X	-	-	-	-	-	-
OFFICE/STAFF	-	-	-	-	-	X	X	-	-	-	-	-	-	X	-	15	X	-	-	-	-	-	-	-	-	-	-	-
MEETING	-	-	-	-	-	X	X	-	-	-	-	-	-	X	-	15	X	-	-	-	-	-	-	-	-	-	-	-
MULTI-PURPOSE	-	-	-	-	-	X	X	-	-	-	-	-	-	X	-	15	X	-	-	-	-	-	-	-	-	-	-	-
STUDY	-	-	-	-	-	X	X	-	-	-	-	-	-	X	-	15	X	-	-	-	-	-	-	-	-	-	-	-
PORCH/EXTERIOR	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	DUSK	DAWN	-	-	-	LIGHTS SHALL DIM TO 50% 1 HOUR AFTER CLOSING TIME			

SPECIAL NOTES: (APPLY TO THIS DRAWING ONLY)

(1) COORDINATE EXACT TIMES WITH OWNER.

(2) LIGHTS TO 100% "ON" UPON MOTION AFTER NORMAL BUSINESS HOURS.

1/E701 LIGHTING CONTROL MATRIX

N.T.S.

LUMINAIRE SCHEDULE

TYPE	MOUNTING	LUMINAIRE DESCRIPTION	MANUFACTURER	CATALOG NUMBER	LAMP: TYPE	LAMP: CRI	LAMP: CCT	LAMP: QTY	LAMP: WATTS / LAMP	LAMP: LUMENS / LAMP	DRIVER / BALLAST: TYPE	DRIVER / BALLAST: QTY	DRIVER / BALLAST: BALLAST FACTOR	VOLTAGE	INPUT WATTS	NOTES
A2	RECESSED	12" X 48" X 5-1/2" RECESSED LED WITH COLD ROLLED STEEL HOUSING, CURVED ACRYLIC LENS, BATWING DISTRIBUTUTION, AND 0-10V DIMMING	LEDALITE	36-14-D1-ST-L-935-35-Q7-D-E-IO	LED	90	3500	1	33.7	3733	0-10V DIMMING	1	1	120	33.7	-
C-1	PENDANT	3-1/8" X 3-1/8" LED PENDANT WITH CNC ALUMINUM HOUSING, OPAL ACRYLIC LENS, AND 0-10V DIMMING	LUMEN ART	APD.58-3500K-UNV-ALUM.-1R	LED	-	3500	1	9	1040	0-10V DIMMING	1	1	120	9	-
D-4	SURFACE	5-7/8" X 48" X 3-1/8" SEALED INDUSTRIAL LED , WITH POLYESTER HOUSING, ACRYLIC LENS, AND FURNISHED OCCUPANCY SENSOR	DAY-BRITE	V3W-4-43L-835-UNV-DIM-MD360WD-THB	LED	80	3500	1	23	3368	0-10V DIMMING	1	1	120	23	-
E-1	SURFACE	12" X 2" X 7-1/4" THERMOPLASTIC LED EXIT SIGN, WITH GREEN LETTERING, AND BATTERY BACKUP	CHLORIDE	VEGWEM	LED	-	-	1	3.96	-	-	1	1	120	3.96	-
E-2	SURFACE	21" X 2-9/16" X 12-1/2" THERMOPLASTIC LED EBU EXIT SIGN COMBO, WITH GREEN LETTERING, AND BATTERY BACKUP	CHLORIDE	VLTCG3R	LED	-	6000	2	1	200	-	1	1	120	2	-
EE	SURFACE	THERMOPLASTIC LED EBU WITH BATTERY BACKUP	CHLORIDE	CLU2-N-W-2R	LED	-	5000	2	2.2	-	-	1	1	120	4.4	-
ER	SURFACE	WET LOCATION LED EBU WITH BATTERY BACKUP	CHLORIDE	CLR-2-W-G	LED	-	-	2	2.2	-	-	1	1	120	4.4	-
PC-8	SURFACE	96" LINEAR LED WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, AIRCRAFT CABLING, AND 0-10V DIMMING	AXIS	SCS-500-80-35-FL-8-AP-UNV-DP-1	LED	80	3500	1	44.4	4000	0-10V DIMMING	1	1	120	44.4	-
PC-8	SURFACE	96" LINEAR LED WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, AIRCRAFT CABLING, BATTERY PACK, AND 0-10V DIMMING	AXIS	SCS-500-80-35-FL-8-AP-UNV-DP-1-B2	LED	80	3500	1	44.4	4000	0-10V DIMMING	1	1	120	44.4	-
PC-9	SURFACE	108" LINEAR LED WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, AIRCRAFT CABLING, AND 0-10V DIMMING	AXIS	SCS-500-80-35-FL-8-AP-UNV-DP-1	LED	80	3500	1	50	4500	0-10V DIMMING	1	1	120	50	-
PC-9	SURFACE	108" LINEAR LED WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, AIRCRAFT CABLING, BATTERY PACK, AND 0-10V DIMMING	AXIS	SCS-500-80-35-FL-8-AP-UNV-DP-1-B2	LED	80	3500	1	50	4500	0-10V DIMMING	1	1	120	50	-
PC-10	SURFACE	96" LINEAR LED WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, AIRCRAFT CABLING, AND 0-10V DIMMING	AXIS	SCS-500-80-35-FL-8-AP-UNV-DP-1	LED	80	3500	1	55.5	5000	0-10V DIMMING	1	1	120	55.5	-
PC-10	SURFACE	120" LINEAR LED WITH EXTRUDED ALUMINUM HOUSING, ACRYLIC LENS, AIRCRAFT CABLING, BATTERY PACK, AND 0-10V DIMMING	AXIS	SCS-500-80-35-FL-8-AP-UNV-DP-1-B2	LED	80	3500	1	55.5	5000	0-10V DIMMING	1	1	120	55.5	-
PD-1	PENDANT	10" DIAMETER LED PENDANT WITH ALUMINUM HOUAING, POWDER COAT FINISH, AND 0-10V DIMMING	STELLR	S2-P096-AG-AG-B-8035-8035-550-EQU	LED	80+	3500	1	26.4	2410	0-10V DIMMING	1	1	120	26.4	-
PD-3	PENDANT	26.7" DIAMETER LED CHANDELIER WITH ALUMINUM HOUSING, AND 0-10V DIMMING	TECH LIGHTING	700SPCT-ACRYLIC-B-LED930	LED	90	3000	1	46.6	2771	0-10V DIMMING	1	1	120	46.6	-
R-1	RECESSED	4" DIAMETER LED DOWNLIGHT, WITH STEEL HOUSING, AND 0-10V DIMMING	LIGHTOLIER	4-R-N-P4R-DL-10-835-CC-Z10-U	LED	80	3500	1	11	1000	0-10V DIMMING	1	1	120	11	-
S-1	SURFACE	7" DIAMETER SURFACE MOUNT LED DOWNLIGHT WITH PLASTIC FLANGE, HIGH TRANSMITTANCE LENS, AND 0-10V DIMMING	PHILIPS	S7R-8-35K-10-AL-Z10U	LED	80	3500	1	14.4	1139	0-10V DIMMING	1	1	120	14.4	-
SL-1	SURFACE	144" LED STRIP LIGHTING	Q-TRAN	SW120/4 0-PL-30-CL-12	LED	94	3500	1	48	4620	0-10V DIMMING	1	1	120	48	-
VL-2	WALL	4.62" X 0.37" X 1.24" WALL MOUNT LED WITH 0-10V DIMMING	EDGE LIGHTING	TXW2A-5W-4SQ-22-27K-S-WE	LED	85+	2700	1	9.17	495	0-10V DIMMING	1	1	120	9.17	-
WS-1	WALL	11.8" X 4.3" DIAMETER CYLINDER LED WITH ALUMINUM HOUSING, GLASS LENS, AND 0-10V DIMMING	ECLIPSE LIGHTING	TY3-UP15/DN15-3K-120-PNA	LED	80	3000	1	30	2446	0-10V DIMMING	1	1	120	30	-
WS2-4	WALL	48" X 1-7/16" X 5-11/16" LINEAR WALL LED COLD-ROLLED STEEL HOUSING, POWDER COAT FINISH, 0-10V DIMMING, AND BATTERY PACK	LEDALITE	24-G8-L-B-G-A-G-04-N-D-E-T	LED	80	3500	1	16.4	2200	0-10V DIMMING	1	1	120	16.4	-
WS2-8	WALL	96" X 1-7/16" X 5-11/16" LINEAR WALL LED COLD-ROLLED STEEL HOUSING, POWDER COAT FINISH, AND 0-10V DIMMING	LEDALITE	24-G8-L-B-E-A-D-08-P-D-E-T	LED	80	3500	1	48	6200	0-10V DIMMING	1	1	120	48	-
WS2-12	WALL	144" X 1-7/16" X 5-11/16" LINEAR WALL LED COLD-ROLLED STEEL HOUSING, POWDER COAT FINISH, AND 0-10V DIMMING	LEDALITE	24-G8-L-B-E-A-D-12-P-D-E-T	LED	80	3500	1	72	9300	0-10V DIMMING	1	1	120	97.5	-
WS-3	WALL	5.6" DIAMETER LED WALL SCONCE WITH ALUMINUM HOUSING, AND 0-10V DIMMING	TECH LIGHTING	700WSSPCT ACRYLIC B-LED930	LED	90	3000	1	9	606	0-10V DIMMING	1	1	120	9	-

NOTES: (APPLICABLE TO LUMINAIRE SCHEDULE ONLY)

1. LAMP TYPES ARE INDICATED BY INDUSTRY GENERIC DESIGNATIONS; SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS.
2. CATALOG NUMBERS FOR LUMINAIRES INDICATE THE TYPE AND QUALITY OF THE LUMINAIRE TO BE PROVIDED BY THE CONTRACTOR AND ARE GENERAL IN NATURE. THE CATALOG NUMBERS ARE NOT INTENDED TO INDICATE AN ACTUAL ORDER MODEL NUMBER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE LUMINAIRES WITH THE TYPE OF LAMP, BALLAST, LENS OR DIFFUSER, AND CONSTRUCTION FEATURES AS INDICATED IN THE SPECIFICATIONS.
3. WHERE A LUMINAIRE IS NOTED AS "NO EQUAL," SUBSTITUTIONS WILL NOT BE ACCEPTED. EQUIVALENT LUMINAIRES WILL BE ACCEPTED PROVIDED THEY ARE PROVEN TO BE EQUAL TO, OR BETTER THAN, THE SPECIFIED LUMINAIRE IN ALL RESPECTS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, CONSTRUCTION FEATURES, APPEARANCE, AND PERFORMANCE. SUBMIT THE FOLLOWING FOR EACH PROPOSED SUBSTITUTION:
   A. SAMPLE OF PROPOSED EQUIVALENT LUMINAIRE FOR TABLE-TOP EVALUATION. SAMPLE SHALL BE AN EXACT MATCH TO THE PROPOSED SUBSTITUTION INCLUDING ALL FEATURES, FINISHES, LAMPING, OPTIONS, ACCESSORIES, MOUNTING BRACKETS, ETC. SAMPLE SHALL INCLUDE 120V CORD AND NEMA 5-20P PLUG FOR OPERATIONAL TEST DURING TABLE-TOP EVALUATION.
   B. POINT-BY-POINT LIGHT LEVEL CALCULATIONS IN 3-DIMENSIONAL LIGHTING CALCULATION SOFTWARE TO ILLUSTRATE GUARANTEED ILLUMINATION LEVELS. EACH SPACE AFFECTED BY A SUBSTITUTION SHALL BE MODELED AND CALCULATED USING INDUSTRY STANDARD VALUES FOR REFLECTANCES, LIGHT LOSS FACTOR, ETC. ENGINEER WILL COMPARE TO BASIS OF DESIGN LUMINAIRE AND ENGINEER'S CALCULATIONS TO APPROVE OR REJECT SUBSTITUTE LUMINAIRE. PROVIDE IES FILE TO ENGINEER FOR PROPOSED SUBSTITUTE ALONG WITH CALCULATION RESULTS.
   C. POINT-BY-POINT COMPARATIVE DATA IN SIDE-BY-SIDE FORMAT COMPARING FEATURES OF SUBSTITUTE LUMINAIRE TO BASIS-OF-DESIGN LUMINAIRE.
   D. ALL REQUIREMENTS OF DIVISION 1 SECTION "SUBSTITUTION PROCEDURES."
4. COORDINATE CONTROL COMPATIBILITY BETWEEN BALLAST/DRIVER TYPES FOR ALL DIMMED LUMINAIRES WITH MANUFACTURER AND MODEL OF DIMMING CONTROL DEVICES.
5. PROVIDE EXIT SIGNS WITH SINGLE FACE OR DOUBLE FACE AND WITH OR WITHOUT CHEVRONS AS INDICATED ON THE DRAWINGS. PROVIDE RED OR GREEN LETTERING AS REQUIRED BY AHJ.
6. ALL MOUNTING HEIGHTS SHALL BE AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT OR ENGINEER. MOUNTING HEIGHTS OF WALL MOUNTED LUMINAIRES SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE CENTERLINE OF THE LUMINAIRE. MOUNTING HEIGHTS OF CEILING SUSPENDED LUMINAIRES SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE LUMINAIRE.

No.	Date	Appr	Revision Notes

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LUMINAIRE SCHEDULE

E701

EX PANELBOARD RP2

BUS AMPACITY: 100A
MAIN TYPE: 100A MCB
SERVICE: 208Y/120 VOLTS, 3 PHASE, 4 WIRE
MIN. RATING: 10K AIC RMS SYMMETRICAL AMPS

MOUNTING: SURFACE
SECTIONS: 1
ENCLOSURE: NEMA 1
LOCATION: CLOSET 210

CKT	LOAD DESCRIPTION	NOTE	CKT BREAKER P	TA	AUX	KVA PER PHASE PHASE A		PHASE B		PHASE C		CKT BREAKER AUX	TA	P	NOTE	LOAD DESCRIPTION	CKT
1	REC: ELEV MACH ROOM	-	1	20	-	0.18	0.36					-	20	1	-	REC: HALL	2
3	ELEV CAB LIGHTS	-	1	20	-			0.50	-			-	20	1	-	SPARE	4
5	REC: ROOF	-	1	20	-					0.18	0.90	-	20	1	-	REC: TOILETS	6
7	REC: ROOF	-	1	20	-	0.18	-					-	20	1	-	SPARE	8
9	REC: CLG PROJECTORS	-	1	20	-			0.36	-			-	20	1	-	SPARE	10
11	REC: CLG PROJECTORS	-	1	20	-					0.36	-	-	20	1	-	SPARE	12
13	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	14
15	SPARE	-	1	20	-			-	0.50			-	20	1	b	REC: DRINKING FOUTAIN	16
17	REC: COMPUTER RM 207	-	1	20	-					0.90	0.18	-	20	1	-	REC: ELEVATOR HOIST	18
19	REC: COMPUTER RM 207	-	1	20	-	0.54	1.26					-	20	1	-	REC: HALL	20
21	REC: COMPUTER RM 207	-	1	20	-			0.90	0.36			-	20	1	-	REC: HALL	22
23	REC: COMPUTER RM 207	-	1	20	-					0.54	0.18	-	20	1	-	REC: TTB	24
25	REC: COMPUTER RM 207	-	1	20	-	0.36	0.18					-	20	1	-	REC: TTB	26
27	REC: COMPUTER RM 207	-	1	20	-			0.36	-			-	20	1	-	SPARE	28
29	REC: CLASSROOM 28	-	1	20	-					1.44	-	-	20	1	-	SPARE	30
31	REC: CLASSROOM 28	-	1	20	-	1.44	-					-	20	1	-	SPARE	32
33	REC: CLASSROOM 28	-	1	20	-			1.44	-			-	20	1	-	SPARE	34
35	REC: CLASSROOM 28	-	1	20	-					1.44	-	-	20	1	-	SPARE	36
37	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	38
39	SPARE	-	1	20	-			-	-			-	20	1	-	SPARE	40
41	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	42
						2.70	1.80	3.56	0.86	4.86	1.26						
						4.50		4.42		6.12							
						37.5A		36.8A		51A							

AUXILIARIES
a AFCI BREAKER
b GFCI BREAKER (5mA)
c GFEP BREAKER (30mA)
d SHUNT TRIP BREAKER
e HANDLE PADLOCK
f HANDLE CLAMP
g RED CB HANDLE

[X] GROUND BUS
[ ] SERVICE ENTRANCE LABEL
[ ] INTEGRAL SPD/TVSS
[ ] 200% NEUTRAL BUS & LUGS
[ ] ISOLATED GROUND BUS
[ ] SPLIT BUS
[ ] FEED THRU LUGS
[ ] SUB FEED LUGS

TOTAL CONNECTED LOAD: 15.04
TOTAL DEMAND LOAD: 12.77
DEMAND AMPS: 35.4

LOAD SUMMARY NOTES
NOTE 1: FIRST 10KVA AT 100% AND REMAINDER AT 50%.
NOTE 2: HEATING AND COOLING CYCLES ARE EQUAL, THEREFORE HEATING CYCLE IS USED.
NOTE 3: DEMAND FACTOR FROM NEC TABLE FOR KITCHEN EQUIPMENT OTHER THAN DWELLING UNIT.
NOTE 4: DEMAND FACTOR FROM NEC TABLE FOR ELEVATORS.

LOAD SUMMARY (KVA)

LOAD TYPE	CONNECTED	DF	DEMAND
LIGHTING	0.50	100%	0.50
RECEPTACLE (SEE NOTE 1)	14.54	--	12.27
EQUIPMENT: CONTINUOUS	0.00	100%	0.00
EQUIPMENT: NON-CONTINUOUS	0.00	100%	0.00
MOTOR	0.00	100%	0.00
COOLING (SEE NOTE 2)	0.00	0%	0.00
HEATING (SEE NOTE 2)	0.00	100%	0.00
STANDBY	0.00	0%	0.00
OTHER	0.00	100%	0.00
KITCHEN (SEE NOTE 3)	0.00	100%	0.00
ELEVATOR (SEE NOTE 4)	0.00	100%	0.00

PANELBOARD RP-ADD

SERVICE TYPE: NORMAL

BUS AMPACITY: 100A
MAIN TYPE: 100A MCB
SERVICE: 208Y/120 VOLTS, 3 PHASE, 4 WIRE
MIN. RATING: 10K AIC RMS SYMMETRICAL AMPS

MOUNTING: SURFACE
SECTIONS: 1
ENCLOSURE: NEMA 1
LOCATION: CLOSET

CKT	LOAD DESCRIPTION	NOTE	CKT BREAKER P	TA	AUX	KVA PER PHASE PHASE A		PHASE B		PHASE C		CKT BREAKER AUX	TA	P	NOTE	LOAD DESCRIPTION	CKT
1	REC: OFFICE 132/CLOSET 135	-	1	20	-	0.90	1.08					-	20	1	-	REC: CLASSROOM 222	2
3	REC: PRE-FUNCTION 130	-	1	20	-			0.90	1.44			-	20	1	-	REC: CLASSROOM 222	4
5	REC: MULTIPURPOSE WALL	-	1	20	-					1.08	0.72	-	20	1	-	REC: CLASSROOM 222	6
7	REC: MULTIPURPOSE WALL	-	1	20	-	1.08	0.36					-	20	1	-	REC: 222/223 PROJECTOR	8
9	REC: MULTIPURPOSE FLOOR	-	1	20	-			0.36	0.18			-	20	1	-	REC: HALL 221	10
11	REC: MULTIPURPOSE WALL	-	1	20	-					0.72	1.08	-	20	1	-	REC: CLASSROOM 223	12
13	REC: MULTIPURPOSE WALL	-	1	20	-	0.72	1.44					-	20	1	-	REC: CLASSROOM 223	14
15	MULTI-PURPOSE PARTITION	2	1	30	-			1.68	0.72			-	20	1	-	REC: CLASSROOM 223	16
17	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	18
19	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	20
21	SPARE	-	1	20	-			-	-			-	20	1	-	SPARE	22
23	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	24
25	SPACE WITH PROVISIONS	-	1	-	-	-	-					-	-	1	-	SPACE WITH PROVISIONS	26
27	SPACE WITH PROVISIONS	-	1	-	-			-	-			-	-	1	-	SPACE WITH PROVISIONS	28
29	SPACE WITH PROVISIONS	-	1	-	-					-	-	-	-	1	-	SPACE WITH PROVISIONS	30
						2.70	2.88	2.94	2.34	1.80	1.80						
						5.58		5.28		3.60							
						46.5A		44A		30A							

AUXILIARIES
a AFCI BREAKER
b GFCI BREAKER (5mA)
c GFEP BREAKER (30mA)
d SHUNT TRIP BREAKER
e HANDLE PADLOCK
f HANDLE CLAMP
g RED CB HANDLE

[X] GROUND BUS
[ ] SERVICE ENTRANCE LABEL
[ ] INTEGRAL SPD/TVSS
[ ] 200% NEUTRAL BUS & LUGS
[ ] ISOLATED GROUND BUS
[ ] SPLIT BUS
[ ] FEED THRU LUGS
[ ] SUB FEED LUGS

TOTAL CONNECTED LOAD: 14.46
TOTAL DEMAND LOAD: 13.07
DEMAND AMPS: 36.3

LOAD SUMMARY NOTES
NOTE 1: FIRST 10KVA AT 100% AND REMAINDER AT 50%.
NOTE 2: HEATING AND COOLING CYCLES ARE EQUAL, THEREFORE HEATING CYCLE IS USED.
NOTE 3: DEMAND FACTOR FROM NEC TABLE FOR KITCHEN EQUIPMENT OTHER THAN DWELLING UNIT.
NOTE 4: DEMAND FACTOR FROM NEC TABLE FOR ELEVATORS.

LOAD SUMMARY (KVA)

LOAD TYPE	CONNECTED	DF	DEMAND
LIGHTING	0.00	100%	0.00
RECEPTACLE (SEE NOTE 1)	12.78	--	11.39
EQUIPMENT: CONTINUOUS	0.00	100%	0.00
EQUIPMENT: NON-CONTINUOUS	1.68	100%	1.68
MOTOR	0.00	100%	0.00
COOLING (SEE NOTE 2)	0.00	0%	0.00
HEATING (SEE NOTE 2)	0.00	100%	0.00
STANDBY	0.00	0%	0.00
OTHER	0.00	100%	0.00
KITCHEN (SEE NOTE 3)	0.00	100%	0.00
ELEVATOR (SEE NOTE 4)	0.00	100%	0.00

EX PANELBOARD LP1

SERVICE TYPE: NORMAL

BUS AMPACITY: 100A
MAIN TYPE: MLO
SERVICE: 208Y/120 VOLTS, 3 PHASE, 4 WIRE
MIN. RATING: 10K AIC RMS SYMMETRICAL AMPS

MOUNTING: SURFACE
SECTIONS: 1
ENCLOSURE: NEMA 1
LOCATION: ELEC 117

CKT	LOAD DESCRIPTION	NOTE	CKT BREAKER P	TA	AUX	KVA PER PHASE PHASE A		PHASE B		PHASE C		CKT BREAKER AUX	TA	P	NOTE	LOAD DESCRIPTION	CKT
1	LTG: 2ND CLASSRMS	-	1	20	-	0.81	1.14					-	20	1	-	LTG: TOILET/SUPPUTILITY	2
3	LTG: 2ND HALL/ST AIR	-	1	20	-			1.05	1.00			-	20	1	-	**LTG: FIRST ADDITION MULTIPURPOSE**	4
5	LTG: TOILET /CLOSET/UTILITY	-	1	20	-					0.50	1.70	-	20	1	-	LTG: SERVICLASS/CAFE/ART	6
7	**LTG: 2ND FLOOR ADDITION**	-	1	20	-	1.00	1.17					-	20	1	-	LTG: FIRST HALL/ENT/ST AIR	8
9	LTG: SECOND EXTERIOR	-	1	20	-			0.10	0.30			-	20	1	-	LTG: FIRST EXTERIOR	10
11	**LTG: FIRST HALL/MEETING/STUDY**	-	1	20	-					1.00	0.29	-	20	1	-	LTG: BASEMENT	12
13	**LTG: SECOND STAFF/OFFICE/MEETING**	-	1	20	-	1.00	1.00					-	20	1	-	**LTG: FIRST ADDITION**	14
15	SPACE WITH PROVISIONS	-	1	-	-			-	-			-	-	1	-	SPACE WITH PROVISIONS	16
17	SPACE WITH PROVISIONS	-	1	-	-					-	-	-	-	1	-	SPACE WITH PROVISIONS	18
						2.81	3.31	1.15	1.30	1.50	1.99						
						6.12		2.45		3.49							
						51A		20.4A		29.1A							

AUXILIARIES
a AFCI BREAKER
b GFCI BREAKER (5mA)
c GFEP BREAKER (30mA)
d SHUNT TRIP BREAKER
e HANDLE PADLOCK
f HANDLE CLAMP
g RED CB HANDLE

[X] GROUND BUS
[ ] SERVICE ENTRANCE LABEL
[ ] INTEGRAL SPD/TVSS
[ ] 200% NEUTRAL BUS & LUGS
[ ] ISOLATED GROUND BUS
[ ] SPLIT BUS
[ ] FEED THRU LUGS
[ ] SUB FEED LUGS

TOTAL CONNECTED LOAD: 12.06
TOTAL DEMAND LOAD: 12.06
DEMAND AMPS: 33.5

LOAD SUMMARY NOTES
NOTE 1: FIRST 10KVA AT 100% AND REMAINDER AT 50%.
NOTE 2: HEATING AND COOLING CYCLES ARE EQUAL, THEREFORE HEATING CYCLE IS USED.
NOTE 3: DEMAND FACTOR FROM NEC TABLE FOR KITCHEN EQUIPMENT OTHER THAN DWELLING UNIT.
NOTE 4: DEMAND FACTOR FROM NEC TABLE FOR ELEVATORS.

LOAD SUMMARY (KVA)

LOAD TYPE	CONNECTED	DF	DEMAND
LIGHTING	12.06	100%	12.06
RECEPTACLE (SEE NOTE 1)	0.00	--	0.00
EQUIPMENT: CONTINUOUS	0.00	100%	0.00
EQUIPMENT: NON-CONTINUOUS	0.00	100%	0.00
MOTOR	0.00	100%	0.00
COOLING (SEE NOTE 2)	0.00	0%	0.00
HEATING (SEE NOTE 2)	0.00	100%	0.00
STANDBY	0.00	0%	0.00
OTHER	0.00	100%	0.00
KITCHEN (SEE NOTE 3)	0.00	100%	0.00
ELEVATOR (SEE NOTE 4)	0.00	100%	0.00

EX PANELBOARD RP1

SERVICE TYPE: NORMAL

BUS AMPACITY: 100A
MAIN TYPE: MLO
SERVICE: 208Y/120 VOLTS, 3 PHASE, 4 WIRE
MIN. RATING: 10K AIC RMS SYMMETRICAL AMPS

MOUNTING: FLUSH
SECTIONS: 1
ENCLOSURE: NEMA 1
LOCATION: ELEC 118

CKT	LOAD DESCRIPTION	NOTE	CKT BREAKER P	TA	AUX	KVA PER PHASE PHASE A		PHASE B		PHASE C		CKT BREAKER AUX	TA	P	NOTE	LOAD DESCRIPTION	CKT
1	REC: OUTDOOR SPACE	-	1	20	-	-	-					-	20	1	-	REC: LAV 111 SINK	2
3	TWO-WAY COMM SYSTEM	-	1	20	-			-	-			-	20	1	-	SPARE	4
5	REC: CLG PROJECTORS	-	1	20	-					-	-	-	20	1	-	SPARE	6
7	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	8
9	SPARE	-	1	20	-			-	-			-	20	1	-	REC: JANITOR	10
11	REC: HALL 125	-	1	20	-					-	-	-	20	1	-	SPARE	12
13	REC: CLASSROOM 107	-	1	20	-	-	-					-	20	1	-	SPARE	14
15	REC: CLASSROOM 107	-	1	20	-			-	-			-	20	1	b	REC: ELEV SUMP PUMP	16
17	REC: ART/CAFE 108	-	1	20	-					-	-	-	20	1	-	REC: ELEV PIT	18
19	REC: ART/CAFE 108	-	1	20	-	-	-					-	20	1	-	REC: MECH RNM	20
21	SPARE	-	1	20	-			-	-			-	20	1	-	REC: EXTERIOR	22
23	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	24
25	SPARE	-	1	20	-	-	-					-	20	1	-	REC: TTB-1	26
27	SPARE	-	1	20	-			-	-			-	20	1	-	REC: TTB-1	28
29	SPARE	-	1	20	-					-	-	-	20	1	h	FIRE ALARM CONTROL PANEL	30
31	SPARE	-	1	20	-	-	-					-	20	1	-	REC: ELEC ROOM	32
33	REC: DRINKING FOUNTAIN	b	1	20	-			-	-			-	20	1	-	SPARE	34
35	REC: TOILETS	-	1	20	-					-	-	-	20	1	-	SPARE	36
37	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	38
39	SPARE	-	1	20	-			-	-			-	20	1	-	SPARE	40
41	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	42
43	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	44
45	SPARE	-	1	20	-			-	-			-	20	1	-	SPARE	46
47	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	48
49	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	50
51	SPARE	-	1	20	-			-	-			-	20	1	-	SPARE	52
53	SPARE	-	1	20	-					-	-	-	20	1	-	SPARE	54
55	SPARE	-	1	20	-	-	-					-	20	1	-	SPARE	56
57	SPARE	-	1	20	-			-	-			-	20	1	-	SPARE	58
59	SPACE	-	-	-	-					-	-	-	-	-	-	SPACE	60
61	SPACE	-	-	-	-	-	-					-	-	-	-	SPACE	62
63	SPACE	-	-	-	-			-	-			-	-	-	-	SPACE	64
65	SPACE	-	-	-	-					-	-	-	-	-	-	SPACE	66
67	SPACE	-	-	-	-	-	-					-	-	-	-	SPACE	68
69	SPACE	-	-	-	-			-	-			-	-	-	-	SPACE	70
71	SPACE	-	-	-	-					-	-	-	-	-	-	SPACE	72
						-		-		-							
						-A		-A		-A							

AUXILIARIES
a AFCI BREAKER
b GFCI BREAKER (5mA)
c GFEP BREAKER (30mA)
d SHUNT TRIP BREAKER
e HANDLE PADLOCK
f HANDLE CLAMP
g RED CB HANDLE

[X] GROUND BUS
[ ] SERVICE ENTRANCE LABEL
[ ] INTEGRAL SPD/TVSS
[ ] 200% NEUTRAL BUS & LUGS
[ ] ISOLATED GROUND BUS
[ ] SPLIT BUS
[ ] FEED THRU LUGS
[ ] SUB FEED LUGS

TOTAL CONNECTED LOAD: 0.00
TOTAL DEMAND LOAD: 0.00
DEMAND AMPS: 0.0

LOAD SUMMARY NOTES
NOTE 1: FIRST 10KVA AT 100% AND REMAINDER AT 50%.
NOTE 2: HEATING AND COOLING CYCLES ARE EQUAL, THEREFORE HEATING CYCLE IS USED.
NOTE 3: DEMAND FACTOR FROM NEC TABLE FOR KITCHEN EQUIPMENT OTHER THAN DWELLING UNIT.
NOTE 4: DEMAND FACTOR FROM NEC TABLE FOR ELEVATORS.

LOAD SUMMARY (KVA)

LOAD TYPE	CONNECTED	DF	DEMAND
LIGHTING	0.00	100%	0.00
RECEPTACLE (SEE NOTE 1)	0.00	--	0.00
EQUIPMENT: CONTINUOUS	0.00	100%	0.00
EQUIPMENT: NON-CONTINUOUS	0.00	100%	0.00
MOTOR	0.00	100%	0.00
COOLING (SEE NOTE 2)	0.00	0%	0.00
HEATING (SEE NOTE 2)	0.00	100%	0.00
STANDBY	0.00	0%	0.00
OTHER	0.00	100%	0.00
KITCHEN (SEE NOTE 3)	0.00	100%	0.00
ELEVATOR (SEE NOTE 4)	0.00	100%	0.00

PANELBOARD LC

SERVICE TYPE: NORMAL
MANUFACTURER: CUTLER HAMMER
TYPE: x

BUS AMPACITY: 200A
MAIN TYPE: 200A MCB
SERVICE: 120/240 VOLTS, 1 PHASE, 3 WIRE
MIN. RATING: 10K AIC RMS SYMMETRICAL AMPS

MOUNTING: SURFACE
SECTIONS: 1
ENCLOSURE: NEMA 1
LOCATION: BASEMENT

CKT	LOAD DESCRIPTION	NOTE	CKT BREAKER P	TA	AUX	KVA PER PHASE PHASE A	PHASE B	CKT BREAKER AUX	TA	P	NOTE	LOAD DESCRIPTION	CKT
1	BASEMENT KITCHEN RECEPTACLES	-	1	20	-			-	20	1	-	RECEPTACLE UNDER PANEL	2
3	BASEMENT KITCHEN REFRIGERATOR	-	1	20	-		-	-	20	1	-	WORK SHOP RECEPTACLE	4
5	**REC: STAFF ROOM**	1	1	20	-	-		-	15	1	-	BASEMENTS LTS AND RECEPTACLES	6
7	**REC: STAFF ROOM**	1	1	20	-		-	-	20	1	-	WORK SHOP RECEPTACLE	8
9	EX LOAD	-	1	20	-	0.90		-	20	1	1	**REC: MEETING RM 1ST FL**	10
11	UTILITY WASHER AND DRYER	-	1	20	-		0.54	-	15	1	1	**REC: OFFICE 225**	12
13	**1ST FLOOR HALL**	1	1	15	-	0.36	0.36	-	15	1	1	**REC: OFFICE 228**	14
15	EX LOAD	-	1	15	-		0.36	-	15	1	1	**REC: OFFICE 229**	16
17	SMOKE DETECTORS	-	1	15	-	0.54		-	15	1	1	**REC: OFFICE 230**	18
19	**STUDY ROOM REC**	1	1	20	-		0.72	0.36	15	1	1	**REC: HALL 224/ BATH 227**	20
21	**STUDY ROOM REC**	1	1	20	-	0.90	0.90	-	20	1	1	**REC: MEETING RM 2ND FL**	22
23	**MECH: VAV-231**	**2**	**2**	**20**	-		1.50	0.90	20	1	1	**REC: MEETING RM 2ND FL**	24
25	{ }	**2**	-	-	-	1.50	-	-	15	1	-	EXIT LIGHTS	26
27	EX SPACE	-	1	-	-		-	-	35	2	-	SAFETY SWITCH EMERGENCY PANEL	28
29	HEAT AND A/C 2ND FLOOR	-	2	20	-	-	-	-	-	-	-	{ }	30
31	{ }	-	-	-	-		-	-	40	2	-	A/C UNIT 1ST FLOOR	32
33	EXISTING LOAD	-	2	20	-	-	-	-	-	-	-	{ }	34
35	EXISTING LOAD	-	1	20	-		-	-	40	2	-	A/C UNIT 3RD FLOOR	36
37	EXISTING LOAD	-	1	20	-	-	-	-	-	-	-	{ }	38
39	SUB-PANEL 3RD FLOOR	-	2	60	-		-	-	20	2	-	HEAT AND A/C 2ND FLOOR	40
41	{ }	-	-	-	-			-	-	-	-	{ }	42
						2.76	2.70	2.22	2.16				
						5.46		4.38					
						45.5A		36.5A					

AUXILIARIES
a AFCI BREAKER
b GFCI BREAKER (5mA)
c GFEP BREAKER (30mA)
d SHUNT TRIP BREAKER
e HANDLE PADLOCK
f HANDLE CLAMP
g RED CB HANDLE

[X] GROUND BUS
[ ] SERVICE ENTRANCE LABEL
[ ] INTEGRAL SPD/TVSS
[ ] 200% NEUTRAL BUS & LUGS
[ ] ISOLATED GROUND BUS
[ ] SPLIT BUS
[ ] FEED THRU LUGS
[ ] SUB FEED LUGS

TOTAL CONNECTED LOAD: 9.84
TOTAL DEMAND LOAD: 9.84
DEMAND AMPS: 41.0

LOAD SUMMARY NOTES
NOTE 1: FIRST 10KVA AT 100% AND REMAINDER AT 50%.
NOTE 2: HEATING AND COOLING CYCLES ARE EQUAL, THEREFORE HEATING CYCLE IS USED.
NOTE 3: DEMAND FACTOR FROM NEC TABLE FOR KITCHEN EQUIPMENT OTHER THAN DWELLING UNIT.
NOTE 4: DEMAND FACTOR FROM NEC TABLE FOR ELEVATORS.

LOAD SUMMARY (KVA)

LOAD TYPE	CONNECTED	DF	DEMAND
LIGHTING	0.00	100%	0.00
RECEPTACLE (SEE NOTE 1)	6.84	--	6.84
EQUIPMENT: CONTINUOUS	0.00	100%	0.00
EQUIPMENT: NON-CONTINUOUS	0.00	100%	0.00
MOTOR	3.00	100%	3.00
COOLING (SEE NOTE 2)	0.00	0%	0.00
HEATING (SEE NOTE 2)	0.00	100%	0.00
STANDBY	0.00	0%	0.00
OTHER	0.00	100%	0.00
KITCHEN (SEE NOTE 3)	0.00	100%	0.00
ELEVATOR (SEE NOTE 4)	0.00	100%	0.00

NOTES: (APPLICABLE TO PANELBOARD SCHEDULE LC ONLY)
1. CONNECT NEW LOAD TO EXISTING CIRCUIT BREAKER.
2. PROVIDE NEW CIRCUIT BREAKER IN EXISTING AVAILABLE SPACES. MATCH EXISTING PANELBOARD MANUFACTURER, TYPE, AND AIC RATING.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE January 10, 2023

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO: 42418 EXPIRATION DATE: 06-06-2024

PANELBOARD SCHEDULES

E801

AIR TERMINAL UNIT CONNECTION SCHEDULE

DESIGNATION	VOLTAGE	PHASE	KW	DISCONNECT F/SS	FUSE AMPS	DISCONNECT LABEL DESIGNATION	REMARKS
VAV-134A	208	3	7	3P-30A	25	DS-VAV-134A	-
VAV-134B	208	3	8	3P-30A	30	DS-VAV-134B	-
VAV-130	208	3	9	3P-60A	35	DS-VAV-130	-
VAV-132	208	1	0.5	2P-30A	15	DS-VAV-132	-
VAV-222	208	1	3	2P-30A	20	DS-VAV-222	-
VAV-223	208	3	3.5	3P-30A	15	DS-VAV-223	-
VAV-226	208	3	4	3P-30A	15	DS-VAV-226	-
VAV-228	208	1	0.5	2P-30A	15	DS-VAV-228	-
VAV-230	208	1	2.5	2P-30A	15	DS-VAV-230	-
VAV-231	208	1	3	2P-30A	20	DS-VAV-231	-

NOTES: (APPLICABLE TO AIR TERMINAL UNIT CONNECTION SCHEDULE ONLY)
1. PROVIDE FUSE. FIELD COORDINATE EXACT EQUIPMENT FUSE SIZE WITH EQUIPMENT NAMEPLATE DATA.
2. DISCONNECTS SHALL BE HEAVY SUTY TYPE WITH GROUND LUG AND CLASS RK FUSE REJECTION KIT.

MECHANICAL EQUIPMENT ELECTRICAL CONNECTION SCHEDULE

EQUIPMENT DESIGNATION	KW	HP	MCA	MOCP	FLA	VOLTAGE	PHASE	LOAD (kVA)	WIRING & CONDUIT	DISCONNECTING MEANS	CONTROL MEANS	NOTES
AHU-4 FAN	-	2	9.38	15	7.5	208	3	2.7	3#12 + #12GW IN 3/4"C	DS-AHU-4-FAN	-	-
AHU-4 HTR	16	-	55.5	60	44.4	208	3	15.98	3#4 + #10GW IN 1-1/4"C	DS-AHU-4-HTR	-	-
UH-1	1.5	-	15.63	20	12.5	120	1	1.5	2#12 + #12GW IN 3/4"C	INTEGRAL	-	-
CU-4	-	-	31.4	50	28.8	208	1	5.99	3#6 + #10GW IN 1"C	DS-CU-4	-	-
RTU-3	-	-	145.2	175	133.4	208	3	48	REFER TO ONE-LINE DIAGRAM	DS-RTU-3	-	PROVIDE IN SPACE IN EX DP1

NOTES: (APPLICABLE TO MECHANICAL EQUIPMENT ELECTRICAL CONNECTION SCHEDULE ONLY)
1. REVIEW EQUIPMENT SUBMITTALS FROM OTHER TRADES PRIOR TO ORDERING OR INSTALLING ASSOCIATED ELECTRICAL WORK. ELECTRICAL CONTRACTOR SHALL MODIFY COMPONENTS OF THE ELECTRICAL CONNECTIONS AS NECESSARY TO MATCH NAMEPLATE DATA OF APPROVED EQUIPMENT AND PROVIDE A CODE COMPLIANT INSTALLATION, INCLUDING BUT NOT LIMITED TO CIRCUIT BREAKERS, WIRE, CONDUITS, CONNECTION TYPES, SWITCHES, AND FUSES. CHANGE ORDERS AND EXTRAS WILL NOT BE AWARDED FOR FAILURE TO COORDINATE WITH OTHER TRADES' EQUIPMENT SUBMITTALS.
2. PROVIDE NECESSARY SUPPORTING STRUT CHANNEL AND ALL MISCELLANEOUS HARDWARE FOR MOUNTING ELECTRICAL EQUIPMENT. MAINTAIN NEC WORKING CLEARANCES. FIELD COORDINATE EXACT LOCATIONS. DO NOT MOUNT ON EQUIPMENT ACCESS PANELS OR IN EQUIPMENT MANUFACTURERS' RECOMMENDED MAINTENANCE CLEARANCES. COORDINATE EXACT LOCATION OF SAFETY SWITCHES WITH MECHANICAL EQUIPMENT/CONTRACTOR.

DISCONNECT SWITCH SCHEDULE

DESIGNATION	AMP RATING	POLES	VOLT RATING	FUSE AMPS	FUSE CLASS	NEMA ENCLOSURE	NOTES
DS-AHU-4-FAN	30	3	208	15	RK5	1	-
DS-AHU-4-HTR	60	3	208	60	RK5	1	-
DS-CU-4	60	2	208	50	RK5	3R	-
DS-RTU-3	200	3	208	175	RK5	3R	-

NOTES: (APPLICABLE TO DISCONNECT SWITCH SCHEDULE ONLY)
1. PROVIDE FUSE AND COORDINATE EXACT EQUIPMENT FUSE SIZE WITH MOTOR OR EQUIPMENT NAMEPLATE DATA DURING CONSTRUCTION .
2. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE WITH GROUND LUG.
3. PROVIDE ALL FUSIBLE DISCONNECT SWITCHES WITH CLASS R FUSE KIT.
4. LABEL DISCONNECT SWITCHES WITH THE DESIGNATION IDENTIFIED IN THIS SCHEDULE AND THE CIRCUIT NUMBER AND PANELBOARD FROM WHICH IT IS FED, INCLUDING VOLTAGE AND PHASE.

EX PANELBOARD RPHVAC

SERVICE TYPE: NORMAL
MANUFACTURER: SQUARE-D
TYPE: NQ

BUS AMPACITY: 400A
MAIN TYPE: MLO
SERVICE: 208Y/120 VOLTS, 3 PHASE, 4 WIRE
MIN. RATING: 22K AIC RMS SYMMETRICAL AMPS

MOUNTING: SURFACE
SECTIONS: 1
ENCLOSURE: NEMA 1
LOCATION: ELEC ROOM

CKT	LOAD DESCRIPTION	NOTE	CKT BREAKER P	CKT BREAKER TA	CKT BREAKER AUX	KVA PER PHASE PHASE A	PHASE B	PHASE C	CKT BREAKER AUX	CKT BREAKER TA	CKT BREAKER P	NOTE	LOAD DESCRIPTION	CKT
1	EX RTU-1	-	3	50	-	3.60	5.33		-	-	**3**	**1**	**MECH: AHU-4-HTR**	2
3	{ }	-	-	-	-		3.60	5.33	-	-	-	**1**	**{ }**	4
5	{ }	-	-	-	-			3.60	5.33	-	-	**1**	**{ }**	6
7	EX RTU-2	-	3	60	-	5.00	3.00		-	**50**	**2**	**1**	**MECH: CU-4**	8
9	{ }	-	-	-	-		5.00	3.00	-	-	-	**1**	**{ }**	10
11	{ }	-	-	-	-			5.00	1.50	-	**20**	**1**	**MECH: UH-1 (HALL 294)**	12
13	EX VAC-107	-	1	20	-	-	-		-	20	1	-	EX VAC-207	14
15	EX VAC-108	-	1	20	-		-	-	-	15	2	-	EX SPARE	16
17	EX SPACE	-	1	-	-			-	-	-	-	-	{ }	18
19	EX VAC-109	-	1	20	-	-	-		-	20	1	-	EX VAC-208	20
21	EX VAC-111	-	1	20	-		-	1.50	-	20	2	**2**	**MECH: VAV-222**	22
23	EX CONTROL PANEL VAV RM 117	-	1	20	-			-	1.50	-	-	**2**	**{ }**	24
25	EX VAV-124	-	1	20	-	-	-		-	20	1	-	EX VAC-203	26
27	**MECH: VAV-228/VAV-230**	**3**	**2**	**20**	-		1.50	0.25	-	15	2	**2**	**MECH: VAV-132**	28
29	**{ }**	**3**	**-**	**-**	-			1.50	0.25	-	-	**2**	**{ }**	30
31	EX UH-1	-	2	20	-	2.00	-		-	20	1	-	EX VAC-211	32
33	{ }	-	-	-	-		2.00	-	-	20	1	-	EX SPARE	34
35	EX HWG-1	-	1	15	-			0.53	-	20	1	-	EX GAS BOOSTER CONTROLLER	36
37	EX MV-1 PUMP	-	1	15	-	0.35	0.28		-	20	3	-	EX GAS BOOSTER GPB-1	38
39	EX EF-1	-	1	15	-		0.86	0.28	-	-	-	-	{ }	40
41	EX ACCU-1	-	2	15	-			1.25	2.80	-	-	-	{ }	42
43	{ }	-	-	-	-	1.25	0.50		-	20	1	-	EX FIRE/SMOKE DAMPERS	44
45	EX UH-4	-	2	20	-		2.00	2.67	-	**30**	**3**	**1**	**MECH: VAV-134B**	46
47	{ }	-	-	-	-			2.00	2.67	-	**-**	**1**	**{ }**	48
49	EX UH-2 ATTIC	-	2	20	-	1.25	2.67		-	**-**	**-**	**1**	**{ }**	50
51	{ }	-	-	-	-		1.25	0.90	-	15	3	**2**	**MECH: AHU-4-FAN**	52
53	EX LOAD	-	1	20	-			0.50	0.90	-	-	**2**	**{ }**	54
55	EX SPARE	-	3	20	-	-	0.90		-	-	-	**2**	**{ }**	56
57	{ }	-	-	-	-		-	1.17	-	15	3	**2**	**MECH: VAV-223**	58
59	{ }	-	-	-	-			-	1.17	-	-	**2**	**{ }**	60
61	**MECH: VAV-130**	**3**	**3**	**35**	-	3.00	1.17		-	-	-	**2**	**{ }**	62
63	**{ }**	**3**	**-**	**-**	-			3.00	1.33	-	15	**2**	**MECH: VAV-226**	64
65	**{ }**	**3**	**-**	**-**	-				3.00	1.33	-	-	**2**	**{ }**	66
67	**MECH: VAV-134A**	**3**	**3**	**25**	-	2.33	1.33		-	-	-	**2**	**{ }**	68
69	**{ }**	**3**	**-**	**-**	-		2.33	-	-	-	1	-	EX SPACE	70
71	**{ }**	**3**	**-**	**-**	-			2.33	-	-	1	-	EX SPACE	72
						18.78	15.18	21.54	16.43	19.71	17.45			
						33.96		37.97		37.16				
						283A		316.4A		309.7A				

AUXILIARIES
a AFCI BREAKER
b GFCI BREAKER (5mA)
c GFEP BREAKER (30mA)
d SHUNT TRIP BREAKER
e HANDLE PADLOCK
f HANDLE CLAMP
g RED CB HANDLE

X	GROUND BUS
	SERVICE ENTRANCE LABEL
	INTEGRAL SPD/TVSS
	200% NEUTRAL BUS & LUGS
	ISOLATED GROUND BUS
	SPLIT BUS
	FEED THRU LUGS
	SUB FEED LUGS

TOTAL CONNECTED LOAD	109.09
TOTAL DEMAND LOAD	109.09
DEMAND AMPS	302.8

LOAD SUMMARY NOTES
NOTE 1: FIRST 10KVA AT 100% AND REMAINDER AT 50%.
NOTE 2: HEATING AND COOLING CYCLES ARE EQUAL, THEREFORE HEATING CYCLE IS USED.
NOTE 3: DEMAND FACTOR FROM NEC TABLE FOR KITCHEN EQUIPMENT OTHER THAN DWELLING UNIT.
NOTE 4: DEMAND FACTOR FROM NEC TABLE FOR ELEVATORS.

LOAD SUMMARY (KVA)

LOAD TYPE	CONNECTED	DF	DEMAND
LIGHTING	0.00	100%	0.00
RECEPTACLE (SEE NOTE 1)	0.00	--	0.00
EQUIPMENT: CONTINUOUS	0.00	100%	0.00
EQUIPMENT: NON-CONTINUOUS	0.00	100%	0.00
MOTOR	109.09	100%	109.09
COOLING (SEE NOTE 2)	0.00	0%	0.00
HEATING (SEE NOTE 2)	0.00	100%	0.00
STANDBY	0.00	0%	0.00
OTHER	0.00	100%	0.00
KITCHEN (SEE NOTE 3)	0.00	100%	0.00
ELEVATOR (SEE NOTE 4)	0.00	100%	0.00

NOTES: (APPLICABLE TO PANELBOARD SCHEDULE RPHVAC ONLY)
1. REMOVE EXISTING CIRCUIT BREAKER AND PROVIDE NEW IN SAME LOCATION. MATCH EXISTING PANELBOARD MANUFACTURER, TYPE, AND AIC RATING.
2. CONNECT NEW LOAD TO EXISTING SPARE CIRCUIT BREAKER
3. PROVIDE NEW CIRCUIT BREAKER IN EXISTING AVAILABLE SPACES. MATCH EXISTING PANELBOARD MANUFACTURER, TYPE, AND AIC RATING.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT #21005

Issued for: Bidding
Issued date: 01/10/2023
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NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

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LICENSE NO. 42418
EXPIRATION DATE: 06-06-2024

ELECTRICAL SCHEDULES

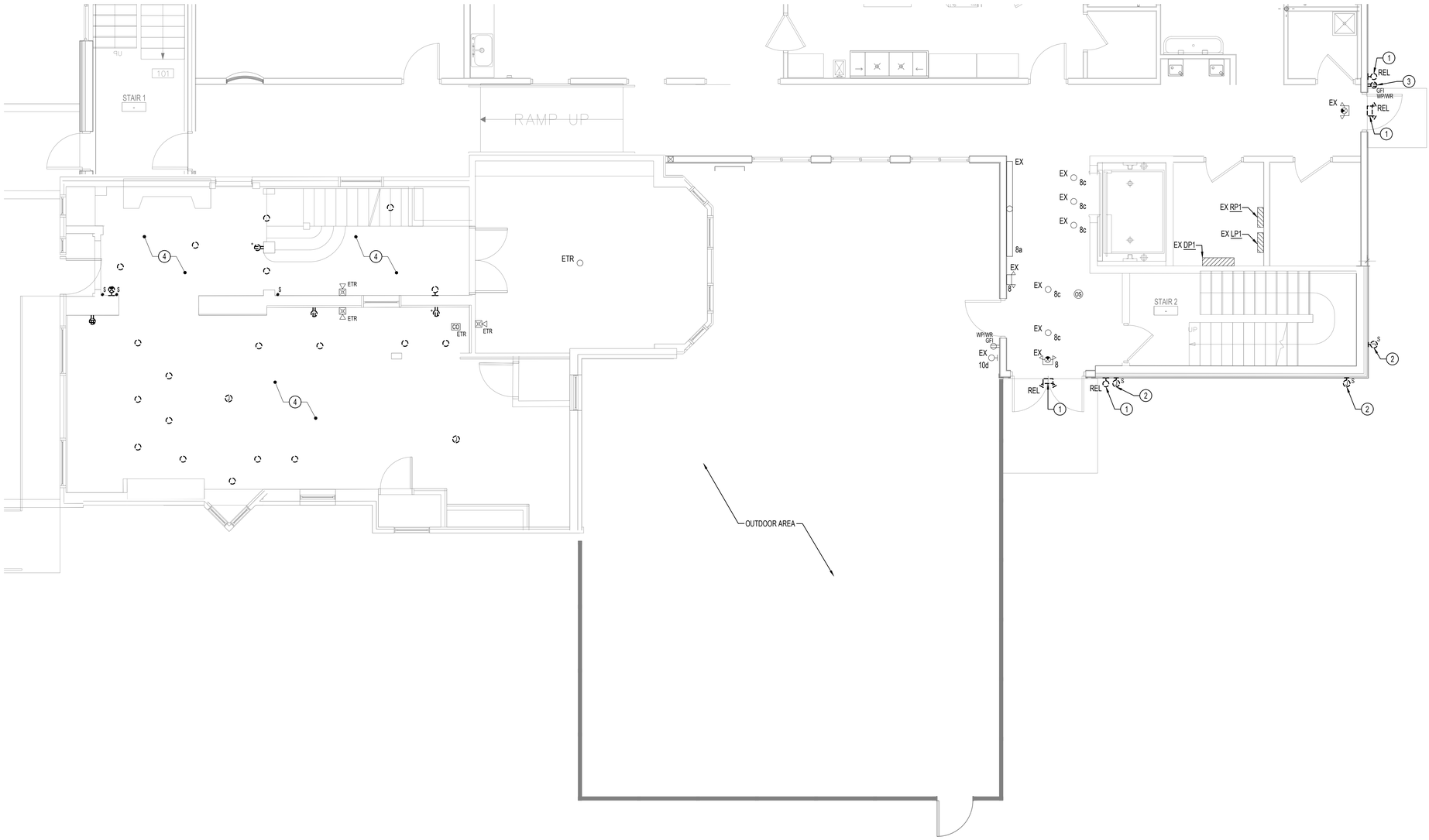
E802

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. REMOVE EXISTING LUMINAIRE AND SALVAGE FOR RE-INSTALLATION UNDER NEW WORK.
2. REMOVE EXISTING SECURITY DEVICE AND SALVAGE FOR RE-INSTALLATION UNDER NEW WORK.
3. REMOVE EXISTING POWER DEVICE AND SALVAGE FOR RE-INSTALLATION UNDER NEW WORK.
4. REMOVE EXISTING ELECTRICAL WORK INDICATED. REFER TO ARCHITECTURAL TELEPHONE AND ELECTRIC LOCATION PLANS FOR EXISTING BACKBOXES TO REMAIN. DEVICES IN THIS AREA ARE FED FROM EXISTING LOAD CENTER IN BASEMENT.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY DASHED HEAVY LINEWEIGHT (- - -) INDICATE EXISTING ITEMS TO BE REMOVED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.



1 ED101 FIRST FLOOR PLAN - ELECTRICAL DEMOLITION
1/4" = 1'-0"

0 2 4 8 12 FT
1/4" = 1'-0"

No.	Date	Appr	Revision Notes

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Baltimore, MD 21209

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Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
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Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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FIRST FLOOR PLAN - ELECTRICAL DEMOLITON

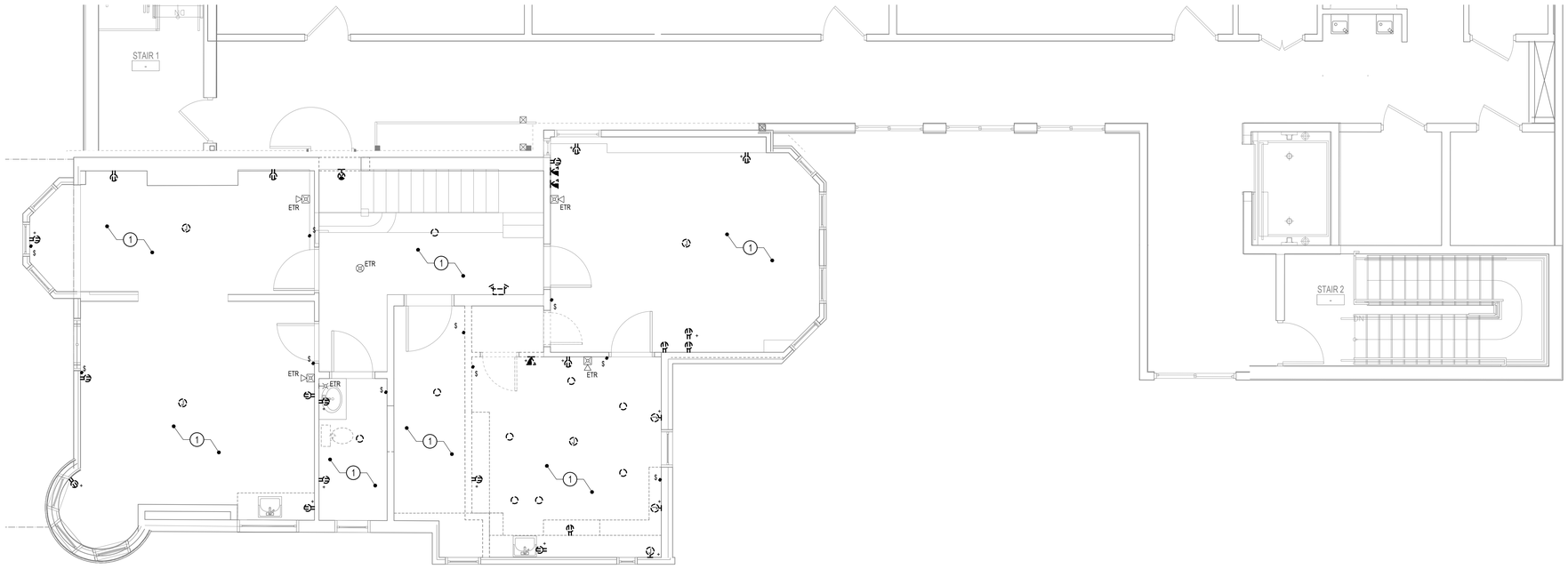
ED101

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

(1) REMOVE EXISTING ELECTRICAL WORK INDICATED. REFER TO ARCHITECTURAL TELEPHONE AND ELECTRIC LOCATION PLANS FOR EXISTING BACKBOXES TO REMAIN. DEVICES IN THIS AREA ARE FED FROM EXISTING LOAD CENTER IN BASEMENT.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY DASHED HEAVY LINEWEIGHT (- - -) INDICATE EXISTING ITEMS TO BE REMOVED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.



1 ED102 SECOND FLOOR PLAN - ELECTRICAL DEMOLITION
1/4" = 1'-0"

1/4" = 1'-0" 0 2 4 8 12 FT

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No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
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RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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SECOND FLOOR PLAN
ELECTRICAL DEMOLITION

ED102

FIRE ALARM ABBREVIATIONS

A	AMPERE
ACU	AIR CONDITIONING UNIT
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHJ	AUTHORITY HAVING JURISDICTION
AHU	AIR HANDLING UNIT
AIC	AMPERE INTERRUPTING CAPACITY
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATING, AND AIR-CONDITIONING ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ATS	AUTOMATIC TRANSFER SWITCH
AUX	AUXILIARY
A/V	AUDIBLE/VISUAL
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
CB	CIRCUIT BREAKER
CCC	CARROLL COMMUNITY COLLEGE
CD	CANDELA
CKT	CIRCUIT
CO	CARBON MONOXIDE
COMM	COMMUNICATION
CU	COPPER
CX	CONNECT TO EXISTING
DACT	DIGITAL ALARM COMMUNICATOR TRANSMITTER
DWG	DRAWING
E	EMERGENCY
EMT	ELECTRICAL METALLIC TUBING
ENCL	ENCLOSUE
EOL	END OF LINE RESISTOR
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EVACS	EMERGENCY VOICE AND ALARM COMMUNICATION SYSTEM
EX	EXISTING
F	FUSED, FUSIBLE, FAHRENHEIT
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FAID	FIRE ALARM INITIATING DEVICE
FEO	FIREFIGHTERS' EMERGENCY OPERATION
FLA	FULL LOAD AMPERAGE
FMC	FLEXIBLE METAL CONDUIT
FP	FAN POWERED, FIRE PUMP
FSS	FUSED SAFETY SWITCH
FT	FEET
G	GROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFEP	GROUND FAULT EQUIPMENT PROTECTOR
GFI	GROUND FAULT INTERRUPTER
GND	GROUND
GW	GROUND WIRE
HP	HORSEPOWER
HVAC	HEATING VENTILATING AIR CONDITIONING
HVI	HEARING AND VISUALLY IMPAIRED
HZ	HERTZ
IBC	INTERNATIONAL BUILDING CODE
IDC	INITIATING DEVICE CIRCUIT
IEBC	INTERNATIONAL EXISTING BUILDING CODE
IECC	INTERNATIONAL ENERGY CONSERVATION CODE
IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
IMC	INTERMEDIATE METALLIC CONDUIT
IN	INCH
JB	JUNCTION BOX
LC	LOAD CENTER
LCD	LIQUID CRYSTAL DISPLAY
LED	LIGHT EMITTING DIODE
LF	LINEAR FEET
LFMC	LIQUID TIGHT FLEXIBLE METALLIC CONDUIT
LFNC	LIQUID TIGHT FLEXIBLE NON-METALLIC CONDUIT
LV	LOW VOLTAGE
MAX	MAXIMUM
MC	METAL CLAD, METER CENTER
MCA	MINIMUM CIRCUIT AMPACITY
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MIN	MINIMUM
MOCP	MAXIMUM OVERCURRENT PROTECTION
MTD	MOUNTED
N	NEUTRAL
NAC	NOTIFICATION APPLIANCE CIRCUIT
NC	NORMALLY CLOSED
NCP	NETWORK CONTROL PANEL
NEC	NATIONAL ELECTRICAL CODE
NECA	NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NF	NON-FUSED
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NM	NON-METALLIC
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OCP	OVERCURRENT PROTECTION
OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
P	POLE(1P, 2P, 3P)
PA	PUBLIC ADDRESS
PH	PHASE
PIR	PASSIVE INFRARED
PVC	POLYVINYL CHLORIDE
QTY	QUANTITY
R	RACEWAY
RA	RETURN AIR
RGS	RIGID GALVANIZED STEEL
RM	ROOM
RMS	ROOT MEAN SQUARE
RNC	RIGID NONMETALLIC CONDUIT
RTU	ROOF TOP UNIT
RX	REMOVE EXISTING
SA	SUPPLY AIR
SF	SQUARE FEET
SLC	SIGNALING LINE CIRCUIT
SPD	SURGE PROTECTION DEVICE
SS	SAFETY SWITCH
SW	SWITCH
SWBD	SWITCHBOARD
TECH	TECHNOLOGY
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UH	UNIT HEATER
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
V	VOLTS
VA	VOLT-AMPERES
W	WIRE, WATTS
W/	WITH
WP	WEATHERPROOF
XFMR	TRANSFORMER

GENERAL FIRE ALARM NOTES

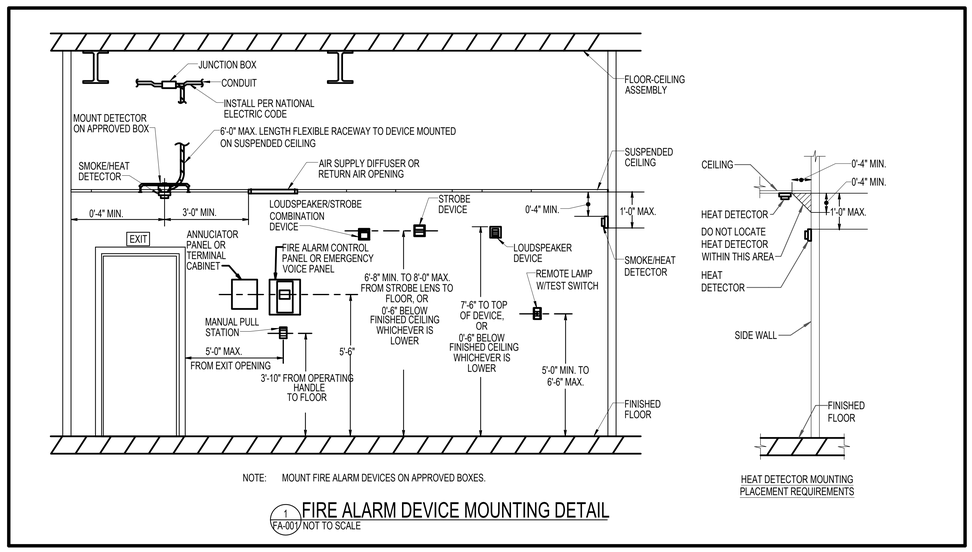
1. VERIFY THAT EXISTING FIRE ALARM SYSTEM IS OPERATIONAL BEFORE MAKING CHANGES OR CONNECTIONS.
2. DO NOT INTERRUPT EXISTING FIRE ALARM SYSTEM WITHOUT OWNER'S WRITTEN PERMISSION.
3. ENGAGE A MANUFACTURER'S AUTHORIZED SERVICE COMPANY TO PERFORM MODIFICATIONS TO THE FIRE ALARM SYSTEM.
4. FOR NEW DEVICES THAT RECEIVE POWER FROM AN EXISTING CONTROL UNIT'S INITIATING DEVICE CIRCUIT OR SIGNALING LINE CIRCUIT, PROVIDE DEVICES THAT ARE LISTED FOR USE WITH THE EXISTING CONTROL UNIT.
5. DRAWINGS ARE CONCEPTUAL, INTENDED TO SHOW GENERAL SYSTEM CONFIGURATION AND PERFORMANCE. PREPARE SHOP DRAWINGS AND PROVIDE CONDUITS, WIRING, SYSTEM COMPONENTS AND EQUIPMENT FOR A COMPLETE AND OPERATIONAL SYSTEM IN COMPLIANCE WITH NFPA 70, NFPA 72, NFPA 90A, NFPA 101 IBC, THE AUTHORITY HAVING JURISDICTION AND THE CONTRACT DOCUMENTS.
6. CONNECT NEW FIRE ALARM DEVICES TO RESPECTIVE EXISTING FLOOR INITIATING AND SIGNALING CIRCUITS.
7. EXISTING FIRE ALARM SYSTEM IS A NOTIFIER NFW - 100X / XR ANALOG ADDRESSABLE FIRE ALARM CONTROL PANEL WITH VOICE EVACUATION.
8. COORDINATE FIRE ALARM WORK WITH LOCAL FIRE MARSHAL, FIRE ALARM PLANS REVIEW, AND FIRE DEPARTMENT INSPECTORS.
9. OBTAIN AND PAY FOR PERMITS REQUIRED FOR INSTALLATION OF FIRE ALARM SYSTEM. PROVIDE SHOP DRAWING SUBMITTAL DOCUMENTS TO AUTHORITY HAVING JURISDICTION TO OBTAIN PERMIT. SUBMITTAL SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
   A. SCALED FLOOR PLANS WITH ROOM NAMES AND NUMBERS WHICH INDICATE USE OF ALL ROOMS.
   B. FIRE ALARM DEVICE AND CABLE SYMBOL LEGEND.
   C. FLOOR PLAN LAYOUT SHOWING LOCATIONS OF ALL DEVICES AND CONTROL EQUIPMENT, INCLUDING MOUNTING HEIGHTS OF ALARM INITIATING DEVICES AND NOTIFICATION DEVICES.
   D. FIRE ALARM CONTROL PANEL AND ANNUNCIATOR LOCATION.
   E. POWER CONNECTION.
   F. BATTERY CALCULATIONS.
   G. VOLTAGE DROP CALCULATIONS FOR NOTIFICATION APPLIANCE CIRCUITS.
   H. SIZE, TYPE, AND NUMBER OF CONDUCTORS.
   I. MANUFACTURER'S TECHNICAL DATA SHEETS INCLUDING MODEL NUMBERS AND LISTING INFORMATION FOR EQUIPMENT, DEVICES, AND MATERIALS.
   J. DETAILS OF CEILING HEIGHT AND CONSTRUCTION.
   K. INTERFACE OF FIRE SAFETY CONTROL FUNCTIONS.
   L. FIRE ALARM SYSTEM RISER.
   M. SEQUENCE OF OPERATIONS INPUT/OUTPUT MATRIX.
   N. DEVICE TO DEVICE WIRING.
   O. LOUDNESS AND CANDELA SETTINGS FOR EVERY NOTIFICATION APPLIANCE.
10. INCREASE BATTERY CAPACITY OF FIRE ALARM SYSTEM TO ACCOMMODATE ADDITIONAL LOAD.
11. FIRE ALARM BRANCH CIRCUIT IDENTIFICATION MUST COMPLY WITH NFPA 70 AND NFPA 72:
    - PROVIDE APPROVED RED CIRCUIT BREAKER LOCKOUT DEVICE FOR EACH CIRCUIT BREAKER SERVING A FIRE ALARM CIRCUIT.
    - IDENTIFY EACH FIRE ALARM CIRCUIT WITH A RED PHENOLIC NAMEPLATE WITH WHITE LETTERING. NAMEPLATE SHALL READ "FIRE ALARM CIRCUIT". FASTEN NAMEPLATE IN PANELBOARD ADJACENT TO CIRCUIT BREAKER.
12. IDENTIFY POWER SOURCE AND LOCATION OF BRANCH CIRCUIT DISCONNECT SERVING FIRE ALARM EQUIPMENT. FASTEN PHENOLIC NAMEPLATE TO FIRE ALARM SYSTEM PANEL(S) INDICATING LOCATION OF DEDICATED BRANCH CIRCUIT DISCONNECTING MEANS. NAMEPLATE SHALL READ "THIS PANEL FED FROM PANEL ___, CIRCUIT NO. ____, LOCATED IN ____".
13. IDENTIFY EACH FIRE ALARM DEVICE AND EQUIPMENT ENCLOSURE. DEVICE LABELS SHALL INDICATE ADDRESS AND ZONE.
14. IDENTIFY FIRE ALARM CIRCUITS AT TERMINAL AND JUNCTION LOCATIONS WITH PERMANENT LABELS. PAINT FIRE ALARM CIRCUIT JUNCTION BOX COVERS RED AND LABEL COVER "FIRE ALARM". MARK CONDUITS CARRYING FIRE ALARM SYSTEM CIRCUITS WITH RED STRIPE EVERY 10 FEET.
15. PERFORM RE-ACCEPTANCE TESTING IN ACCORDANCE WITH NFPA 72 TO VERIFY PROPER OPERATION OF ADDED OR REPLACED DEVICES INCLUDING BUT NOT LIMITED TO INITIATING DEVICES, NOTIFICATION APPLIANCES, EMERGENCY CONTROL FUNCTION DEVICES AND CONTROL EQUIPMENT.

FIRE ALARM LEGEND

SYMBOL	DESCRIPTION	MOUNTING HEIGHT
S D	FIRE ALARM SYSTEM - SMOKE DETECTOR - AREA, CEILING/WALL MOUNT SUBSCRIPTS: P: PHOTOELECTRIC TYPE (DEFAULT IF NO SUBSCRIPT INDICATED)	- - / SEE DETAIL
D	FIRE ALARM SYSTEM - SMOKE DETECTOR, DUCT DETECTOR WITH SAMPLING TUBE. SUBSCRIPT IDENTIFIES EQUIPMENT TO BE CONTROLLED FOR SHUTDOWN	- -
D	FIRE ALARM SYSTEM - SMOKE DAMPER WITH DUCT SMOKE DETECTOR WITH 120V POWER CONNECTION TO DAMPER	- -
H H	FIRE ALARM SYSTEM - HEAT DETECTOR, CEILING/WALL MOUNT SUBSCRIPTS: F: FIXED TEMPERATURE (DEFAULT IF NO SUBSCRIPT INDICATED)	- - / SEE DETAIL
CO CO	CARBON MONOXIDE DETECTOR, CEILING/WALL MOUNT	- - / SEE DETAIL
F	FIRE ALARM SYSTEM - MANUAL PULL STATION	46"
AM	FIRE ALARM SYSTEM - ADDRESSABLE MODULE	- -
S	FIRE ALARM SYSTEM - STROBE, CEILING/WALL MOUNT SUBSCRIPTS: WP: WEATHERPROOF	- - / 86"
S	FIRE ALARM SYSTEM - LOUDSPEAKER STROBE, CEILING/WALL MOUNT SUBSCRIPTS: WP: WEATHERPROOF	- - / 86"
S	FIRE ALARM SYSTEM - LOUDSPEAKER, CEILING/WALL MOUNT SUBSCRIPTS: WP: WEATHERPROOF	- - / 86"
FACP	FIRE ALARM SYSTEM - FIRE ALARM CONTROL PANEL	78" TO TOP
FAAP	FIRE ALARM SYSTEM - FIRE ALARM SYSTEM ANNUNCIATOR PANEL	78" TO TOP
AR	AREA OF REFUGE CALL STATION	- -

NOTES: (APPLICABLE TO FIRE ALARM LEGEND ONLY)

1. THE MOUNTING HEIGHTS GIVEN ON THIS SHEET IN THE ELECTRICAL LEGEND ARE GENERAL AND SHALL BE USED ONLY WHEN MOUNTING HEIGHTS CANNOT BE ESTABLISHED BY REFERENCE TO DETAILS, ELEVATIONS, AND NOTES ON THE DRAWINGS.
2. ALL MOUNTING HEIGHTS, UNLESS OTHERWISE NOTED, SHALL BE MEASURED FROM THE FINISHED FLOOR TO THE CENTERLINE OF THE OUTLET OR DEVICE.
3. HEIGHTS OF ALL ITEMS NOT COVERED BY THE ELECTRICAL LEGEND AND NOT SHOWN ON THE DRAWINGS SHALL BE AS DIRECTED BY THE ARCHITECT OR ENGINEER.
4. WHERE PLACING ANY ITEM AT THE HEIGHTS LISTED OR NOTED WILL CAUSE INTERFERENCE WITH THE WORK OF OTHER TRADES, OR IS NOT PHYSICALLY POSSIBLE OR DESIRABLE FOR ONE REASON OR ANOTHER, THE ITEM SHALL BE INSTALLED AT A LOCATION APPROVED BY THE ARCHITECT OR ENGINEER.



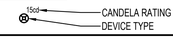
NOTE: MOUNT FIRE ALARM DEVICES ON APPROVED BOXES.

HEAT DETECTOR MOUNTING PLACEMENT REQUIREMENTS

1 FA-001 FIRE ALARM DEVICE MOUNTING DETAIL
NOT TO SCALE

FIRE ALARM CONVENTIONS

FIRE ALARM



CARBON MONOXIDE DETECTION AND WARNING

a. OCCUPANT NOTIFICATION SHALL BE IN ACCORDANCE WITH 2015 NFPA 720 ARTICLE 5.8.6.2.2.

b. CARBON MONOXIDE ALARM SIGNALS SHALL BE TRANSMITTED TO A CONSTANTLY ATTENDED OFF-PREMISES SUPERVISING STATION.

c. SELECTIVE PUBLIC MODE OCCUPANT NOTIFICATION WILL BE LIMITED TO THE NOTIFICATION ZONE ENCOMPASSING THE AREA WHERE THE CARBON MONOXIDE SIGNAL WAS INITIATED.

d. VISUAL NOTIFICATION SHALL BE BY BLUE FLASHING LIGHT TO ALERT OCCUPANTS OF THE PRESENCE OF CARBON MONOXIDE.

e. AUDIBLE NOTIFICATION SHALL BE BY FIRE ALARM SYSTEM HORN. HORN SHALL PRODUCE A FOUR-PULSE TEMPORAL PATTERN TO ALERT OCCUPANTS OF THE PRESENCE OF CARBON MONOXIDE.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

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LICENSE NO: 42174
EXPIRATION DATE: 12-12-2023

FIRE ALARM COVER SHEET

FA001

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

(1) EXISTING FACP.

(2) CONFIRM AUDIBILITY LEVEL IN ROOM AFTER DOORS, FLOOR FINISHES AND CEILING ARRANGEMENTS ARE INSTALLED IN PLACE.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
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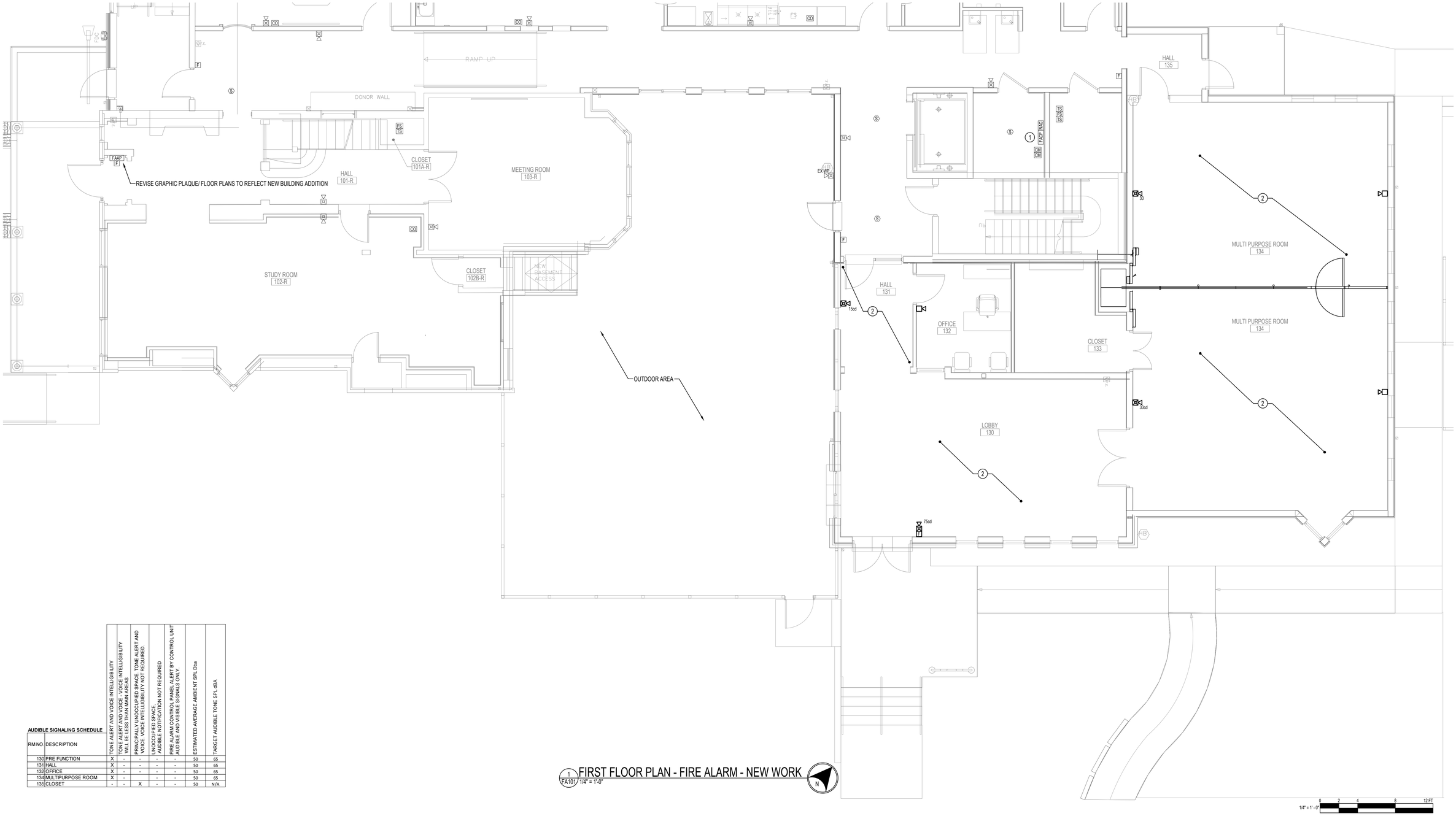
3. ALL FIRE ALARM NOTIFICATION APPLIANCE HOUSINGS SHALL BE WHITE.
4. COORDINATE LOCATIONS OF NOTIFICATION APPLIANCES WITH ARCHITECTURAL PLANS AND ELEVATIONS.
5. IN CLASSROOMS, MEETING ROOMS, AND SIMILAR SPACES, COORDINATE INSTALLATION OF FIRE ALARM DEVICES WITH CHALKBOARDS, SMARTBOARDS, WHITEBOARDS, BULLETIN BOARDS, TACK STRIPS, PROJECTION SCREENS, LUMINAIRES, WALL CABINETS, AND SIMILAR ITEMS.



1 FA101 FIRST FLOOR PLAN - FIRE ALARM - NEW WORK
1/4" = 1'-0"

AUDIBLE SIGNALING SCHEDULE

RM NO.	DESCRIPTION	TONE ALERT AND VOICE INTELLIGIBILITY	TONE ALERT AND VOICE - VOICE INTELLIGIBILITY WILL BE LESS THAN MAIN AREAS	PRINCIPALLY UNOCCUPIED SPACE. TONE ALERT AND VOICE - VOICE INTELLIGIBILITY NOT REQUIRED	UNOCCUPIED SPACE. AUDIBLE NOTIFICATION NOT REQUIRED	FIRE ALARM CONTROL PANEL ALERT BY CONTROL UNIT AUDIBLE AND VISIBLE SIGNALS ONLY.	ESTIMATED AVERAGE AMBIENT SPL Dba	TARGET AUDIBLE TONE SPL dBA
130	PRE FUNCTION	X	-	-	-	-	50	65
131	HALL	X	-	-	-	-	50	65
132	OFFICE	X	-	-	-	-	50	65
134	MULTIPURPOSE ROOM	X	-	-	-	-	50	65
135	CLOSET	-	-	X	-	-	50	N/A

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Baltimore, MD 21209

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Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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LICENSE NO. 42174
EXPIRATION DATE: 12-12-2023

FIRST FLOOR PLAN - FIRE ALARM - NEW WORK

FA101

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

(1) CONFIRM AUDIBILITY LEVELS IN NEW ROOMS AFTER DOORS, FLOOR FINISHES AND CEILING ARRANGEMENTS ARE INSTALLED IN PLACE.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
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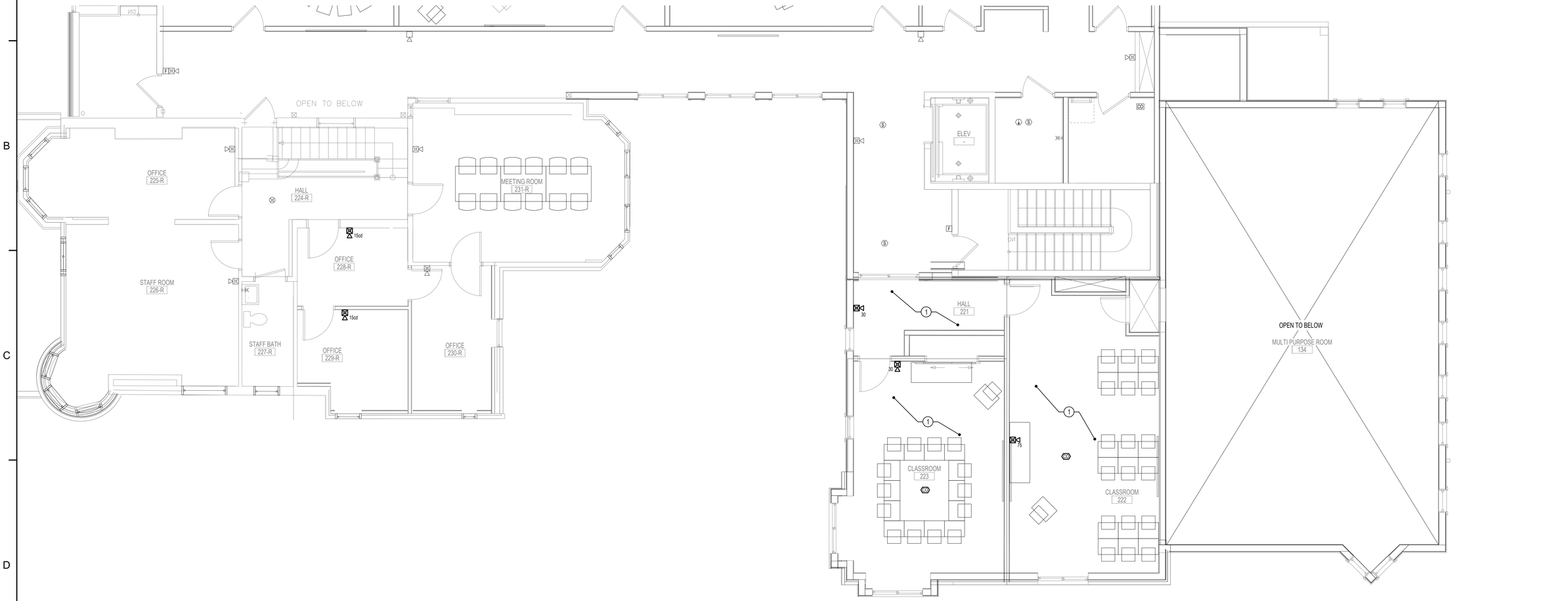
3. ALL FIRE ALARM NOTIFICATION APPLIANCE HOUSINGS SHALL BE WHITE.
4. COORDINATE LOCATIONS OF NOTIFICATION APPLIANCES WITH ARCHITECTURAL PLANS AND ELEVATIONS.
5. IN CLASSROOMS, MEETING ROOMS, AND SIMILAR SPACES, COORDINATE INSTALLATION OF FIRE ALARM DEVICES WITH CHALKBOARDS, SMARTBOARDS, WHITEBOARDS, BULLETIN BOARDS, TACK STRIPS, PROJECTION SCREENS, LUMINAIRES, WALL CABINETS, AND SIMILAR ITEMS.



1 FA102 SECOND FLOOR PLAN - FIRE ALARM - NEW WORK
1/4" = 1'-0"

AUDIBLE SIGNALING SCHEDULE

RM NO.	DESCRIPTION	TONE ALERT AND VOICE INTELLIGIBILITY	TONE ALERT AND VOICE - VOICE INTELLIGIBILITY WILL BE LESS THAN MAIN AREAS	PRINCIPALLY UNOCCUPIED SPACE - TONE ALERT AND VOICE. VOICE INTELLIGIBILITY NOT REQUIRED.	UNOCCUPIED SPACE. AUDIBLE NOTIFICATION NOT REQUIRED	FIRE ALARM CONTROL PANEL ALERT BY CONTROL UNIT AUDIBLE AND VISIBLE SIGNALS ONLY	ESTIMATED AVERAGE AMBIENT SPL Dba	TARGET AUDIBLE TONE SPL dBA
221	HALL	X	-	-	-	-	50	65
222	CLASSROOM	X	-	-	-	-	50	65
223	CLASSROOM	X	-	-	-	-	50	65

0 2 4 8 12 FT
1/4" = 1'-0"

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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SECOND FLOOR PLAN - FIRE ALARM - NEW WORK

FA102

SPECIAL NOTES: (APPLICABLE TO THIS DRAWING ONLY)

(1) PROVIDE NEW ADDRESSABLE DUCT SMOKE DETECTORS SERVING RTU-3 SUPPLY/RETURN DUCTWORK. ACTIVATION OF DUCT SMOKE DETECTORS SHALL CAUSE CORRESPONDING UNIT TO SHUT DOWN.

(2) PROVIDE INTERPOSING RELAYS AS REQUIRED FOR AHU SHUT DOWN.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
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3. ALL FIRE ALARM NOTIFICATION APPLIANCE HOUSINGS SHALL BE WHITE.

1 FA103 ATTIC AND ROOF PLAN - FIRE ALARM - NEW WORK
1/4" = 1'-0"

N

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
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600 Baltimore Avenue
Baltimore, Maryland 21204
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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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ATTIC AND ROOF PLAN - FIRE ALARM - NEW WORK

FA103

SYSTEM OUTPUTS

CONTROL UNIT ANNUNCIATION — NOTIFICATION — EMERGENCY CONTROL FUNCTION — SUPPLEMENTARY

- A — ACTUATE COMMON ALARM SIGNAL INDICATOR
- B — ACTUATE AUDIBLE ALARM SIGNAL
- C — ACTUATE COMMON SUPERVISORY SIGNAL INDICATOR
- D — ACTUATE AUDIBLE SUPERVISORY SIGNAL
- E — ACTUATE COMMON TROUBLE SIGNAL INDICATOR
- F — ACTUATE AUDIBLE COMMON TROUBLE SIGNAL
- G — ACTUATE ASSOCIATED FLOOR ALARM INDICATOR
- H — RECORD INFORMATION ON CPU
- I — DISPLAY DEVICE ADDRESS AT CONTROL UNIT
- J — ACTUATE DISTINCT VISIBLE ELEVATOR RECALL ALARM
- K — ACTUATE AUDIBLE AND VISUAL EVACUATION SIGNALS
- L — ACTUATE LOCAL VISUAL AND TEMPORAL 4 AUDIBLE SIGNAL
- M — TRANSMIT FIRE ALARM SIGNAL TO SUPERVISING STATION
- N — TRANSMIT SUPERVISORY SIGNAL TO SUPERVISING STATION
- O — TRANSMIT TROUBLE SIGNAL TO SUPERVISING STATION
- P — ACTUATE EXTERIOR AUDIBLE/VISUAL SIGNAL
- Q — RELEASE MAGNETICALLY HELD SMOKE DOORS
- R — SHUT DOWN RESPECTIVE AIR HANDLING UNIT
- S — ACTUATE ASSOCIATED FAN SHUT DOWN SIGNAL
- T — CLOSE ASSOCIATED FIRE/SMOKE DAMPER
- U — CLOSE ASSOCIATED SMOKE DAMPER
- V — RECALL ELEVATORS TO DESIGNATED LEVEL
- W — RECALL ELEVATORS TO ALTERNATE LEVEL
- X — ACTUATE WARNING TO ELEVATOR CABS
- Y — SHUT DOWN POWER TO ELEVATOR
- Z — ILLUMINATE PROPER LED AT GRAPHIC ANNUNCIATOR

SYSTEM INPUTS

		A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	
1	MANUAL PULL STATION	●	●						●	●		●		●				●									●	1
2	AREA SMOKE OR HEAT DETECTOR	●	●						●	●		●		●				●									●	2
3	FIRE ALARM SYSTEM AC POWER FAILURE					●	●		●	●						●											●	3
4	FIRE ALARM SYSTEM LOW BATTERY					●	●		●	●						●											●	4
5	FIRE ALARM SYSTEM OPEN CIRCUIT					●	●		●	●						●											●	5
6	FIRE ALARM SYSTEM GROUND FAULT					●	●		●	●						●											●	6
7	FIRE ALARM SYSTEM NOTIFICATION APPLIANCE SHORT CIRCUIT					●	●		●	●						●											●	7
8	SPRINKLER WATER FLOW SWITCH	●	●						●	●		●					●	●									●	8
9	SPRINKLER TAMPER			●	●				●	●					●												●	9
10	ELEVATOR LOBBY SMOKE DETECTOR		●						●	●	●	●						●					●				●	10
11	DESIGNATED LEVEL ELEVATOR LOBBY SMOKE DETECTOR		●						●	●	●	●						●						●			●	11
12	ELEVATOR MACHINERY ROOM SMOKE DETECTOR		●						●	●	●	●						●					●		●		●	12
13	ELEVATOR MACHINERY ROOM HEAT DETECTOR			●	●				●	●					●			●							●	●	●	13
14	ELEVATOR SHUNT TRIP CONTROL POWER SUPERVISING RELAY			●	●				●	●					●												●	14
15	HVAC DUCT SMOKE DETECTOR			●	●				●	●					●				●	●							●	15
16	SMOKE DETECTOR AT SMOKE DAMPER			●	●				●	●		●		●	●							●					●	16
17	SMOKE DETECTOR AT FIRE-SMOKE DAMPER			●	●				●	●		●		●	●						●						●	17
18	CARBON MONOXIDE DETECTOR			●	●				●	●			●		●												●	18
		A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	

1 FA501 FIRE ALARM MATRIX
NTS

No. Date Appr Revision Notes

No. Date Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
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Baltimore, MD 21210
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FIRE ALARM MATRIX

FA501

FIRE PROTECTION LEGEND

SYMBOL	DESCRIPTION
S–1	RISER DESIGNATION
A / M–1	SECTION DESIGNATION TOP – SECTION REFERENCE, BOTTOM – REFERENCED DRAWING
F	FIRE LINE
SP	SPRINKLER PIPING
	PIPE DOWN
	PIPE UP
	PIPE CONTINUATION

GENERAL FIRE PROTECTION NOTES

(APPLICABLE TO ALL FIRE PROTECTION DRAWINGS)

1. EXTEND AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE NEW ADDITION TO THE EXISTING BUILDING INCLUDING PIPING, HANGERS, SPRINKLERS, AND ALL ASSOCIATED EQUIPMENT. ALL WORK AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 13, IBC, LOCAL AND STATE AUTHORITIES AND THE SPECIFICATIONS.
2. SPRINKLER SYSTEM FOR THIS PROJECT SHALL BE HYDRAULICALLY DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13.
3. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH FABRICATION AND INSTALLATION OF WORK.
4. EXISTING SPRINKLER SYSTEM IS A SINGLE WET PIPE TYPE THROUGHOUT THE ENTIRE FACILITY.
5. OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONDUCTING WELDING AND CUTTING OPERATIONS.
6. MAINTAIN MINIMUM 6' - 8" HEAD ROOM CLEARANCE BETWEEN BOTTOM OF SPRINKLER PIPE AND FLOOR INCLUDING ACCESS ROUTES IN MECHANICAL AND ELECTRICAL ROOMS.
7. UNLESS OTHERWISE NOTED, INSTALL PIPING OVERHEAD, TIGHT TO UNDERSIDE OF STRUCTURE, WITH SPACE FOR INSULATION AS REQUIRED.
8. INSTALL EXPOSED PIPING TO MAXIMIZE AESTHETICS AND MINIMIZE OBSTRUCTION TO OCCUPANTS. INSTALL PIPING AND VALVES TIGHT TO CEILINGS AND WALLS AS MUCH AS PRACTICAL WITH SPACE TO REMOVE ACCESSIBLE CEILINGS. COORDINATE PIPING WITH OTHER TRADES. PRIOR TO INSTALLATION, SUBMIT DRAWINGS TO ARCHITECT AND ENGINEER OF RECORD FOR APPROVAL.
9. INSTALL PIPING SO THAT ALL VALVES ARE ACCESSIBLE.
10. COORDINATE FIRE PROTECTION WORK WITH THE WORK OF OTHER TRADES SHOWN ON OTHER DRAWINGS.
11. COORDINATE EXACT SPRINKLER HEAD LOCATIONS WITH LIGHTING FIXTURES, DIFFUSERS, GRILLES, DUCTS, STRUCTURAL MEMBERS, SPEAKERS, AND OTHER DEVICES AND OBSTRUCTIONS ENCOUNTERED.
12. SPRINKLERS INSTALLED IN PROXIMITY TO DUCTS AND OTHER OBSTRUCTIONS SHALL BE LOCATED TO MINIMIZE OBSTRUCTION TO DISCHARGE IN ACCORDANCE WITH NFPA 13.
13. PROVIDE SPRINKLER COVERAGE AROUND FIXED OBSTRUCTIONS, SUCH AS LARGE DUCTS, CLOUD CEILINGS, ETC. IN ACCORDANCE WITH NFPA 13.
14. LOCATE SPRINKLER HEADS IN ACCORDANCE WITH NFPA 13. PROVIDE ADDITIONAL HEADS TO SATISFY REQUIREMENTS OF SYMMETRY AND AESTHETICS.
15. INSTALL SPRINKLER PIPING SO THAT ALL PORTIONS CAN BE DRAINED BACK THROUGH DRAIN VALVES.
16. CERTAIN ITEMS SUCH AS RISES AND DROPS IN PIPING ARE INDICATED ON THE DRAWINGS FOR CLARITY OR A SPECIFIC LOCATION REQUIREMENT AND SHALL NOT BE INTERPRETED AS THE EXTENT OF THE REQUIREMENTS FOR THESE ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THESE ITEMS AS REQUIRED ELSEWHERE IN THE CONTRACT DOCUMENTS.
17. PATCH PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRE STOPPING MATERIAL TO MAINTAIN THE RATING OF THE WALL.
18. CONCEAL ALL SPRINKLER PIPING IN AREAS PROVIDED WITH SUSPENDED CEILINGS.
19. REFER TO ARCHITECTURAL PLANS AND INTERIOR FINISH SCHEDULES FOR ALL CEILING HEIGHTS.
20. PROTECT SPRINKLERS SUBJECT TO MECHANICAL DAMAGE WITH GUARDS IN ACCORDANCE WITH NFPA 13.
21. DO NOT CUT, DRILL, BURN OR MODIFY STRUCTURAL MEMBERS AND SYSTEMS.
22. ARRANGE FOR APPROVAL OF SPRINKLER SYSTEM AND CONDUCT TESTS IN ACCORDANCE WITH NFPA 13.
23. SUBMIT FULLY COORDINATED SHOP DRAWINGS, HYDRAULIC CALCULATIONS, AND MANUFACTURER'S DATA SHEETS TO ENGINEER FOR APPROVAL BEFORE PURCHASE AND INSTALLATION. COORDINATE FINAL DESIGN OF THE SYSTEM WITH FILED CONDITIONS, THE ARCHITECT AND AVAILABLE WATER SUPPLY.
24. PROVIDE ALL NECESSARY PARTS AND ACCESSORIES EVEN THOUGH THE PARTS AND ACCESSORIES ARE NOT SPECIFICALLY MENTIONED OR SHOWN HEREIN.
25. THE SPRINKLER SYSTEM SHALL BE SUBJECTED TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE TO NFPA 13.
26. PROVIDE PIPE HANGERS IN ACCORDANCE WITH NFPA 13. HANGER MATERIALS SHALL BE UL LISTED AND FM APPROVED.

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE
Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

PROJECT # 21005

Issued for: Bidding
Issued date: 01/10/2023
PRINT DATE January 10, 2023

NOTE: DO NOT SCALE DRAWINGS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS BEFORE INSTALLATION.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO: 42174
EXPIRATION DATE: 12-12-2023

FIRE PROTECTION COVER SHEET

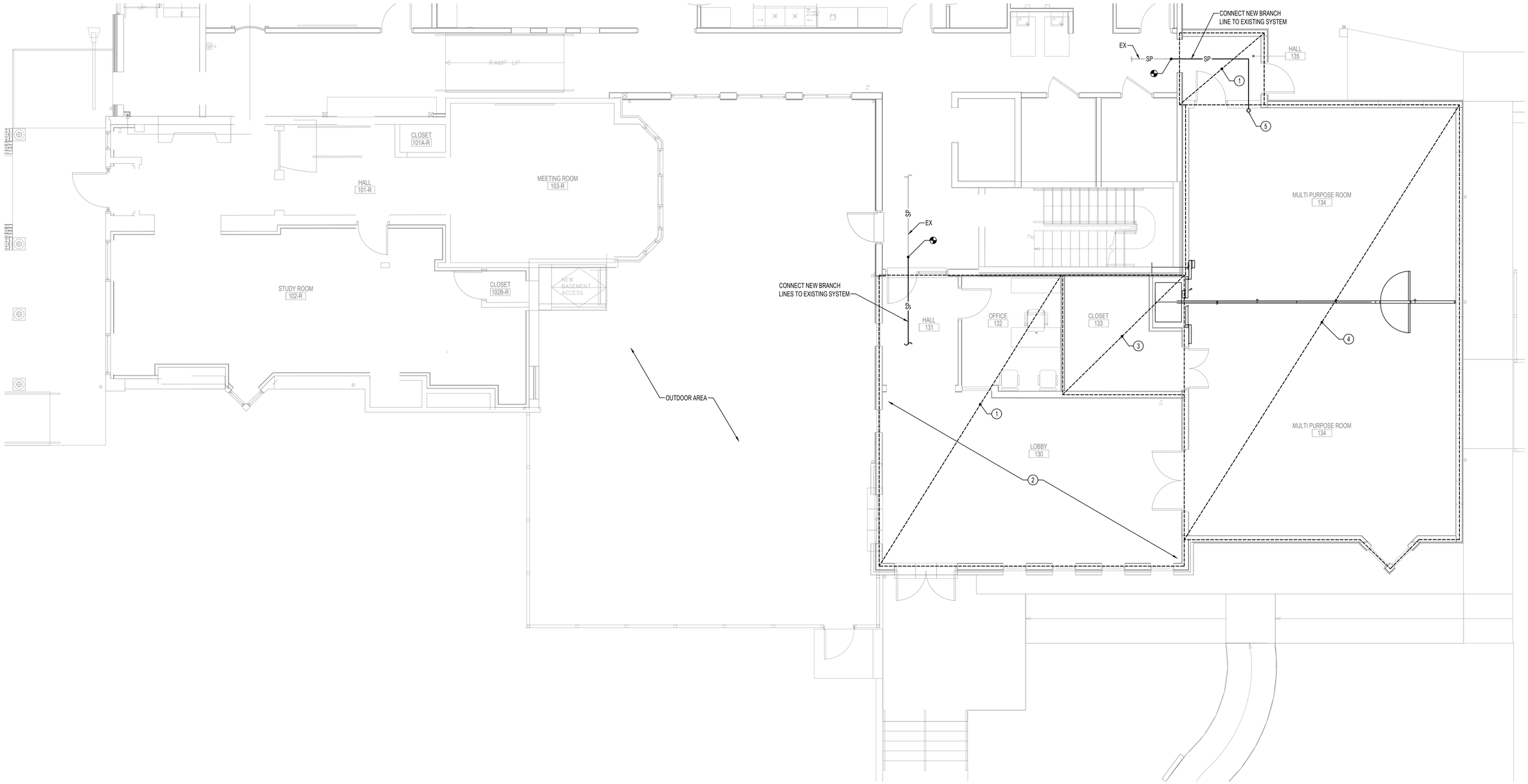
FP001

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE INDICATED, SPRINKLER PROTECTION SHALL BE IN ACCORDANCE WITH LIGHT HAZARD OCCUPANCY REQUIREMENTS.
2. PROVIDE SPRINKLER COVERAGE ABOVE AND BELOW CEILING CLOUD.
3. PROVIDE SPRINKLER PROTECTION IN ACCORDANCE WITH ORDINARY HAZARD GROUP I REQUIREMENTS.
4. PROVIDE SPRINKLER PROTECTION FROM FLOOR ABOVE FOR MULTIPURPOSE ROOM.
5. BRANCH SPRINKLER PIPING UP/DOWN AT THIS LOCATION.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, FIRE PROTECTION ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. FIRE PROTECTION ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.



1 FP101 FIRST FLOOR PLAN - FIRE PROTECTION - NEW WORK
1/4" = 1'-0"

N

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

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Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
Office: 410.296.6500 Fax: 410.296.6501
www.henryadams.com
MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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LICENSE NO. 42174
EXPIRATION DATE: 12-12-2023

FIRST FLOOR PLAN - FIRE PROTECTION - NEW WORK

FP101

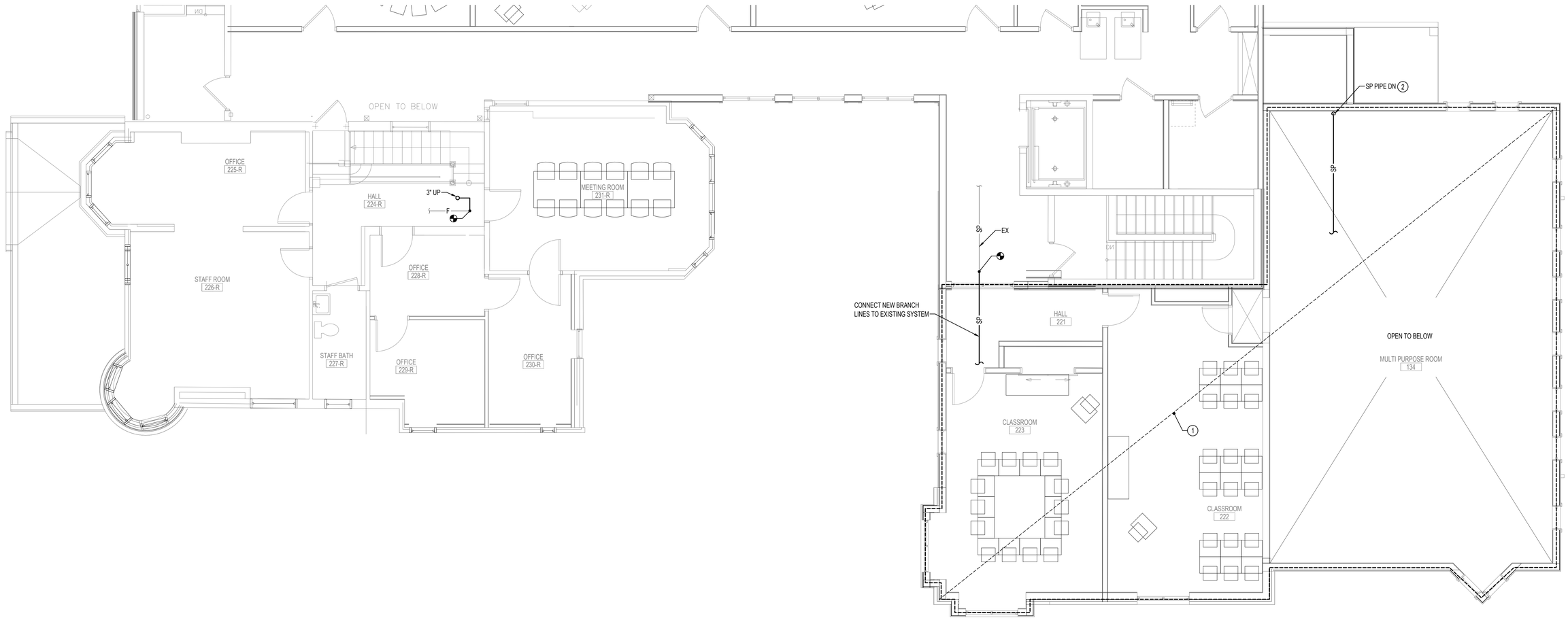
SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

(1) SPRINKLER PROTECTION SHALL BE IN ACCORDANCE WITH LIGHT HAZARD OCCUPANCY REQUIREMENTS.

(2) BRANCH SPRINKLER PIPING DOWN AT THIS LOCATION.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
2. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING AND AWAIT WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.



1 FP102 SECOND FLOOR PLAN - FIRE PROTECTION - NEW WORK
1/4" = 1'-0"

N

1/4" = 1'-0" 0 2 4 8 12 FT

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Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

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Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
600 Baltimore Avenue
Baltimore, Maryland 21204
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MECHANICAL ELECTRICAL & PLUMBING ENGINEERS

RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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SECOND FLOOR - FIRE PROTECTION - NEW WORK

FP102

SPECIAL NOTES: (APPLICABLE TO THIS SHEET ONLY)

(1) MODIFY EXISTING SPRINKLERS AND BRANCH PIPING AS REQUIRED TO COORDINATE WITH NEW MECHANICAL WORK.

DRAWING NOTES: (APPLICABLE TO THIS SHEET ONLY)

1. UNLESS OTHERWISE NOTED, ELECTRICAL ITEMS SHOWN BY SOLID HEAVY LINEWEIGHT (——) INDICATE NEW WORK TO BE PROVIDED. ELECTRICAL ITEMS SHOWN BY SOLID LIGHT LINEWEIGHT (——) INDICATE EXISTING ITEMS TO REMAIN.
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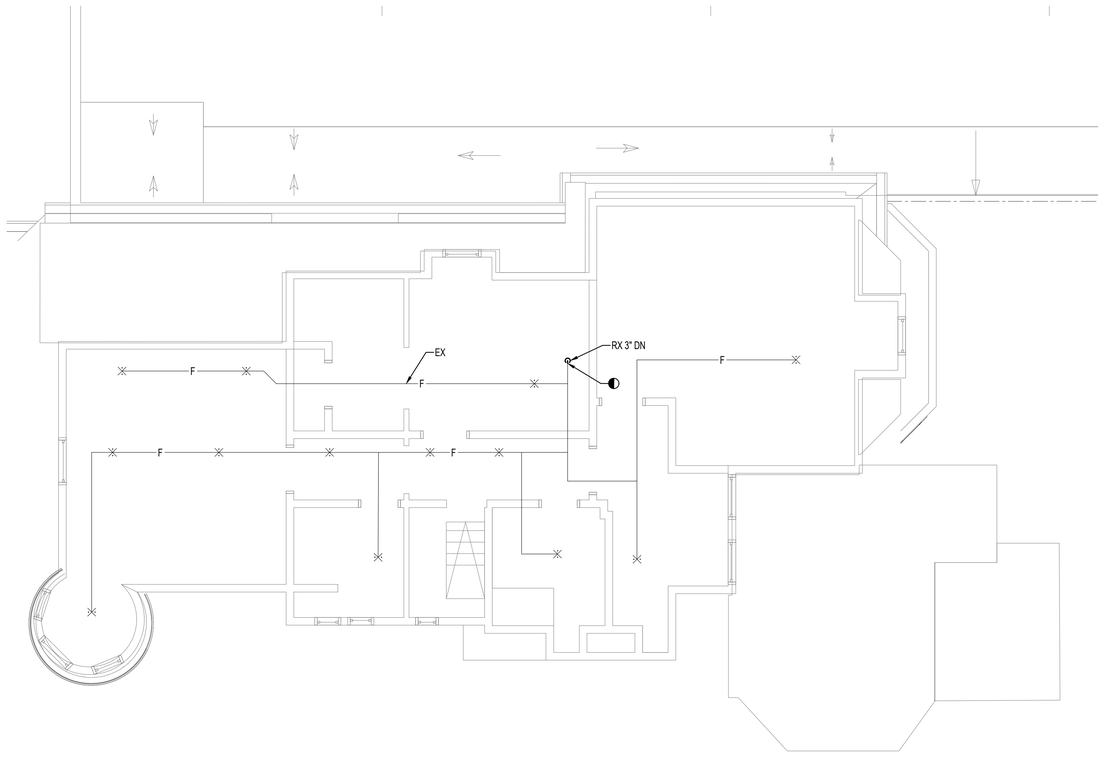
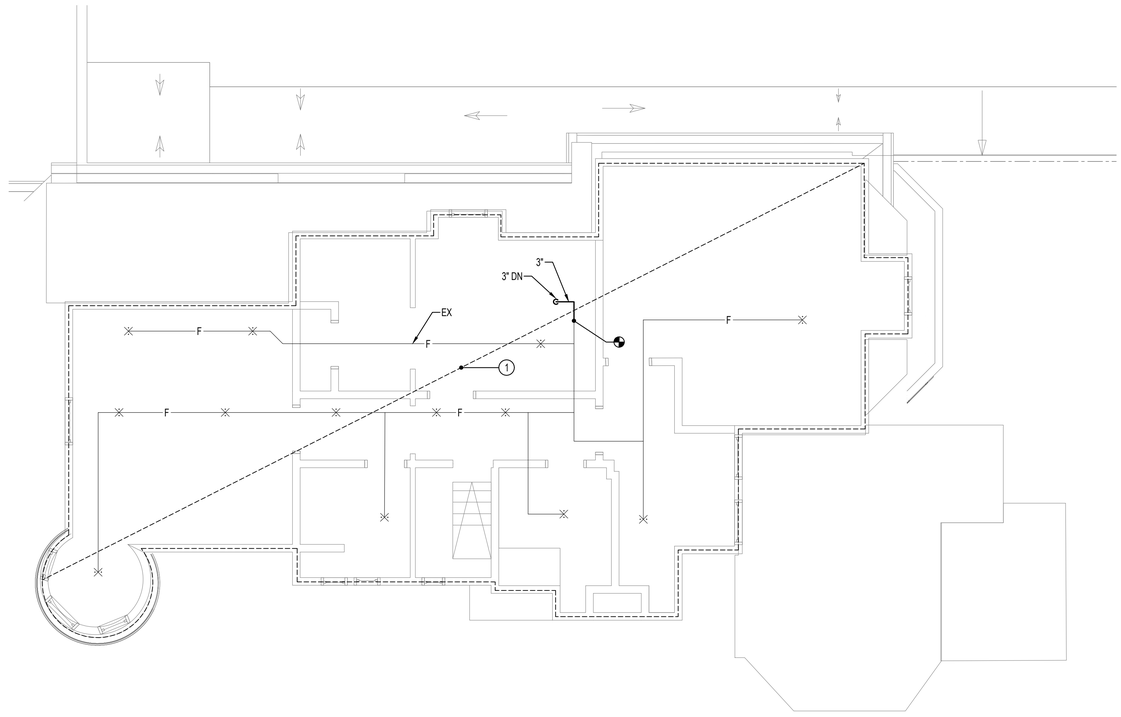


1 FP103 ATTIC AND ROOF PLAN - FIRE PROTECTION - DEMOLITION
1/4" = 1'-0"



2 FP103 ATTIC AND ROOF PLAN - FIRE PROTECTION - NEW WORK
1/4" = 1'-0"

1/4" = 1'-0" 0 2 4 8 12 FT

No.	Date	Appr	Revision Notes

No.	Date	Issue Notes

CIVIL ENGINEER:
Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

HENRY ADAMS
Consulting Engineers
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RM SOVICH ARCHITECTURE

Architect
RM Sovich Architecture
1 Village square
Suite 175
Baltimore, MD 21210
T: 410 327 7971
office@rmsarchitecture.com

St. Francis Neighborhood Center
2405 Linden Avenue
Baltimore, MD 21217

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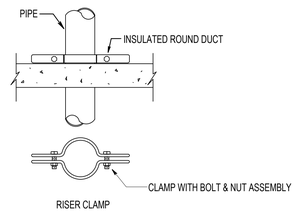
LICENSE NO.: 37247
EXPIRATION DATE: 01-09-2024

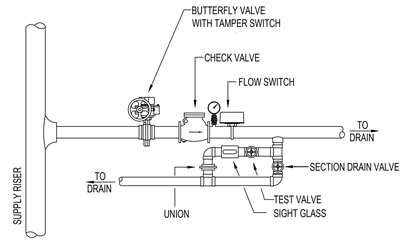
ATTIC PLAN - FIRE PROTECTION - NEW WORK

FP103

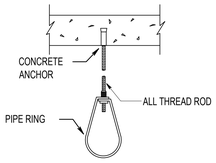


RISER CLAMP

4 / FP501 **RISER CLAMP DETAL**

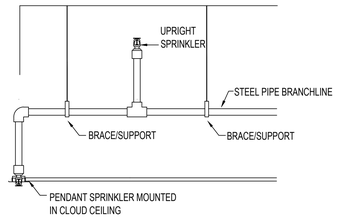


1 / FP501 **FLOOR CONTROL VALVE ASSEMBLY**



DRILLED CONC. ANCHOR HANGER

2 / FP501 **HANGER DETAIL**



3 / FP501 **CLOUD CEILING SPRINKLER INSTALLATION DETAIL**

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Colbert Matz Rosenfelt, Inc.
2835 Smith Avenue, Suite G
Baltimore, MD 21209

Structural Engineer:
Skarda and Associates, Inc.
2439 North Charles Street
Baltimore, MD 21218

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FIRE PROTECTION DETAILS

FP501