

GENERAL NOTES

- This Site Plan is for the development of a 3,814 SF place of worship addition.
- The subject property is currently zoned RSF-95, prior zoning was R-80. Surrounding properties are zoned RSF-95 as shown herein.
- Per section 24-1903(i) this application will be reviewed under the prior zoning ordinance and subdivision regulation R-80 (One-Family Detached Residential).
- The existing use of this property is place of worship and school.
- Total site area included in this Site Plan is 652,935 SF (14.8993 Ac.)
- Total Disturbed Area = 7,168 SF (0.1645 Ac.)
Area to be left undisturbed = 645,767 SF (14.8248 Ac.)
- Parking

A. Required: 324 spaces without DPLS	Rate	Requirement
School (Max. 525 students)	1 space per 6 students	87.50 spaces
Main Hall (Max. 645 seats)	1 space per 4 seats	161.25 spaces
Multi-Purpose Hall (Max. 300 seats)	1 space per 4 seats	75.00 spaces
		Total: 323.75 spaces*

*Of which at least 216 (2/3 of requirement) must be non-compact without DPLS.

Note: The Main Hall, Multi-Purpose Hall and the Existing School are not to be in session at the same time; see the Revision Departure from Parking and Loading Spaces (DPLS-217, Revision).
- B. Provided: 262 spaces* as follows:

191 Standard Spaces @ 9'5" x 19' min.	
38 Standard Parallel Spaces @ 8' x 22' min.	
20 Compact Spaces @ 8' x 16.5' min.	
1 Standard Handicap Spaces @ 8' x 19' with 5' access aisle.	
12 Van Accessible Handicap Spaces @ 8' x 19' with 8' access aisle.	
*Of which at least 7 must be handicap accessible and at least 1 must be van-accessible.	
- Loading

A. Required: 1 space	Rate	Requirement
Place of Worship/School	1 space for 10,000-100,000 GFA	1 space
- B. Provided: 1 space; at 12' x 33'
- Gross Floor Area = Existing SF 66,777 + Proposed 3,814 SF = 70,591 GFA
- The subject property appears on Washington Suburban Sanitary Commission Sheet 208NE13.
- The subject property appears on Tax Map 37, Grid F4.
- The subject property is not located within any Aviation Policy Areas.
- The subject property has an existing Water/Sewer Category of W-3/S-3.
- For approved Stormwater Management Concept Plan (_____, approved on _____) see [BDAI Dwg. No. _____].
- For Tree Conservation Plan Type 2, see [BDAI Dwg. No. 54_____].
- A ten-foot Public Utility Easement shall be provided along all public and private vehicular rights-of-way.
- There is no evidence of a cemetery on or contiguous to the subject property.
- There are no historic structures on or near the subject property.
- There are no wetlands or Waters of the United States on the subject property.
- There is no 100 year floodplain on the subject property.
- The subject property is not located within the Chesapeake Bay Critical Area.
- Boundary and topography information shown herein was prepared by Landdesign.
- Applicant: [name, address]
- Green Area: Required = _____ SF (_____% of Net Lot Area)
Provided = _____ SF (_____% of Net Lot Area)
- All on-site concrete curb and gutter to be Prince George's County Std. No. 300.01 unless otherwise modified.
- All parking spaces shall be defined by 4" wide white painted striping.
- Radii on islands and curb work to be 5 feet unless otherwise shown.
- Minimum grade on areas not paved: 2.5% unless otherwise noted; 2% in swales.
Contour interval: 2 feet
Vertical datum is based on NGVD 1929 Datum.
Horizontal datum is based on NAD83 2011.
- Existing Utilities:
 - Notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to beginning any excavation or construction for them to mark the location of existing utilities.
 - Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances of the lines are less than shown on this plan or less than twelve inches, contact the engineer and other involved utility companies before proceeding with construction.
 - Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Ben Dyer Associates, Inc. (BDAI) shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
 - Due to the proximity of live underground and overhead utilities, BDAI is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.
- All grading work shall be in accordance with Division 2 of the Prince George's County Building Code (Subtitle 32, latest edition).

All proposed load-bearing fills for the support of buildings, walls and other structures shall be Class I. All fills for the support of roadways, pavements, rigid utility lines and house connections shall be Class II. All landscaped areas, lawns and plantings, or other non-load bearing uses shall be Class III. Each layer of Class I and Class II fills shall be compacted at optimum moisture content and to a minimum of 95% and 90% respectively of maximum density as determined in the laboratory by the Standard Proctor Test. (AASHTO T-99, ASTM D-698). In-place density tests shall be provided by a licensed Geotechnical Engineer.

The site geotechnical analysis and report prepared by a Maryland licensed Geotechnical Engineer shall be consulted and used to provide details for pavement sections, lift thickness, compaction, drainage, and any other site specific recommendations and requirements. Those recommendations and requirements shall take precedence over any conflicting information between the plans and report.

30. Upon completion of work, site grading, drainage, property corner and landscape observations and certifications must be performed by a licensed professional engineer, landscape architect and/or surveyor, confirming that all work has been completed in accordance with the permit, approved plans, and codes. These certifications are required to finalize the permit and release bonds.

31. All grades, elevations, earth quantities, etc. are to be verified by the contractor. Any earth quantities shown or implied are measured to final grade and are approximate. No allowance has been made for unsuitable material encountered during construction. Suitability of soil for use in fill areas or stability of cut areas, compaction, etc. should be determined by a soils engineer.

32. The contractor will be responsible for any damage to the existing structures and underground utilities.

33. The contractor will have sole responsibility for the construction means, methods, and techniques of executing his work, including safety.

34. No handicap parking space shall have a slope greater than 2.0% in any direction. No handicap ramp shall have a longitudinal slope greater than 8.3% or a cross slope greater than 2.0%.

35. Unless otherwise shown, all sidewalks shall have a cross slope no greater than 2%.

36. Dimensions shown in the parking and drive areas are to face of curb, where applicable.

37. All exterior light poles are to be set back at least 2.0' from the face of curb when located on vehicular surfaces or head in parking spaces unless otherwise shown.

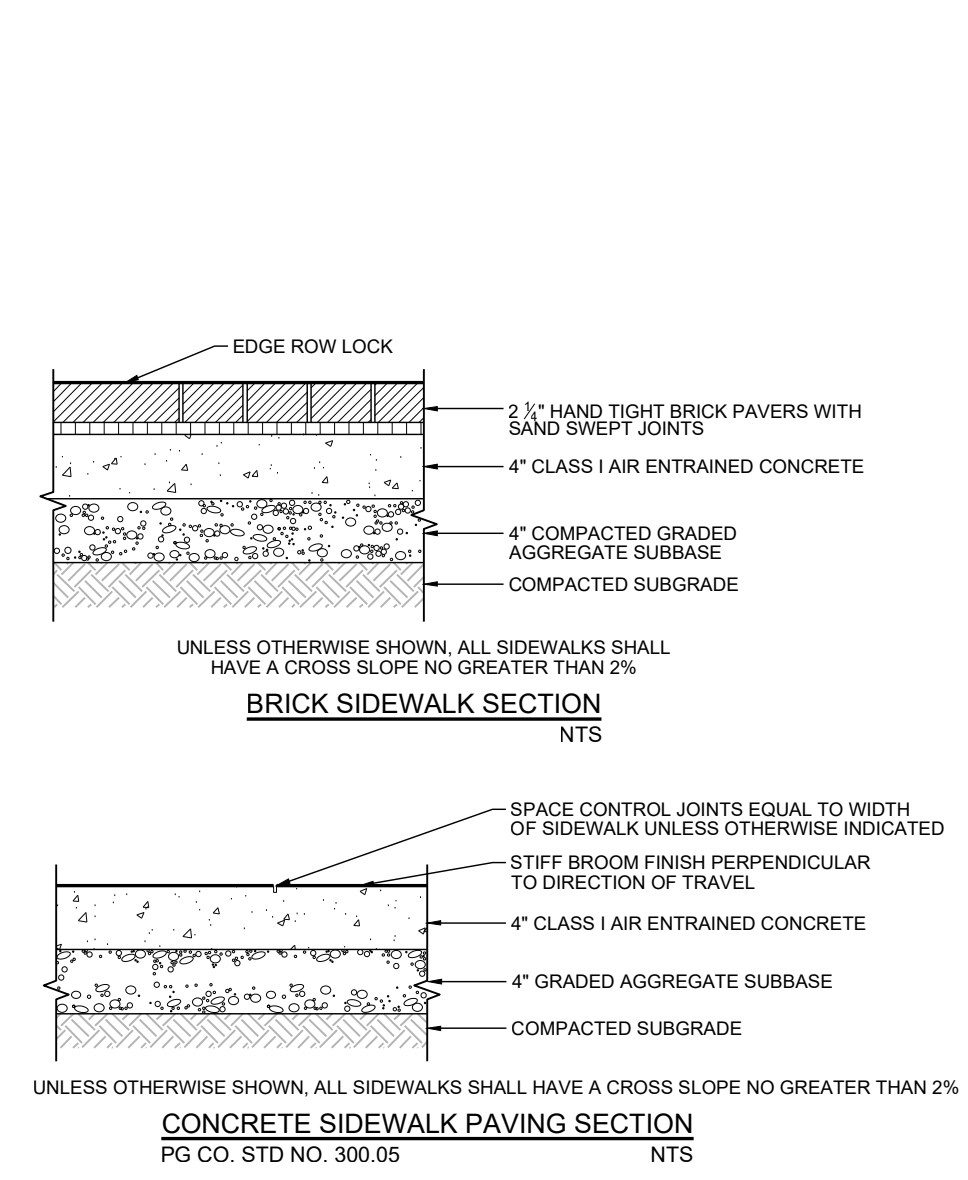
38. Arrows shown in drive aisles indicate general direction of travel and are not intended to convey a requirement that arrows be painted on the pavement.



LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
○	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
---	LIMIT OF DISTURBANCE
▲	PROPOSED DOOR LOCATIONS
---	EXISTING SEWER
---	PROPOSED SEWER
---	EXISTING WATER
---	EXISTING STORM DRAIN
---	EXISTING TREE LINE
○	STANDARD PARKING SPACES
○	COMPACT PARKING SPACES
○	HANDICAPPED PARKING SPACES
○	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	EXISTING CHAIN LINK FENCE
---	EXISTING METAL FENCE

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.



PAVING SECTIONS
NOTE: PAVING SECTIONS SUBJECT TO REVIEW AND/OR REVISION BY GEOTECHNICAL ENGINEER, CONTRACTOR TO CONFORM PAVEMENT SECTIONS WITH GEOTECHNICAL ENGINEER'S REVISIONS.

GENERAL INFORMATION TABLE

LAYER CATEGORY	LAYER NAME	VALUE
Zone	Zoning (Zone)	R-80 (One-Family Detached Residential)
Zone	Aviation Policy Area (APA)	N/A
Administrative	Tax Grid (TRG)	37-F4
Administrative	WSSC Grid (Sheet 20)	208NE13
Administrative	Planning Area (Plan Area)	City of Bowie 3-718
Administrative	Election District (ED)	14
Administrative	Councilmatic District (CD)	4
Administrative	General Plan 2002 Tier (Tier)	Developing
Administrative	General Plan Growth Policy (2035)	Established Communities
Administrative	Police District	II
Administrative	Joint Base Andrews Land Use Control Area	None

**SITE PLAN EXHIBIT
ST. PIUS X CHURCH
PARCEL 'C'**

BOWIE DISTRICT No. 14
PRINCE GEORGE'S COUNTY, MARYLAND



SUBTITLE 32, DIVISION 2 CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS OF SUBTITLE 32, DIVISION 2 OF THE PRINCE GEORGE'S COUNTY CODE AND THAT I HAVE INSPECTED THIS SITE AND THAT DRAINAGE ONTO THIS SITE FROM UPHILL PROPERTIES, AND FROM THIS SITE ONTO OTHER DOWNGRADE PROPERTIES, HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

**CALL MISS UTILITY
1-800-257-7777
48 hrs Before Excavation**

OWNER / APPLICANT
Roman Catholic Arch of Washington
14700 Annapolis RD, Bowie, MD
Bowie, MD, 20715
ATTN: <NAME>
PHONE: (XXX) XXX-XXXX

DATE	DESCRIPTION	BY	REVISIONS
6/13/23			

OWNER: Michael
QUALIFIED PROFESSIONAL
COMAR 08.19.06.01

SCALE: 1"=50'
DATE: JUNE, 2023
SHEET NO: 31.001-2

OWNER / APPLICANT: Roman Catholic Arch of Washington
14700 Annapolis RD, Bowie, MD
Bowie, MD, 20715
ATTN: <NAME>
PHONE: (XXX) XXX-XXXX

DATE: 6/13/23
DESCRIPTION: PARC.dwg, 6/13/2023 11:54:18 AM, mgorce