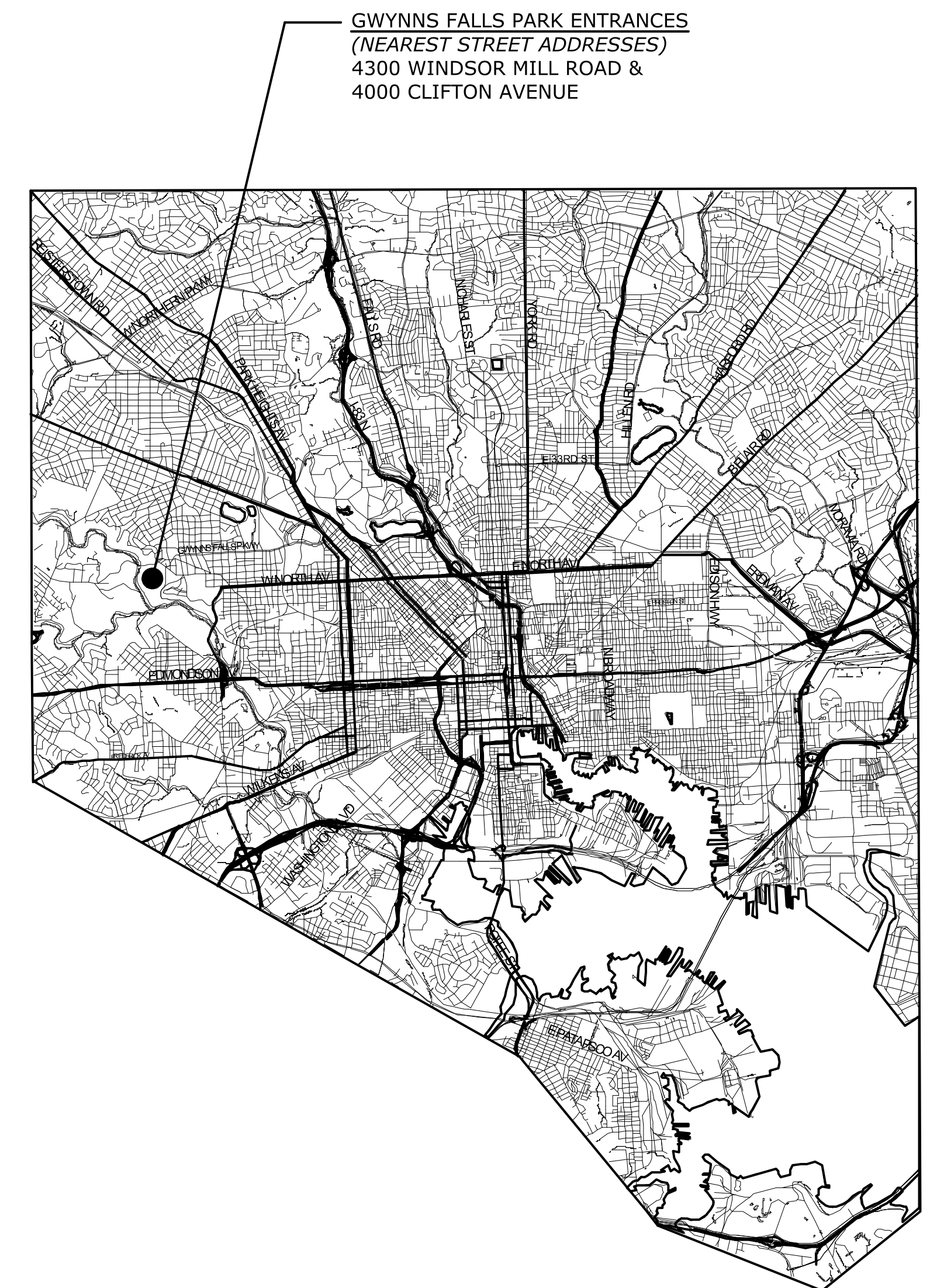


# CITY OF BALTIMORE DEPARTMENT OF RECREATION AND PARKS FOR MAYOR AND CITY COUNCIL OF BALTIMORE BRANDON M. SCOTT, MAYOR



## GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS

4201 GWYNNS FALLS PARKWAY  
BALTIMORE, MD 21216  
RP 22805



DRAWING LIST

GENERAL	
SHEET NUMBER	SHEET NAME
CS-1.0	COVER SHEET
CS-1.1	CODE ANALYSIS & GENERAL NOTES

CIVIL	
SHEET NUMBER	SHEET NAME
C-1	EXISTING CONDITIONS & CIVIL DEMOLITION PLAN
C-2	PROPOSED CONDITIONS PLAN
C-3	GRADING PLAN
C-4	PAVING & GEOMETRIC STAKEOUT PLAN
C-5	SITE DETAILS
C-6	SWM PROPOSED CONDITIONS PLAN
C-7	SEQUENCE OF CONSTRUCTION, PLANTING NOTES, & AS BUILTS
C-8	STORMWATER WATER QUALITY MAP
C-9	EXISTING DRAINAGE AREA MAP
C-10	PROPOSED DRAINAGE AREA MAP
C-11	ON-SITE SANITARY PLAN
C-12	SANITARY DETAILS
C-13	WATER PROFILE
C-14	SMALL CULVERT AND RETAINING WALL GRADING PLAN
C-15	GABION WALL DETAILS
C-16	CULVERT PROFILE
C-17	CULVERT GENERAL PLAN AND ELEVATION
C-18	CULVERT HEADWALL DETAILS AND NOTES
C-19	CULVERT DETAILS AND NOTES
C-20	MAINTENANCE OF STREAM FLOW PLAN
C-21	EROSION & SEDIMENT CONTROL EXISTING CONDITIONS
C-22	EROSION & SEDIMENT CONTROL PROPOSED CONDITION PLAN
C-23	EROSION & SEDIMENT CONTROL DETAILS
C-24	EROSION & SEDIMENT CONTROL NOTES

LANDSCAPE	
SHEET NUMBER	SHEET NAME
L000	EXISTING CONDITIONS PLAN
L100	OVERALL HARDSCAPE PLAN
L101	HARDSCAPE PLAN ENLARGEMENTS
L200	FOREST STAND DELINEATION PLAN
L201	TREE REMOVAL PLAN
L202	PLANTING & FOREST CONSERVATION PLAN
L203	FOREST STAND DELINEATION & CONSERVATION NOTES
L204	SOIL PLACEMENT PLAN
L300	HARDSCAPE DETAILS
L301	HARDSCAPE DETAILS
L400	PLANTING & TREE PROTECTION DETAILS

ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
A-1.1	PAVILION, COMPOSTING TOILET, & FIREWOOD SHED PLANS
A-1.2	PAVILION REFLECTED CEILING & ROOF PLAN
A-2.1	PAVILION ELEVATIONS
A-3.1	PAVILION SECTIONS & DETAILS
A-3.2	WASH BASIN PLANS & DETAILS
A-6.1	SCHEDULES/DOOR & LOUVER TYPES/JAMB DETAILS

ELECTRICAL	
SHEET NUMBER	SHEET NAME
E-0	ELECTRICAL GENERAL NOTES, SYMBOLS, & FIXTURE SCHEDULE
ESP-1	ELECTRICAL SITE PLAN
E-1.1	ELECTRICAL PLAN, RISER & SCHEDULE

PROJECT NO. RP22805  
RP 22805 GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS

BNCR NO. 11054

<p>PROFESSIONAL CERTIFICATION</p> <p>THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.</p> <p>License: 21386 Expires: 01/11/2027</p>	 CHIEF OF CAPITAL DEVELOPMENT	 DIRECTOR OF RECREATION & PARKS	<p>DATE: 13-FEB-2026</p> <p>46 SHEETS IN SET</p> <p>SHEET 1 OF 46</p> <p>DRAWING NO. CS-1.0</p>
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**BUILDING CODE DATA**

PROPERTY ADDRESS:  
4201 GWYNNS FALLS PARKWAY  
BALTIMORE, MD 21216

BUILDING KNOWN AS: PICNIC PAVILION AT GWYNNS FALLS CAMPGROUND

FIRE DISTRICT: BALTIMORE CITY

LAND ZONING DESIGNATION: OS - OPEN SPACE

GENERAL DESCRIPTIONS OF BUILDING USE: PICNIC PAVILION & ACCESSORY STORAGE

APPLICABLE BUILDING CODES

INTERNATIONAL EXISTING BUILDING CODE 2021  
INTERNATIONAL BUILDING CODE 2021  
INTERNATIONAL MECHANICAL CODE 20121  
INTERNATIONAL PLUMBING CODE 2021  
NATIONAL ELECTRICAL CODE 2020  
INTERNATIONAL ENERGY CONSERVATION CODE 2021  
INTERNATIONAL FUEL GAS CODE 2021  
ADA STANDARDS FOR ACCESSIBLE DESIGN 2010  
MARYLAND BUILDING PERFORMANCE STANDARDS COMAR 09.12.51  
MARYLAND ACCESSIBILITY CODE COMAR 09.12.53  
BALTIMORE BUILDING, FIRE, AND RELATED CODES (BCBFR 2024 EDITION)

CLASSIFICATION OF WORK

USE GROUP: S-2 (ACCESSORY STORAGE ROOMS)  
CONSTRUCTION TYPE III-B PER IBC 2021  
ALTERATION LEVEL I PER IEBC 2021

OCCUPANT LOAD

STORAGE 101 (145 / 300 SF) = 1  
STORAGE 102 (68 / 300 SF) = 1  
STORAGE 103 (68 / 300 SF) = 1  
TOTAL OCCUPANT LOAD = 3

**FIRE PROTECTION**

AUTOMATIC SPRINKLER SYSTEMS: NOT REQUIRED

FIRE ALARM: NOT REQUIRED

FIRE RESISTANCE RATING FOR BUILDING COMPONENTS:

PRIMARY STRUCTURAL FRAME	-0-
BEARING WALLS	-0-
EXTERIOR	-2- (EXISTING STONE MASONRY WALLS)
INTERIOR	-0-
NONBEARING WALLS	-0-
EXTERIOR LESS THAN 10' SEPARATION	-0-
EXTERIOR GREATER THAN 10' SEPARATION	-0-
INTERIOR	-0-
FLOOR CONSTRUCTION	-0-
ROOF CONSTRUCTION	-0-

**INTERIOR FINISHES**

2018 IBC TABLE 803.1.3  
GROUP: S  
AUTOMATIC SPRINKLER SYSTEMS: (NON-SPRINKLERED)

ROOMS AND ENCLOSED SPACES:  
RATING: (C)

**GENERAL NOTES:**

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. RESOLVE ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL RE-USE EXISTING WALL, FLOOR, CEILING AND ROOF OPENINGS AND PENETRATIONS TO THE GREATEST EXTENT POSSIBLE FOR THE ROUTING OF NEW WORK.
- CONTRACTOR SHALL PATCH ALL EXISTING ABANDONED PENETRATIONS TO MATCH ADJACENT CONSTRUCTION AND MAINTAIN THERMAL, ACOUSTICAL, AND VISUAL PERFORMANCE.
- CONTRACTOR SHALL PROVIDE OPENINGS IN FLOORS, WALLS, CEILING AND ROOF TO PROVIDE FOR THE ROUTING OF ALL NEW WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION, SIZE AND CONSTRUCTION OF ALL PENETRATIONS.
- WALLS NOT INDICATED WITH A WALL CONSTRUCTION SCHEDULE SYMBOL SHALL BE CONSTRUCTED THE SAME AS THE ADJACENT WALL.
- THE CONTRACTOR SHALL NOT RELY ON MEASUREMENTS SCALED FROM THESE DRAWINGS.
- DIMENSIONS SHOWN ARE TO THE FACE OF FINISH SURFACE UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS SHALL EXTEND TIGHT TO THE UNDERSIDE OF THE DECK ABOVE. SEAL ALL GAPS.
- THE CONTRACTOR SHALL SEAL THE ANNULAR SPACE AT ALL PENETRATIONS THROUGH HORIZONTAL AND CEILING/ROOF NON-FIRE RATED ASSEMBLIES WITH A NON-COMBUSTIBLE APPROVED MATERIAL.
- PENETRATIONS THROUGH ANY FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE UL-DESIGN DESIGNATION AND THE ANNULAR SPACE AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRESTOPPED WITH AN APPROVED MATERIAL TESTED AND LABELED BY UL.
- ALL CONSTRUCTION OF FIRE RATED ASSEMBLIES SHALL COMPLY WITH THE UNDERWRITERS LABORATORIES FIRE RESISTANCE DIRECTORY DESIGN AS DESIGNATED ON THESE DRAWINGS. THE CONTRACTOR SHALL PROVIDE MATERIALS & CONSTRUCTION STRICTLY IN ACCORDANCE WITH THE UL DESIGN DESIGNATIONS.
- PLUMBING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH BALTIMORE CITY PLUMBING CODE AND SUBJECT TO FIELD INSPECTION BY THE AGENCIES HAVING JURISDICTION.
- ELECTRICAL CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS AND REVISIONS OF THE NATIONAL ELECTRICAL CODE.
- MECHANICAL CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE THE LATEST ADOPTED EDITION OF INTERNATIONAL MECHANICAL CODE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES (S) FIVE DAYS PRIOR TO THE START OF WORK ON-SITE:  
MISSED UTILITIES  
INSPECTION AND PERMITS  
BALTIMORE CITY PERMIT OFFICE
- CONTRACTOR SHALL PROPERLY PREPARE ALL SURFACES INDICATED TO BE PAINTED, INCLUDING, BUT NOT LIMITED TO CLEANING AND SANDING BEFORE PRIMING AND BETWEEN COATS.
- UNLESS OTHERWISE NOTED WALL FINISHES SHALL BE APPLIED FROM FINISHED FLOOR TO FINISHED CEILING.
- INTERIOR FINISHES FOR WALLS AND CEILINGS SHALL MEET:  
- A FLAME SPREAD RATE OF 200 OR LESS  
- ASTM E84 AND IBC 2018 TABLE 803.13  
- ALL FLOOR FINISHES SHALL MEET DOC FF-1 AND NFPA  
- CLASS C REQUIREMENTS AND SECTION 804 OF IBC
- UNLESS OTHERWISE INDICATED, TRANSITION OF FINISHES SHALL OCCUR UNDER DOOR BETWEEN ROOMS.
- SURFACES NOT INDICATED WITH A FINISH SHALL RECEIVE THE SAME FINISH AS THE ADJACENT INDICATED SPACE.
- COAT ALL EXPOSED SURFACES OF GYPSUM WALLBOARD, PLASTER, UNFINISHED WOOD AND UNFINISHED STEEL WITH PRIMER AND TWO COATS OF PAINT UNLESS OTHERWISE NOTED.
- PROVIDE TRANSITION STRIPS WHERE TWO DIFFERENT FLOOR FINISHES MEET. (TYPICAL)
- CAULK PERIMETER OF ALL FLOOR AND WALL MOUNTED PLUMBING FIXTURES AND COUNTER TOPS.
- PROVIDE SOLID WOOD BLOCKING BEHIND WALL MOUNTED HARDWARE, CABINETS, EQUIPMENT AND HANDRAILS, MINIMUM SIZE TO BE 2x6 LUMBER.
- DO NOT CUT STUDS FOR HORIZONTAL PIPE RUNS. FEED PIPE FROM OVER HEAD BETWEEN STUDS.

**GENERAL DEMOLITION NOTES:**

- IT IS THE INTENT OF THIS CONTRACT THAT THE BUILDING BE SELECTIVELY DEMOLISHED AS OUTLINED ON THE DRAWINGS IN PREPARATION FOR NEW WORK.
- CONTRACTOR IS TO INCLUDE ALL DEMOLITION WORK REQUIRED TO COMPLETE THE JOB. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISITS TO VERIFY EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS PRIOR TO BIDDING.
- TEMPORARILY ENCLOSE AREAS EXPOSED TO THE ELEMENTS TO ENSURE THE WATER TIGHTNESS OF THE BUILDING.
- PROTECT BUILDING FROM DAMAGE WHILE REMOVING AND STORING ITEMS DESIGNATED TO BE SALVAGED.
- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE SCOPE AND LIMITS OF NEW WORK.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING AND TEMPORARY SUPPORT AS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES TO REMAIN.
- CONTRACTOR SHALL REMOVE ALL EXTRANEANOUS ANCHORS, FASTENERS, WALL HANGERS, PROTRUSIONS AND ACCESSORIES ON EXISTING WALL SURFACES TO REMAIN.
- WHERE INDICATED TO "DEMOLISH" OR "REMOVE", CONTRACTOR SHALL COMPLETELY DEMOLISH THE EXISTING PHYSICAL FEATURE AND DISPOSE OF THE MATERIALS OFF-SITE IN A LEGAL MANNER. ON-SITE BURNING OF MATERIAL SHALL NOT BE ALLOWED.
- REMOVE ALL TRASH AND DELETERIOUS MATERIALS FROM THE SITE.
- NOTIFY THE ARCHITECT AND OWNER BEFORE STARTING WORK.
- SECURE OPENINGS AGAINST WEATHER DAMAGE AND UNAUTHORIZED ENTRY AT THE END OF EACH WORK DAY.
- PROTECT ALL EXISTING STRUCTURE, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS INDICATED TO REMAIN.
- PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN.
- LEAVE DEMOLISHED AREAS READY TO RECEIVE NEW WORK. AFTER DEMOLITION IS COMPLETE, CONTRACTOR TO REPAIR ALL DAMAGE.
- COMPLY WITH ALL LOCAL AND STATE CODES.
- MAINTAIN TOTAL CONTROL OF DUST, AND BLOWING, AND DROPPING DEBRIS.
- KEEP ALL SURROUNDING TRAFFICWAYS, BOTH PEDESTRIAN AND VEHICULAR, OPEN AND CLEAN AT ALL TIMES.
- REMOVE EXISTING CONCRETE FLOOR SLAB ON GRADE AS NECESSARY TO INSTALL NEW UNDERSLAB UTILITIES. SAW CUT OPENING IN STRAIGHT LINES.
- ALL EXISTING FLOOR FINISHES ARE TO BE DEMOLISHED TO THE EXISTING SUBSTRATE.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING FEATURES AS SCHEDULED BELOW, (UNLESS OTHERWISE NOTED)  
ALL DAMAGED STUCCO  
ALL WALL AND CEILING FINISHES  
ALL PLUMBING PIPING AND FIXTURES  
ALL ELECTRICAL WIRING, RECEPTACLES, SWITCHES, PANELS  
ALL LIGHTING FIXTURES AND WIRING  
ALL CABINETS AND CASEWORK  
ALL DOORS AND HARDWARE
- CUT NO NEW HOLES IN STRUCTURAL SLAB UNTIL LOCATED AND SUPPORT HAS BEEN VERIFIED.

**CODE ANALYSIS & GENERAL NOTES**

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
WWW.RRMM.COM

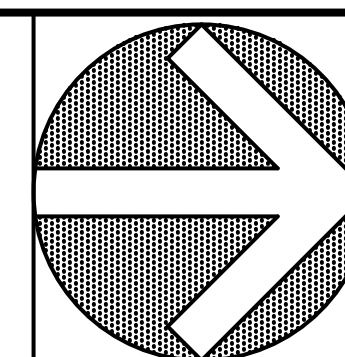


**PROFESSIONAL CERTIFICATION**

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.  
License: 21386 Expires: 01/11/2027

**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



**REVISIONS**

NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

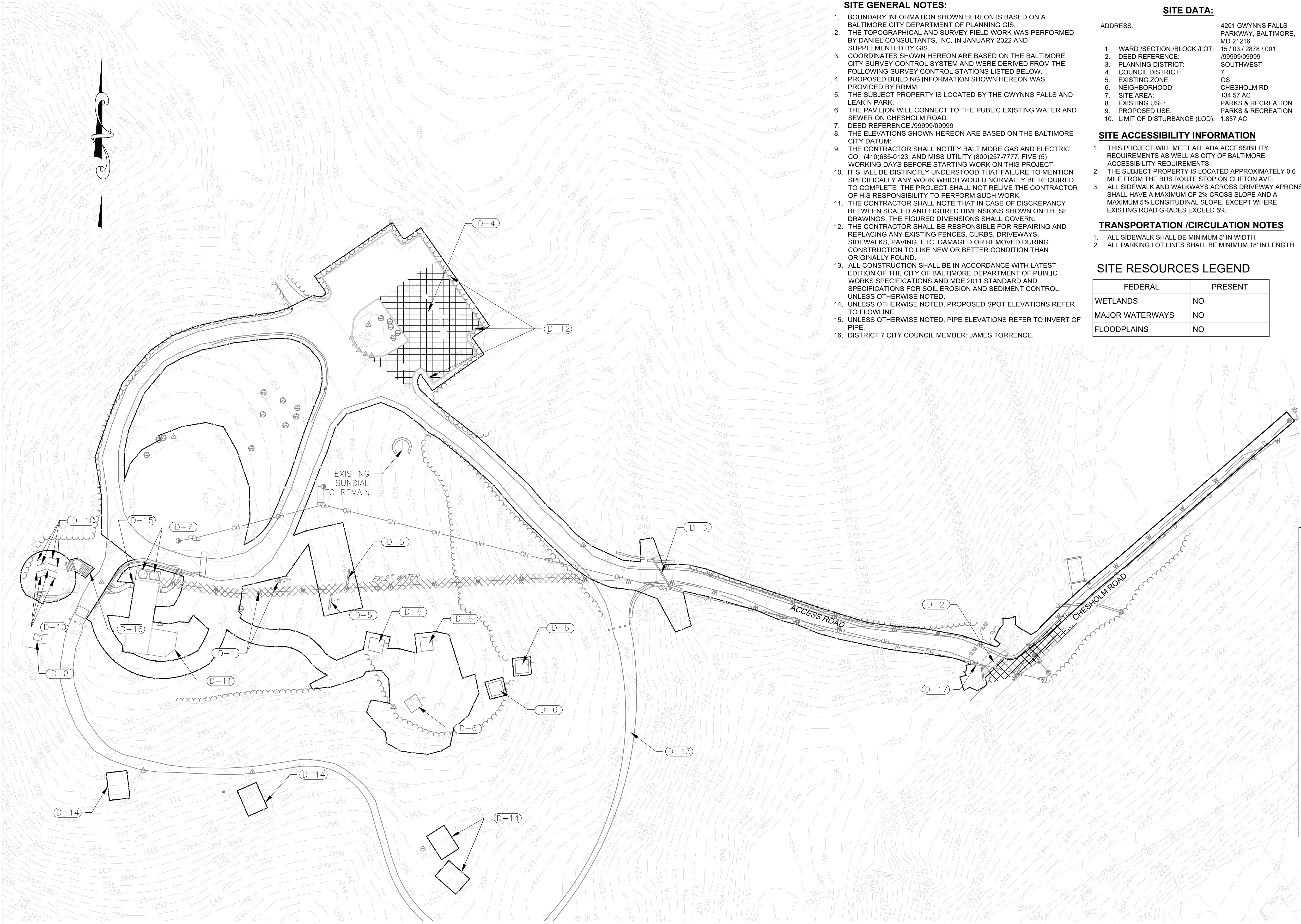
**CODE ANALYSIS & GENERAL NOTES**

SCALE: AS NOTED

DATE: FEB. 13, 2026

DRAWN BY: JWM	SHEET NO.: CS-1.1
TRACED BY: CLK	PROJECT NO.: RP22805
CHECKED BY: JAG	SHEET: 2 OF 46

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**SITE GENERAL NOTES:**

- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A BALTIMORE CITY DEPARTMENT OF PLANNING GIS.
- THE TOPOGRAPHICAL AND SURVEY FIELD WORK WAS PERFORMED BY DANIEL CONSULTANTS, INC. IN JANUARY 2022 AND SUPPLEMENTED BY GIS.
- COORDINATES SHOWN HEREON ARE BASED ON THE BALTIMORE CITY SURVEY CONTROL SYSTEM AND WERE DERIVED FROM THE FOLLOWING SURVEY CONTROL STATIONS LISTED BELOW.
- PROPOSED BUILDING INFORMATION SHOWN HEREON WAS PROVIDED BY RRM.
- THE SUBJECT PROPERTY IS LOCATED BY THE GWYNNS FALLS AND LEAKIN PARK.
- THE PAVILION WILL CONNECT TO THE PUBLIC EXISTING WATER AND SEWER ON CHESHOLM ROAD.
- DEED REFERENCE: /9999/09999
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE BALTIMORE CITY DATUM.
- THE CONTRACTOR SHALL NOTIFY BALTIMORE GAS AND ELECTRIC CO. (410)685-0123, AND MISS UTILITY (800)257-7777, FIVE (5) WORKING DAYS BEFORE STARTING WORK ON THIS PROJECT.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN SCALED AND FIGURED DIMENSIONS SHOWN ON THESE DRAWINGS, THE FIGURED DIMENSIONS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING ANY EXISTING FENCES, CURBS, DRIVEWAYS, SIDEWALKS, PAVING, ETC. DAMAGED OR REMOVED DURING CONSTRUCTION TO LIKE NEW OR BETTER CONDITION THAN ORIGINALLY FOUND.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND MDE 2011 STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, PROPOSED SPOT ELEVATIONS REFER TO FLOWLINE.
- UNLESS OTHERWISE NOTED, PIPE ELEVATIONS REFER TO INVERT OF PIPE.
- DISTRICT 7 CITY COUNCIL MEMBER: JAMES TORRENCE.

**SITE DATA:**

ADDRESS: 4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216

1. WARD /SECTION /BLOCK /LOT: 15 / 03 / 2878 / 001  
 2. DEED REFERENCE: /9999/09999  
 3. PLANNING DISTRICT: SOUTHWEST  
 4. COUNCIL DISTRICT: 7  
 5. EXISTING ZONE: OS  
 6. NEIGHBORHOOD: CHESHOLM RD  
 7. SITE AREA: 134.57 AC  
 8. EXISTING USE: PARKS & RECREATION  
 9. PROPOSED USE: PARKS & RECREATION  
 10. LIMIT OF DISTURBANCE (LOD): 1.857 AC

**SITE ACCESSIBILITY INFORMATION**

- THIS PROJECT WILL MEET ALL ADA ACCESSIBILITY REQUIREMENTS AS WELL AS CITY OF BALTIMORE ACCESSIBILITY REQUIREMENTS.
- THE SUBJECT PROPERTY IS LOCATED APPROXIMATELY 0.6 MILE FROM THE BUS ROUTE STOP ON CLIFTON AVE.
- ALL SIDEWALK AND WALKWAYS ACROSS DRIVEWAY APRONS SHALL HAVE A MAXIMUM OF 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE, EXCEPT WHERE EXISTING ROAD GRADES EXCEED 5%.

**TRANSPORTATION /CIRCULATION NOTES**

- ALL SIDEWALK SHALL BE MINIMUM 5' IN WIDTH.
- ALL PARKING LOT LINES SHALL BE MINIMUM 18' IN LENGTH.

**SITE RESOURCES LEGEND**

	FEDERAL	PRESENT
WETLANDS	NO	
MAJOR WATERWAYS	NO	
FLOODPLAINS	NO	

**SOILS LEGEND**

SYMBOL	NAME/DESCRIPTION	SOIL GROUP
21E	MANOR LOAM, 15 TO 50% SLOPE	B
18UC	LEGORE-URBAN LAND COMPLEX	B
22UC	MANOR LOAM, 8 TO 15% SLOPE	B
42E	UDORTHENTS	B
50A	HATBORO-CODORUS COMPLEX	B

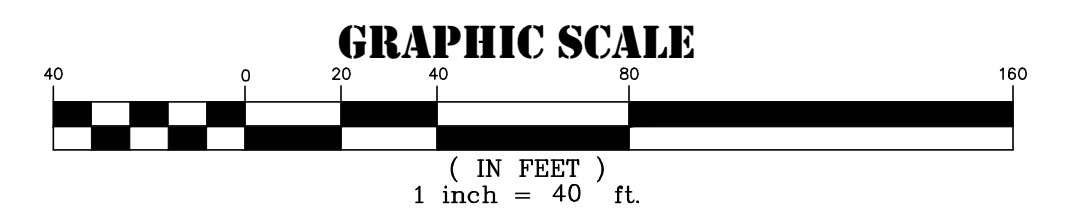
STATE	PRESENT
TIDAL & NON-TIDAL WETLANDS	NO
WETLANDS	NO
WETLANDS BUFFERS	NO
STREAM BUFFERS	YES
PERENNIAL STREAMS	YES
FLOODPLAINS	NO
FORESTS	YES
FOREST BUFFER	NO
CRITICAL AREA	NO
LOCAL	PRESENT
STEEP SLOPES	SLOPES GREATER THAN 20% NO
HIGHLY ERODABLE SOILS	NO
ENHANCED STREAM BUFFERS	NO
TOPOGRAPHY/ SLOPES	YES
SPRINGS	NO
STEEPS	NO
INTERMITTENT STREAMS	NO
VEGETATIVE COVER	YES
SOILS	TYPE 21E,50E,42UC
BEDROCK/ GEOLOGY	NO

**DEMOLITION NOTES**

- D-1 REMOVE WATER FILTRATION SYSTEM AND ABANDON EXISTING WATER LINES.
- D-2 REMOVE CURVERT. SEE SHEET C-20 FOR MAINTENANCE OF STREAM FLOW
- D-3 REMOVE 12" CMP.
- D-4 REMOVE PAVEMENT.
- D-5 REMOVE SWINGS.
- D-6 REMOVE CAMPING PADS.
- D-7 REMOVE CISTERNS AND PUMP SYSTEM. CISTERN AND PUMP SYSTEM IS TO BE SALVAGED AND DELIVERED TO CYLBURN ARBORETUM BY THE CONTRACTOR. CONTRACTOR IS TO COORDINATE DELIVERY OF THESE ITEMS TO CYLBURN ARBORETUM WITH THE REC & PARKS PROJECT MANAGEMENT TEAM.
- D-8 REMOVE PLAY STRUCTURE.
- D-10 REMOVE WOODEN BENCHES.
- D-11 REMOVE STONE AND WOODEN TERRACE.
- D-12 REMOVE CONCRETE CURBING WHERE ADJACENT TO THE PAVEMENT REMOVAL.
- D-13 REMOVE FALLEN TREES AND BRUSH OBSTRUCTION ALONG THE SEGMENT OF THE LOOP FROM THE BACK OF THE PAVILION TO THE ACCESS ROAD AND PUSH TO THE SIDES TO ENSURE PATH IS CLEAR TO WALK.
- D-14 REMOVE TREES FOR FUTURE PAD CONSTRUCTION.
- D-15 DEMOLISH EXISTING STONE STEPS AND REPAIR FACE OF STONE PAVILION.
- D-16 REPLACE IN KIND EXISTING STAIRS DOWN TO AMPHITHEATER FIRE PIT. SEE SPECIFICATION.
- D-17 REMOVE EXISTING GATE.

**OWNER:** MAYOR AND CITY COUNCIL  
 3401 W NORTH AVE  
 BALTIMORE 21216

**DEVELOPER /APPLICANT** BALTIMORE CITY RECREATION & PARKS  
 2600 MADISON AVE BALTIMORE MD 21217  
 410-396-7948



RRMM ARCHITECTS  
 3700 KOPPERS ST., STE 300  
 BALTIMORE, MD 21227  
 P. 410-234-8444  
 WWW.RRMM.COM



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 License: 15222 Expires: 01/04/2027



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
 4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DESCRIPTION	DATE

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**EXISTING CONDITIONS & CIVIL DEMOLITION PLAN**

SCALE: AS NOTED DATE: 02/13/2026

**BID SET**

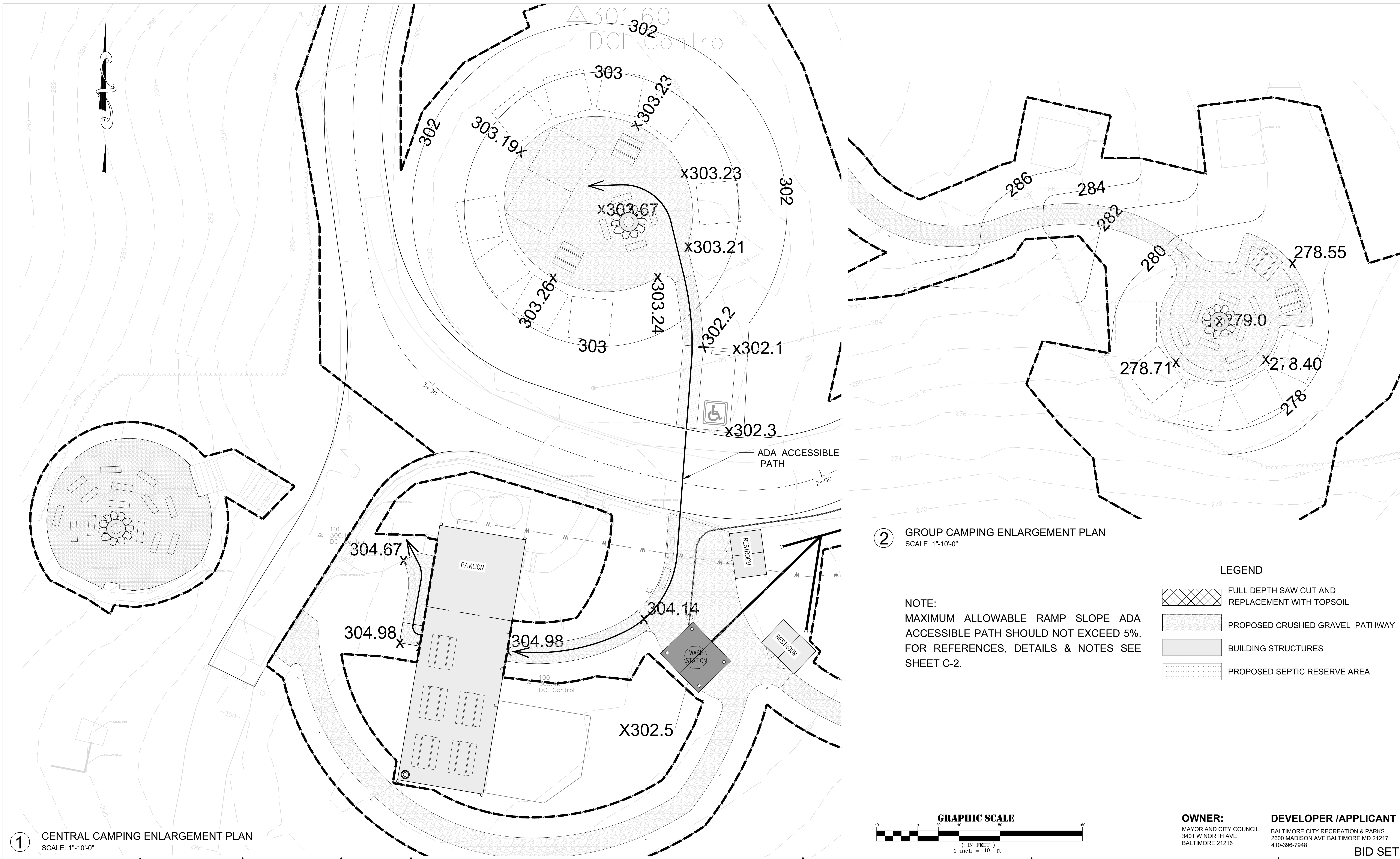
DRAWN BY: BW  
 TRACED BY: HP  
 DESIGNED BY: BW  
 CHECKED BY: RLS

PROJECT NO. ON-CALL #1316 SHEET NO. C-1

SHEET: 03 OF 46  
 BCNR # 11054



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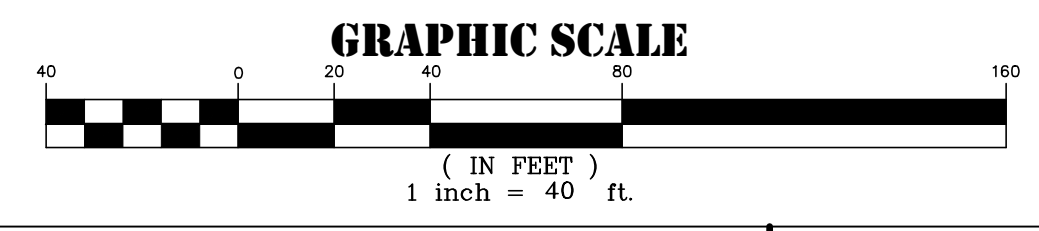


**1** CENTRAL CAMPING ENLARGEMENT PLAN  
SCALE: 1"-10'-0"

**2** GROUP CAMPING ENLARGEMENT PLAN  
SCALE: 1"-10'-0"

NOTE:  
MAXIMUM ALLOWABLE RAMP SLOPE ADA ACCESSIBLE PATH SHOULD NOT EXCEED 5%. FOR REFERENCES, DETAILS & NOTES SEE SHEET C-2.

- LEGEND**
- FULL DEPTH SAW CUT AND REPLACEMENT WITH TOPSOIL
  - PROPOSED CRUSHED GRAVEL PATHWAY
  - BUILDING STRUCTURES
  - PROPOSED SEPTIC RESERVE AREA



**OWNER:**  
MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

**DEVELOPER /APPLICANT**  
BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**BID SET**

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P. 410-234-8444  
WWW.RRMM.COM

**DANIEL CONSULTANTS, INC.**  
8950 Route 108 E., Suite  
229 Columbia, MD, 21045  
Phone: 410-995-0090

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# GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS		

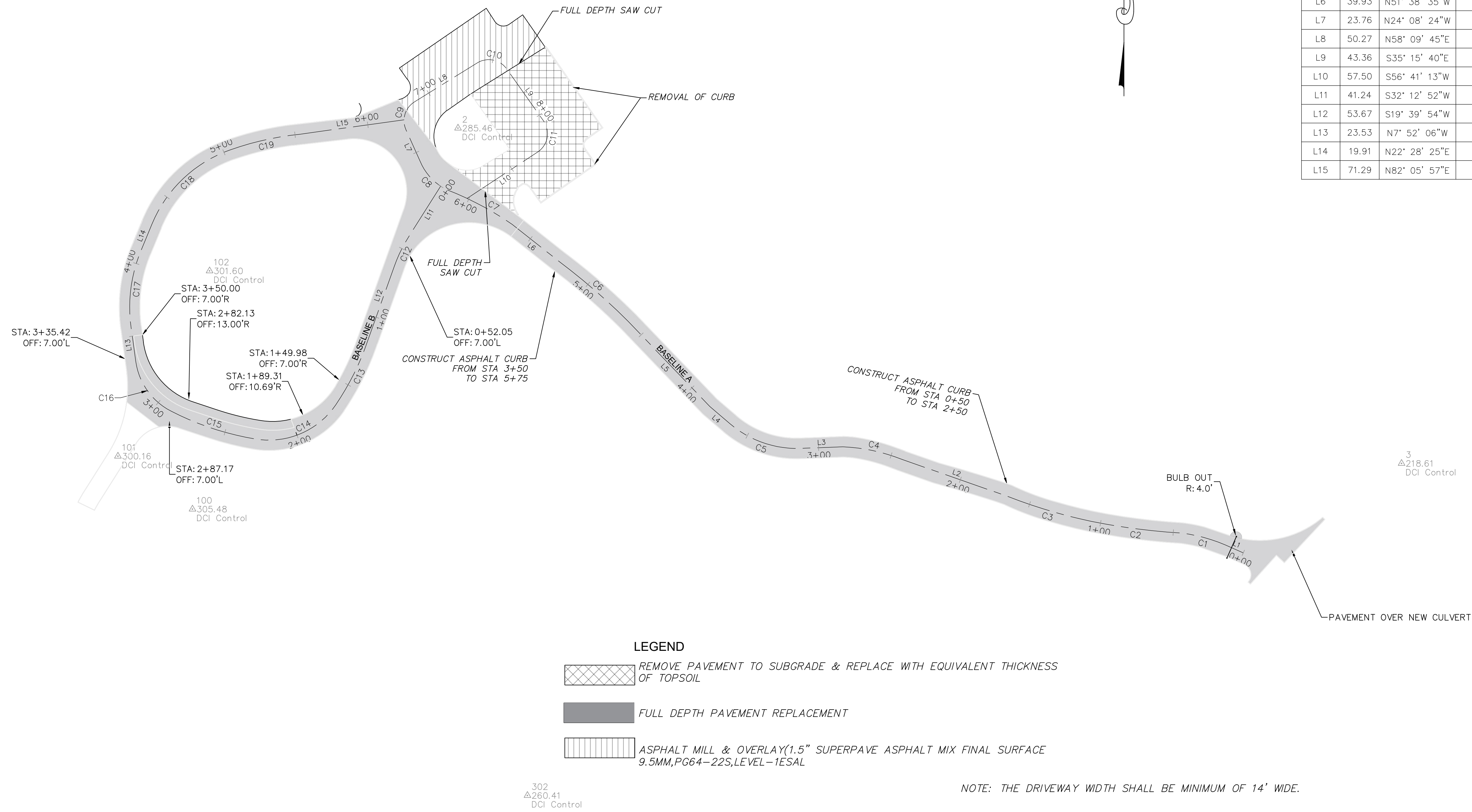
CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**GRADING PLAN**

SCALE: AS NOTED      DATE: 02/13/2026

DRAWN BY: BW	SHEET NO. C-3
TRACED BY: HP	PROJECT NO. ON-CALL #1316
DESIGNED BY: BW	SHEET: 05 OF 46
CHECKED BY: RLS	BCNR # 11054

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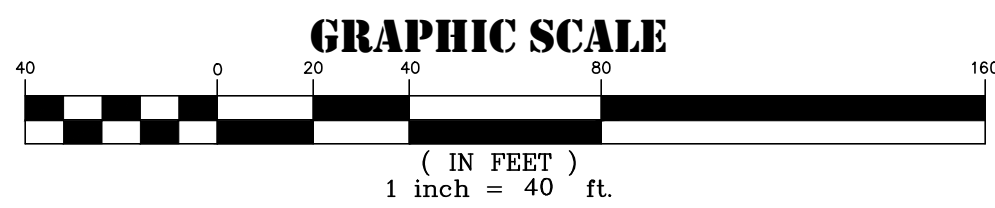
Line Table			
Line #	Length	Direction	ALIGNMENT NAME
L1	13.32	N66° 15' 11"W	Baseline A
L2	76.45	N70° 42' 38"W	Baseline A
L3	28.68	S87° 50' 51"W	Baseline A
L4	18.12	N49° 28' 31"W	Baseline A
L5	80.29	N43° 47' 31"W	Baseline A
L6	39.93	N51° 38' 35"W	Baseline A
L7	23.76	N24° 08' 24"W	Baseline A
L8	50.27	N58° 09' 45"E	Baseline A
L9	43.36	S35° 15' 40"E	Baseline A
L10	57.50	S56° 41' 13"W	Baseline A
L11	41.24	S32° 12' 52"W	Baseline B
L12	53.67	S19° 39' 54"W	Baseline B
L13	23.53	N7° 52' 06"W	Baseline B
L14	19.91	N22° 28' 25"E	Baseline B
L15	71.29	N82° 05' 57"E	Baseline B

Curve Table					
Curve #	Radius	Length	Chord Direction	Delta	ALIGNMENT NAME
C1	108.51	30.86	N74° 42' 00"W	16.30	Baseline A
C2	443.14	62.15	N82° 38' 08"W	8.04	Baseline A
C3	364.54	59.24	N73° 20' 52"W	9.31	Baseline A
C4	121.92	41.45	N77° 56' 40"W	19.48	Baseline A
C5	70.00	52.14	N70° 48' 50"W	42.68	Baseline A
C6	442.58	63.22	N49° 05' 34"W	8.18	Baseline A
C7	214.24	50.40	N62° 05' 05"W	13.48	Baseline A
C8	37.73	27.07	N43° 14' 43"W	41.11	Baseline A
C9	15.00	21.55	N17° 00' 41"E	82.30	Baseline A
C10	15.00	22.67	S78° 32' 58"E	86.58	Baseline A
C11	15.00	24.07	S10° 42' 46"W	91.95	Baseline A
C12	100.00	21.90	S25° 56' 23"W	12.55	Baseline B
C13	179.78	49.13	S26° 25' 08"W	15.66	Baseline B
C14	55.00	62.51	S66° 48' 35"W	65.12	Baseline B
C15	197.35	60.91	N71° 47' 11"W	17.68	Baseline B
C16	45.00	43.26	N35° 24' 23"W	55.08	Baseline B
C17	100.00	52.96	N7° 18' 09"E	30.34	Baseline B
C18	90.00	75.80	N46° 36' 08"E	48.26	Baseline B
C19	209.71	48.79	N77° 23' 46"E	13.33	Baseline B

- LEGEND**
- REMOVE PAVEMENT TO SUBGRADE & REPLACE WITH EQUIVALENT THICKNESS OF TOPSOIL
  - FULL DEPTH PAVEMENT REPLACEMENT
  - ASPHALT MILL & OVERLAY(1.5" SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5MM,PG64-22S,LEVEL-1ESAL

**BENCHMARK**  
BEARINGS AND COORDINATES AS SHOWN HEREON ARE BASED ON THE BALTIMORE SURVEY CONTROL SYSTEM AS REFERENCED FROM TRAVERSE /CONTROL STATIONS:

CONTROL NO:	NORTHING	EASTING	ELEVATION
3 Δ	4152.4120	-19467.8760	218.61
301 Δ	3993.7650	-20305.6860	284.68
101 Δ	4157.3140	-20341.8450	300.16
102 Δ	4283.5330	-20279.4190	301.60
2 Δ	4380.7400	-20110.2900	285.46
302 Δ	3926.1770	-20063.0140	260.41
300 Δ	3992.6090	-20211.1530	273.29
100 Δ	4121.2260	-20291.10660	305.48



**OWNER:**  
MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

**DEVELOPER /APPLICANT**  
BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**BID SET**

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
WWW.RRMM.COM



**PROFESSIONAL CERTIFICATION**  
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.  
License: 15222 Expires: 01/04/2027



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

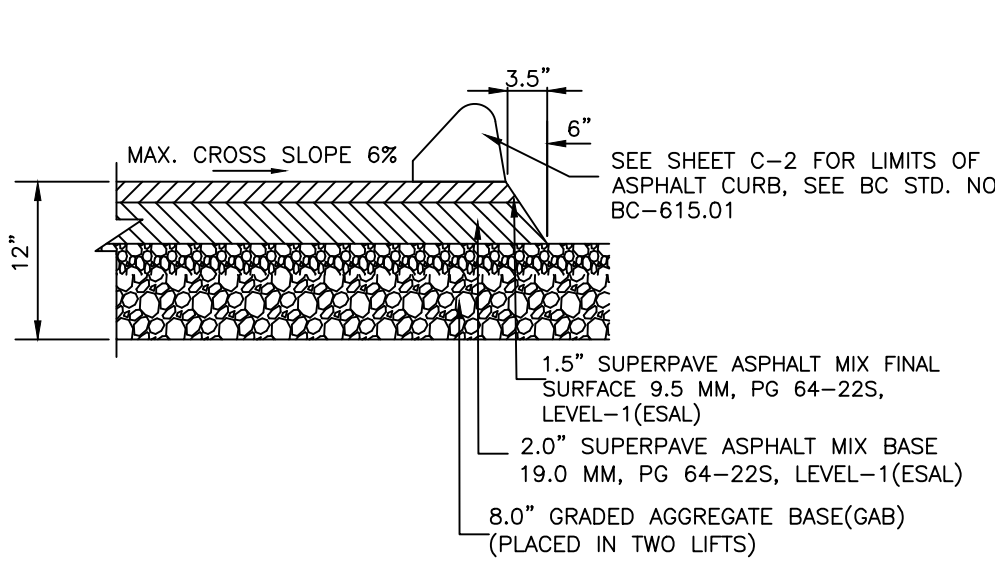

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**PAVING AND GEOMETRIC STAKEOUT PLAN**

SCALE: AS NOTED

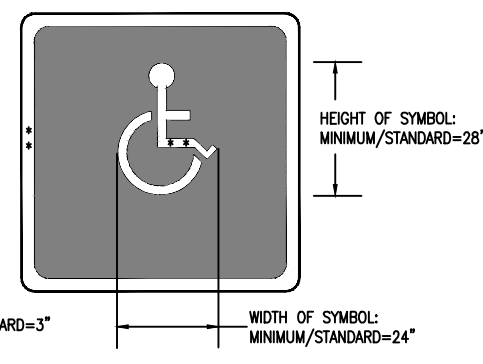
DATE: 02/13/2026

DRAWN BY	BW
TRACED BY	HP
DESIGNED BY	BW
CHECKED BY	RLS
PROJECT NO.	ON-CALL #1316
SHEET NO.	C-4
SHEET	06 OF 46
BCNR #	11054

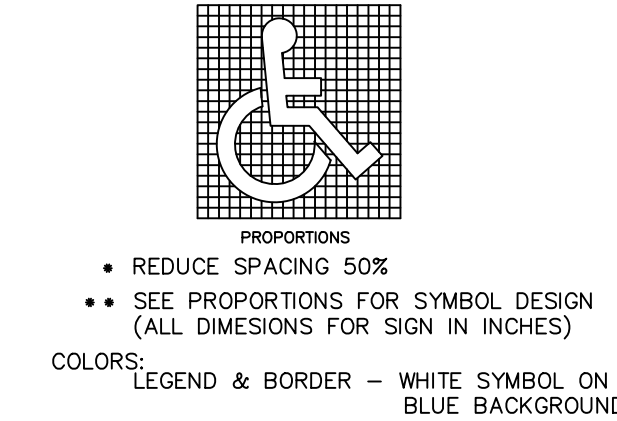
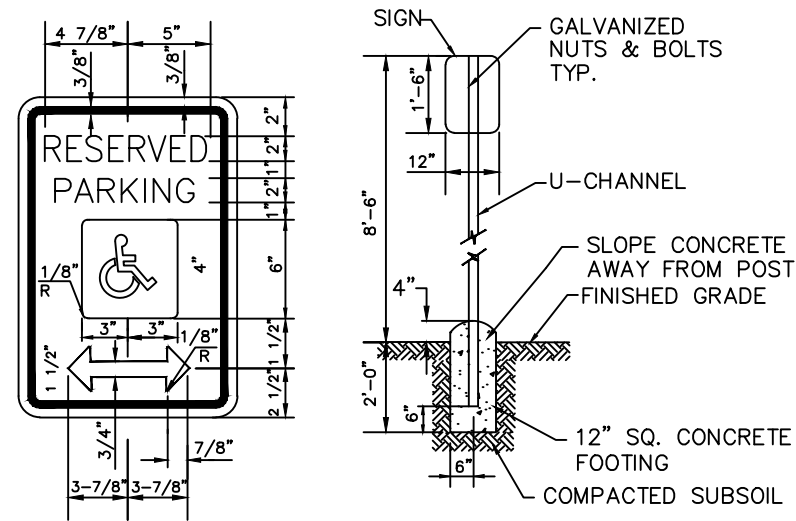


1 FULL DEPTH ASPHALT PAVING SECTION (NOT TO SCALE)

NOTE: ALL SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG) 4.6.4 AND COMAR 05.02.02

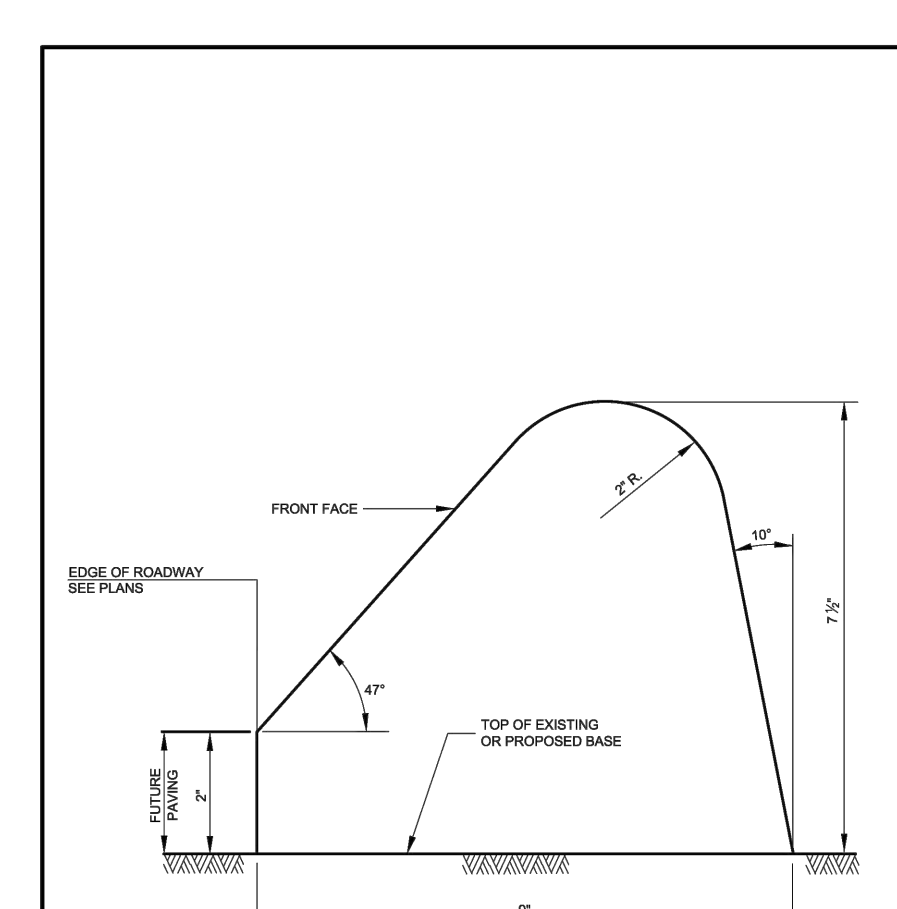


2 HANDICAP PARKING SIGN DETAIL (NOT TO SCALE)

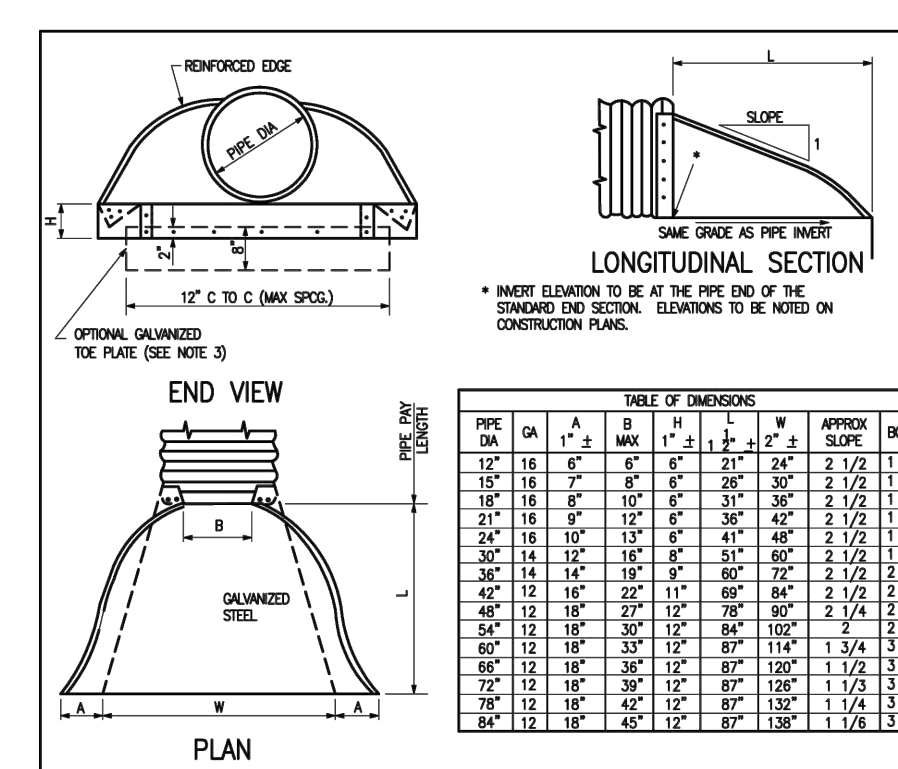


3 RESERVED PARKING SIGN DETAIL (NOT TO SCALE)

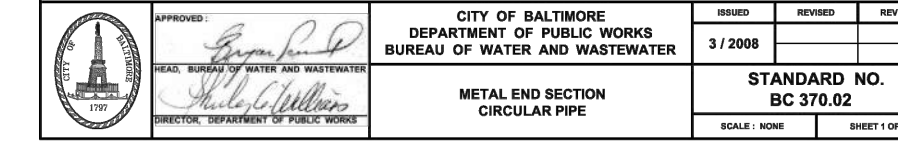
4 TRENCH REPAIR DETAIL (NOT TO SCALE)



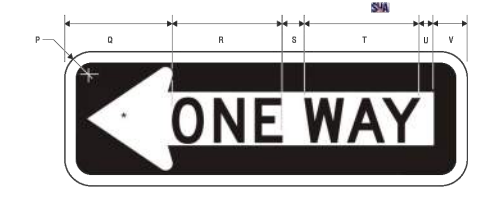
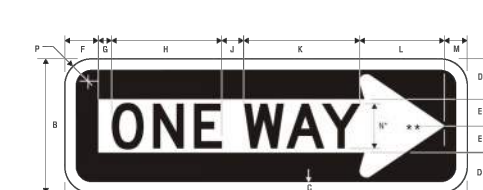
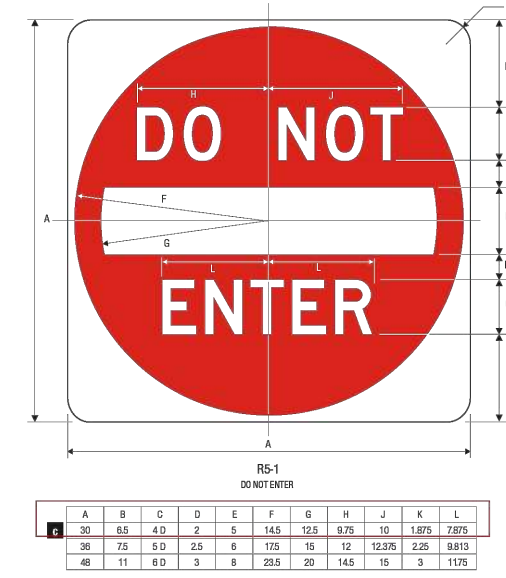
5 STANDARD HOT MIX ASPHALT CURB (NOT TO SCALE)



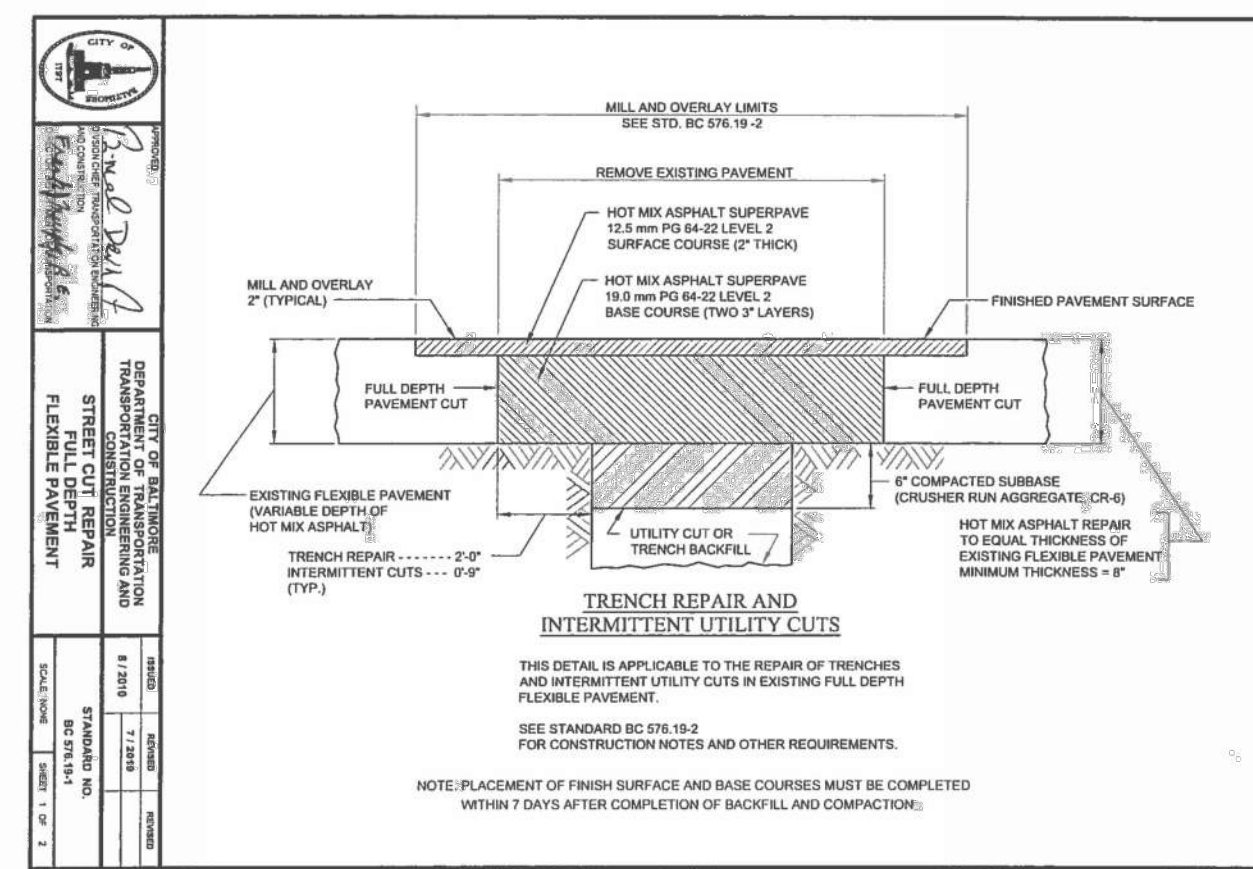
NOTES:  
 1. ALL 3 PEEBLES TO HAVE 12 GA SIDES AND 10 GA CENTER PANELS WITH CENTER PANELS TO BE GREATER THAN JOSE OF THE PIPE. FORMERLY MULTIPLE PANEL BODIES TO HAVE LAP JOINTS WHICH ARE TO BE REINFORCED WITH 3/8\"/>



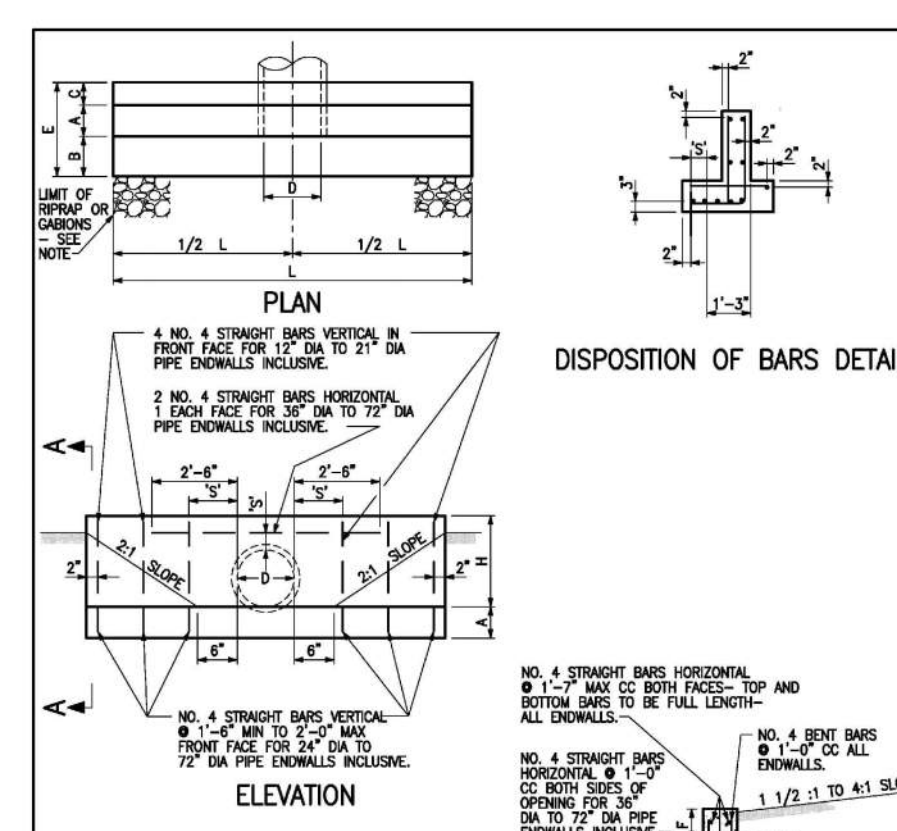
7 TYPE 'S' COMBINATION INLET (NOT TO SCALE)



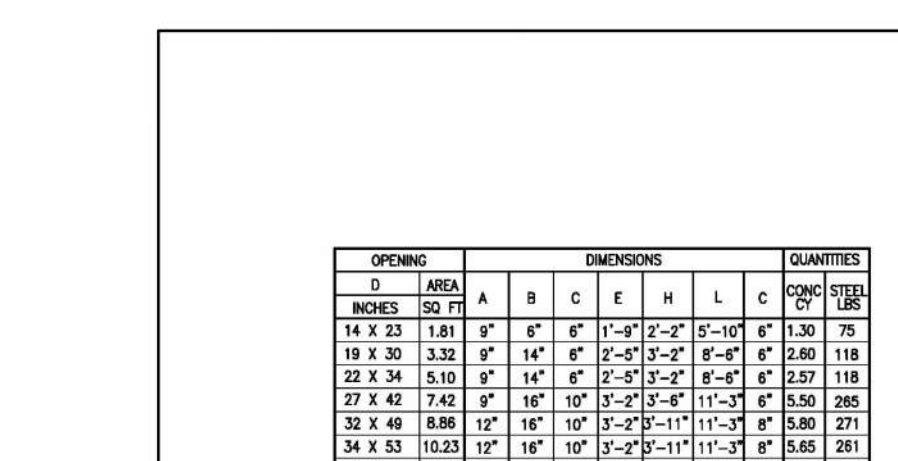
8 DO NOT ENTER & ONE WAY SIGN (NOT TO SCALE)



11 TRENCH REPAIR DETAIL (NOT TO SCALE)



12 RIPRAP DETAIL (NOT TO SCALE)



13 ENDWALL DETAILS (NOT TO SCALE)

HORIZONTAL ELLIPTICAL REINFORCED CONCRETE PIPE

OPENING	D	AREA	A	B	C	E	H	L	S	QUANTITIES		
14 x 23	14	191	8"	8"	8"	12"	12"	12"	12"	8"	130	75
18 x 30	18	232	8"	14"	8"	12"	12"	12"	12"	8"	120	118
22 x 34	22	274	8"	14"	8"	12"	12"	12"	12"	8"	110	118
27 x 42	27	324	8"	14"	10"	12"	12"	12"	12"	8"	100	285
30 x 48	30	360	12"	18"	10"	12"	12"	12"	12"	8"	100	271
36 x 54	36	405	12"	18"	10"	12"	12"	12"	12"	8"	100	281
36 x 60	36	405	12"	20"	12"	12"	12"	12"	12"	8"	112	366

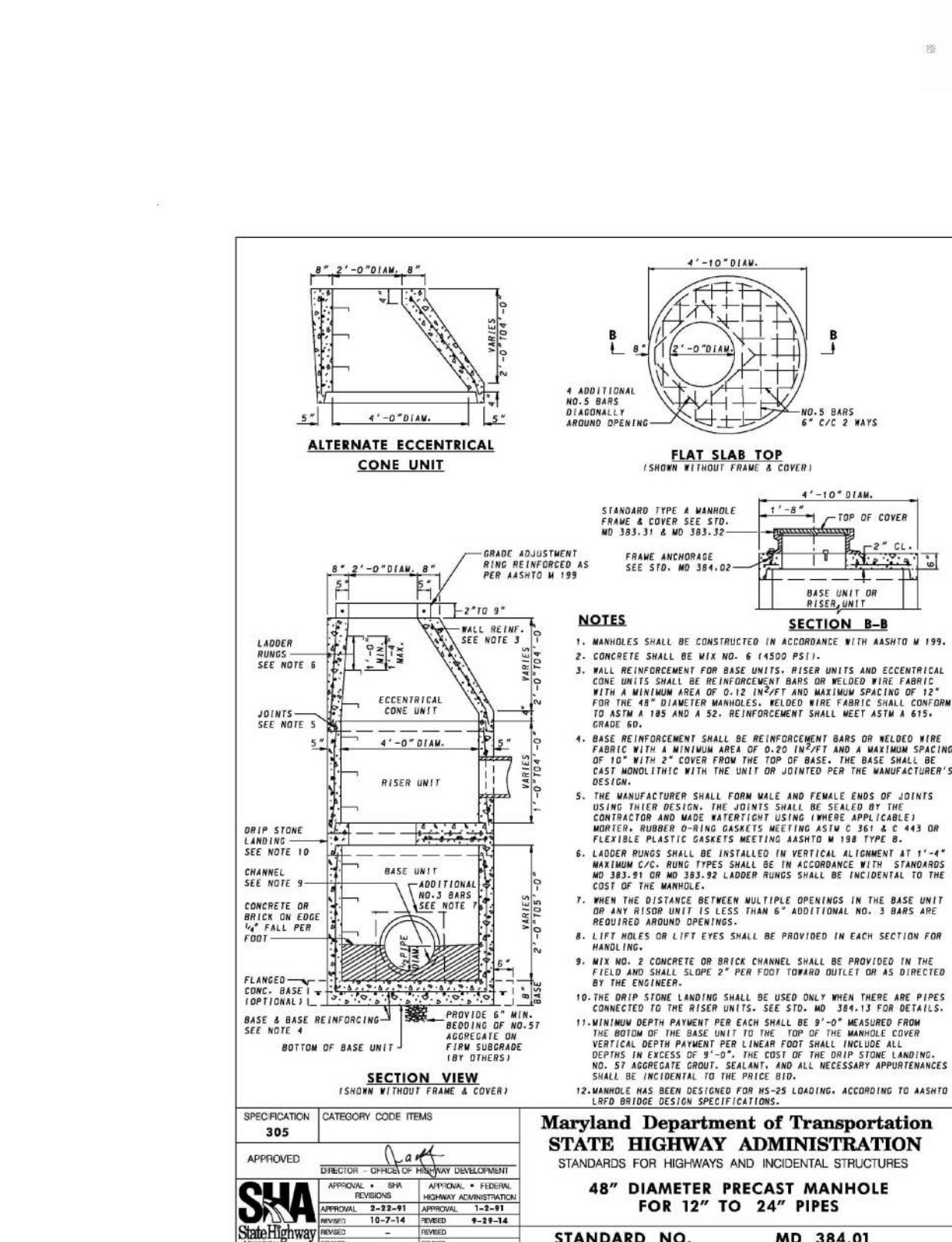
NOTE: QUANTITIES IN TABLE TO BE USED FOR ESTIMATING ONLY

CIRCULAR REINFORCED CONCRETE PIPE

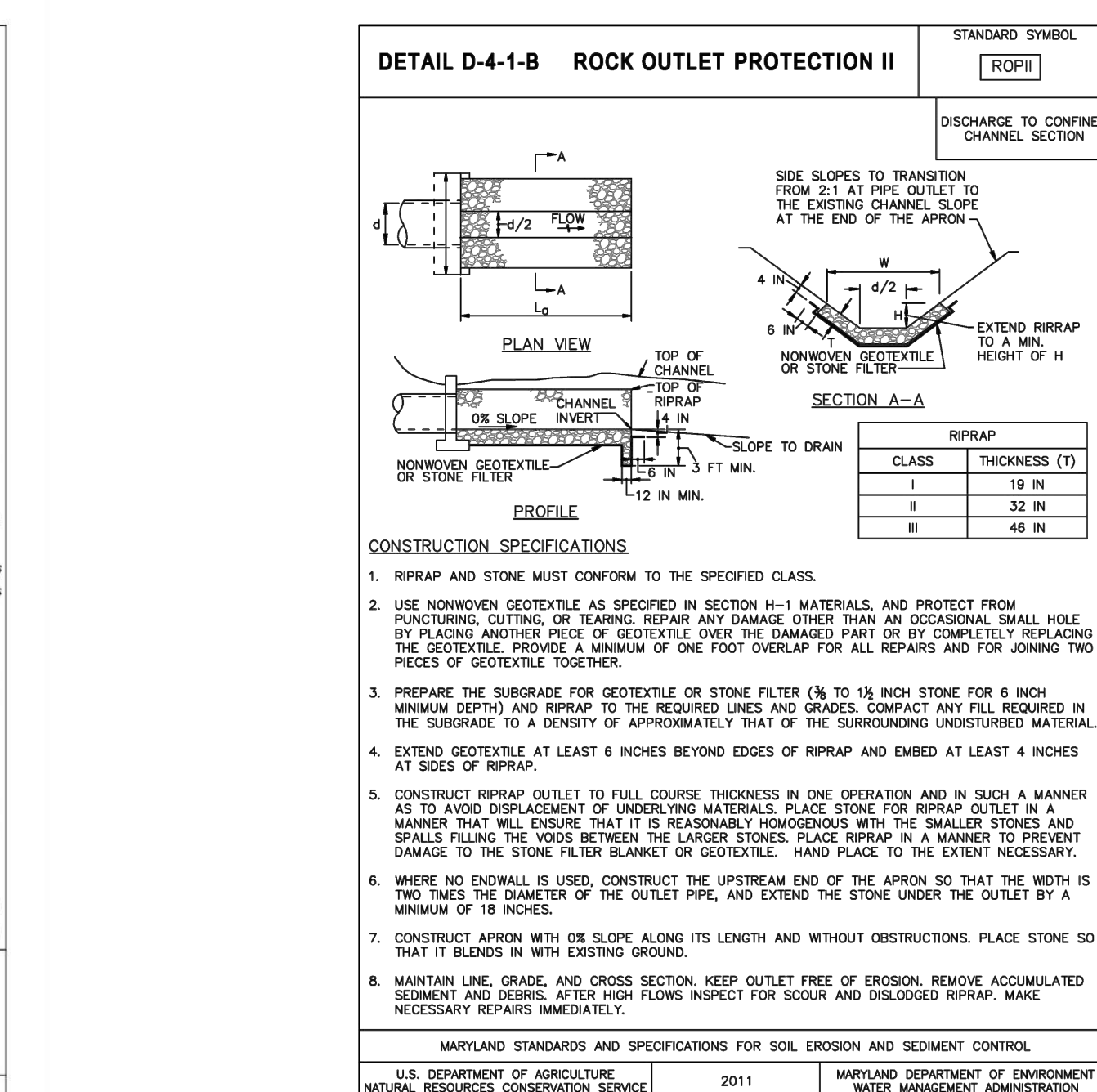
OPENING	D	AREA	A	B	C	E	H	L	S	QUANTITIES		
12	12	113	8"	8"	8"	12"	12"	12"	12"	8"	130	55
15	15	159	8"	8"	12"	12"	12"	12"	12"	8"	130	81
18	18	226	8"	14"	8"	12"	12"	12"	12"	8"	110	88
21	21	297	8"	14"	8"	12"	12"	12"	12"	8"	100	77
24	24	360	8"	14"	8"	12"	12"	12"	12"	8"	100	108
27	27	424	8"	14"	10"	12"	12"	12"	12"	8"	110	113
30	30	491	8"	14"	8"	12"	12"	12"	12"	8"	100	140
33	33	554	8"	14"	8"	12"	12"	12"	12"	8"	100	148
36	36	622	12"	18"	10"	12"	12"	12"	12"	8"	100	235
42	42	882	12"	18"	10"	12"	12"	12"	12"	8"	112	303
48	48	1224	12"	18"	10"	12"	12"	12"	12"	8"	110	341
54	54	1566	12"	20"	12"	12"	12"	12"	12"	8"	112	438
60	60	1980	12"	20"	12"	12"	12"	12"	12"	8"	108	468
72	72	2822	12"	20"	12"	12"	12"	12"	12"	8"	110	587

NOTE: QUANTITIES IN TABLE TO BE USED FOR ESTIMATING ONLY

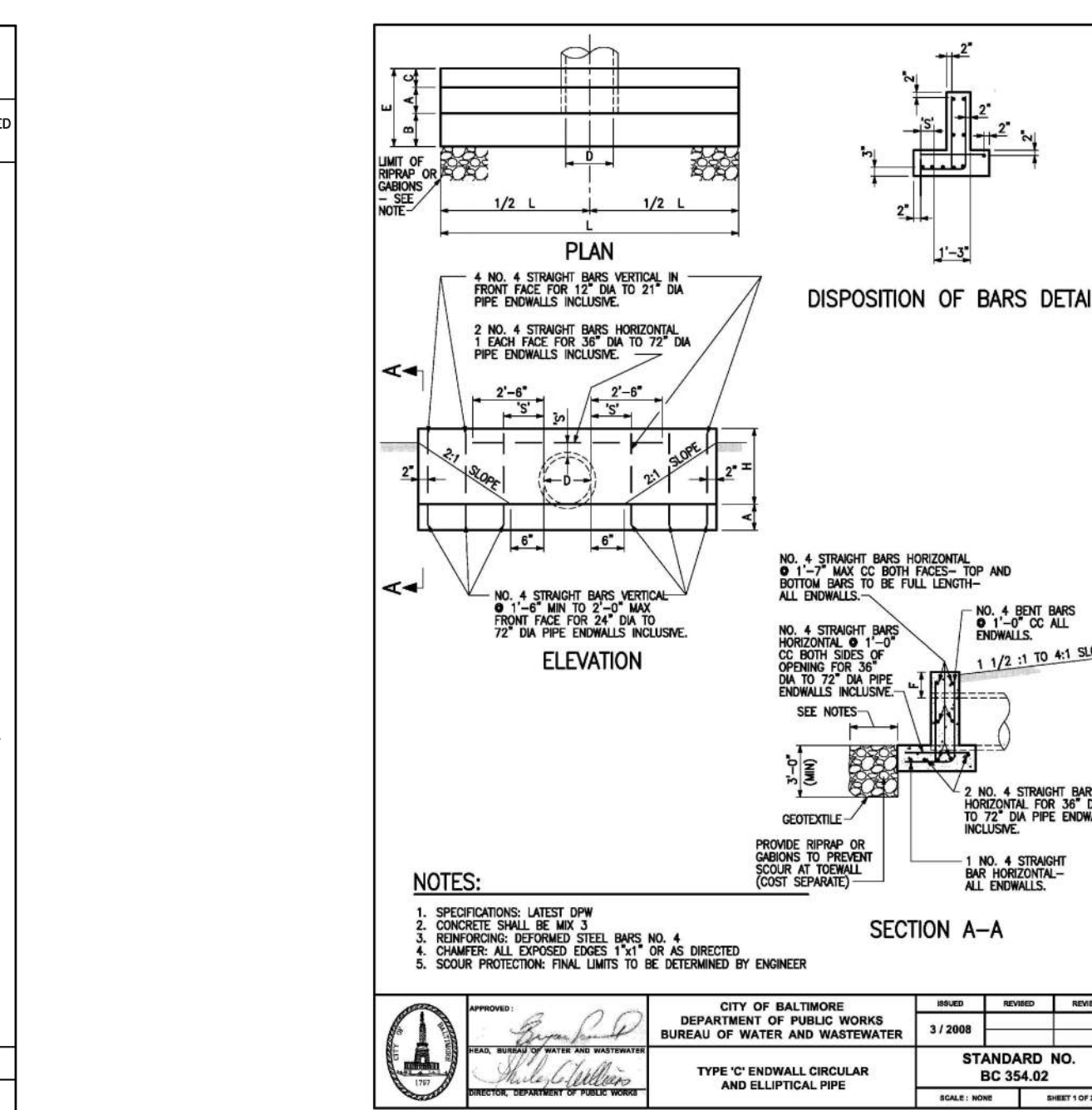
14 ENDWALL PIPE TABLE (NOT TO SCALE)



15 PRECAST MANHOLE DETAIL (NOT TO SCALE)



16 ROCK OUTLET PROTECTION II (NOT TO SCALE)

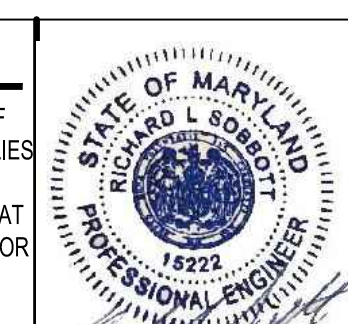


17 ENDWALL DETAILS (NOT TO SCALE)

RRMM ARCHITECTS  
 3700 KOPPERS ST., STE 300  
 BALTIMORE, MD 21227  
 P: 410-234-8444  
 WWW.RRMM.COM

DANIEL CONSULTANTS, INC.  
 8950 Route 108 E., Suite  
 229 Columbia, MD, 21045  
 Phone: 410-995-0000

PROFESSIONAL CERTIFICATION  
 THIS IS TO CERTIFY THAT TO THE BEST OF  
 MY KNOWLEDGE THAT THIS WORK COMPLIES  
 WITH THE REQUIREMENTS OF THE  
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 I HEREBY ASSUME THE RESPONSIBILITY FOR  
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 License: 15222 Expires: 01/04/2027



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
 4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS

NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

SITE DETAILS

SCALE: AS NOTED DATE: 02/13/2026

OWNER:  
 MAYOR AND CITY COUNCIL  
 3401 W NORTH AVE  
 BALTIMORE 21216

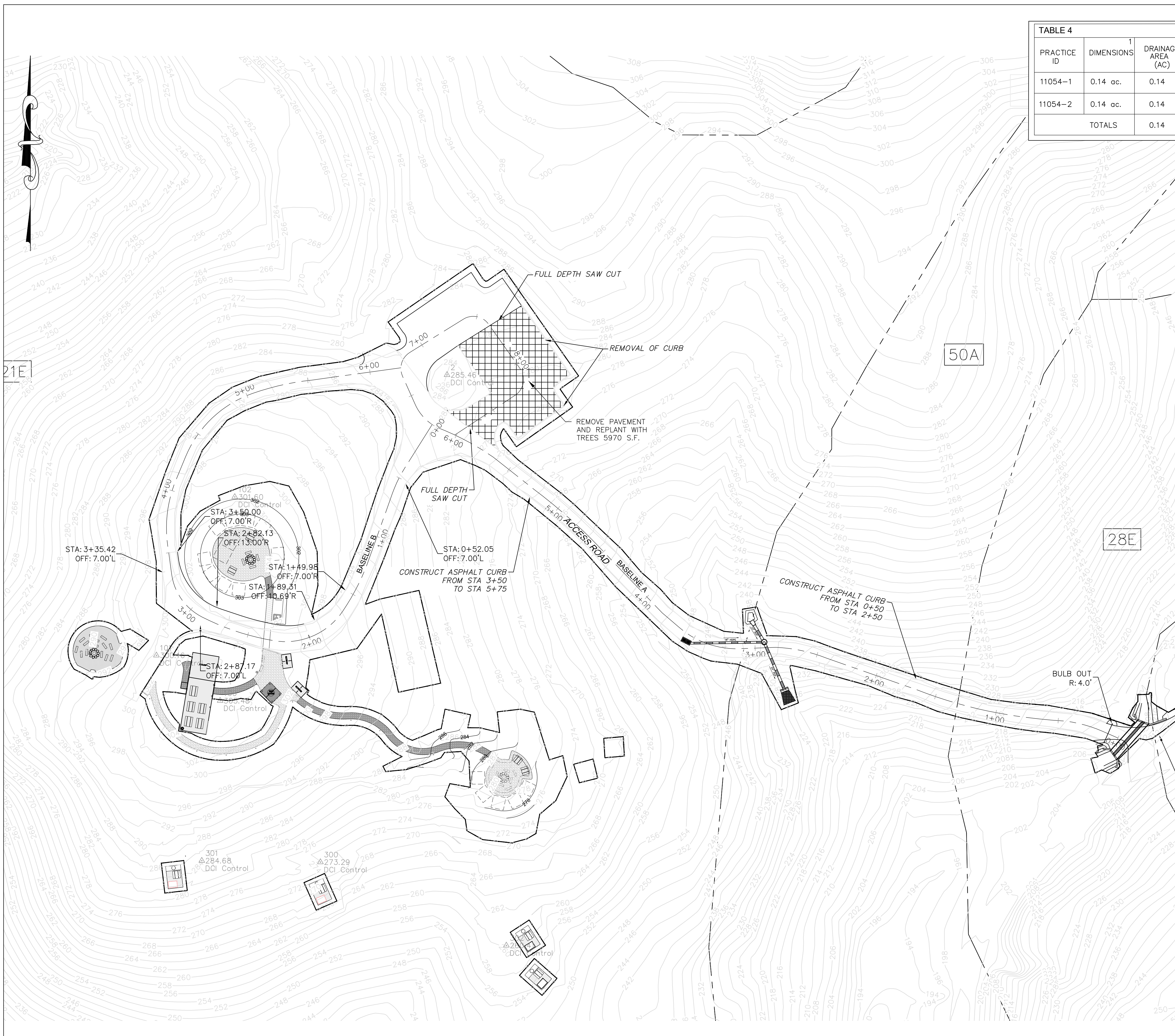
DEVELOPER / APPLICANT  
 BALTIMORE CITY RECREATION & PARKS  
 2600 MADISON AVE BALTIMORE MD 21217  
 410-396-7948

DRAWN BY: BW  
 TRACED BY: HP  
 DESIGNED BY: BW  
 CHECKED BY: RLS

PROJECT NO. ON-CALL #1316 SHEET NO. C-5

SHEET: 07 OF 46  
 BCNR # 11054

BID SET



PRACTICE ID	DIMENSIONS	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	ESDV VOLUME REQUIRED, (cf)	STORAGE VOLUME PROVIDED, ESD, (cf)	TREATMENT VOLUME CREDITED, ESD, (cf)	RECHARGE VOLUME PROVIDED, (cf)	TARGET PE (in)	PE PROVIDED (in)	IS FACILITY USED FOR 10-&100-YEAR QUANTITY CONTROL? (Y/N)	NOTES
11054-1	0.14 ac.	0.14	0.14	462	462	462	462	0.91	0.91	N	URBAN SOIL RESTORATION OF REMOVED IMPERVIOUS SURFACES, LEVEL 1 (15')
11054-2	0.14 ac.	0.14	0.00	142	142	142	142	0.28	0.28	N	URBAN TREE CANOPY
TOTALS		0.14	0.14	604	604	604	604	-	-	-	

NOTES:  
 PE (EiAR) VALUES ARE DERIVED FROM ACCOUNTING FOR STORMWATER WASTELoad ALLOCATIONS AND IMPERVIOUS ACRES TREATED: GUIDANCE FOR NPDES STORMWATER PERMITS, DATED 12/21, BY THE MARYLAND DEPARTMENT OF ENVIRONMENT. REFER TO TABLE 1 PE=0.91 FOR IMPERVIOUSNESS REMOVAL TO 15" OR PE=0.28 FOR URBAN TREE PLANTING ON TURF.  
 ESDV REQUIRED BASED ON IMPERVIOUS AREA 0.10 AC, A=1.23 AC. PERCENT IMPERVIOUS 8.1 % SO Rev=0.123 AND PE=1.0 (B SOIL).  
 $ESD_v = (P_e * R_v * A) / 12$   
 $I = IMPERVIOUS AREA / DRAINAGE AREA$   
 $P_e = ESD_v * 12 / R_v * A$   
 $R_v = 0.05 + 0.009 * I A$   
 $Re_v = (S * R_v * A) / 12$   
 S = SOIL SPECIFIC RECHARGE FACTOR 0.26 B SOIL

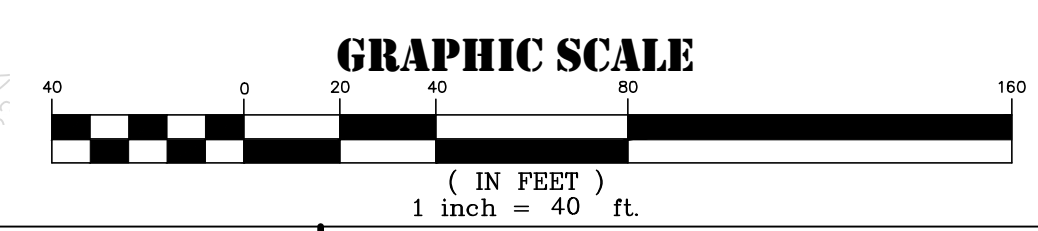
REQUIREMENT	BALTIMORE CITY VOLUME REQUIRED (CF)	VOLUME PROVIDED (CF)	EXISTING DISCHARGE (CFS)	PROPOSED DISCHARGE (CFS)	NOTES
POI 1 Q <sub>10</sub> (POI 1)	N/A	N/A	87.87	87.87	NO INCREASE IN Q <sub>10</sub> ANTICIPATED
POI 1 Q <sub>100</sub> (POI 1)	N/A	N/A	213.66	213.66	NO INCREASE IN Q <sub>100</sub> ANTICIPATED
POI 2 Q <sub>10</sub> (POI 2)	N/A	N/A	1.15	1.15	NO INCREASE IN Q <sub>10</sub> ANTICIPATED
POI 2 Q <sub>100</sub> (POI 2)	N/A	N/A	2.73	2.73	NO INCREASE IN Q <sub>100</sub> ANTICIPATED
POI 3 Q <sub>10</sub> (POI 3)	N/A	N/A	0.76	0.76	NO INCREASE IN Q <sub>10</sub> ANTICIPATED
POI 3 Q <sub>100</sub> (POI 3)	N/A	N/A	1.69	1.69	NO INCREASE IN Q <sub>100</sub> ANTICIPATED
POI 4 Q <sub>10</sub> (POI 4)	N/A	N/A	3.70	3.70	NO INCREASE IN Q <sub>10</sub> ANTICIPATED
POI 4 Q <sub>100</sub> (POI 4)	N/A	N/A	10.45	10.45	NO INCREASE IN Q <sub>100</sub> ANTICIPATED

	REQ. (cf)	PRO. (cf)	NOTES
ESDv	549.90	604	
Rev	143	604	

	SF	AC
A TOTAL LIMIT OF DISTURBANCE (LOD) <sup>2</sup>	81040.2	1.86
B LIMIT OF DISTURBANCE AREA EXCLUDED FROM SSA <sup>3</sup>	30056.4	0.69
C STORMWATER STUDY AREA (SSA) = (A - B) <sup>4</sup>	53578.8	1.23
D EX. IMP. AREA TREATED BY EXISTING WATER QUALITY FACILITY IMPACTED BY WORK	0	0
E EXISTING IMPERVIOUS AREA WITHIN SSA	435.6	0.01
F PROPOSED IMPERVIOUS AREA WITHIN SSA	3920	0.09
G NEW IMPERVIOUS AREA = (F - E) IF REDEVELOPMENT, ELSE = F	3920	0.09
H REDEVELOPMENT IMPERVIOUS AREA = {0.5x(E-D)} IF REDEVELOPMENT, ELSE = 0	435.6	0.01
I TOTAL IMPERVIOUS AREA TO TREAT {D + G + H}	4355.6	0.10
J TOTAL IMPERVIOUS AREA TREATED BY SWM	5970	0.14
K VARIANCE/WAIVER - FEE-IN-LIEU PAID FOR UNTREATED IMPERVIOUS AREA	0	0
M TOTAL IMPERVIOUS AREA ACCOUNTED (J + K)	5970	0.14

WATERSHED NAME: GWYNN'S FALLS

NOTES:  
 1. ROUND ACRES TO NO MORE THAN 2 PLACES AFTER THE DECIMAL POINT.  
 2. LOD AREA COVERS ALL EARTH DISTURBANCE ACTIVITIES.  
 3. INCLUDES AREAS RETURNED TO EXISTING GROUND COVER ASSOCIATED WITH UTILITY INSTALLATION ETC. SUBJECT TO ARTICLE 7 DIVISION II, 23-2(1) QUALITATIVE WAIVER. EXCLUDE MAINTENANCE AREA 0.55 AND ADDITIONAL IMPERVIOUS REMOVAL 0.14 AC.  
 4. SSA IS THE AREA USED IN COMPUTING THE SWM REQUIREMENT. IT IS TYPICALLY SAME AS THE LOD, HOWEVER MAY BE REDUCED FROM THE LOD WHERE PORTIONS OF THE LOD ARE SUBJECT TO A WAIVER OF SWM REQUIREMENTS SUCH AS UTILITY CONNECTIONS OR TEMPORARY STOCKPILE AREAS.



RRMM ARCHITECTS  
 3700 KOPPERS ST., STE 300  
 BALTIMORE, MD 21227  
 P. 410-234-8444  
 WWW.RRMM.COM



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 License: 15222 Expires: 01/04/2027



**GWYNN'S FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
 4201 GWYNN'S FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

NO.	DESCRIPTION	DATE

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**SWM PROPOSED CONDITIONS PLAN**

SCALE: AS NOTED DATE: 02/13/2026

**OWNER:**  
 MAYOR AND CITY COUNCIL  
 3401 W NORTH AVE  
 BALTIMORE 21216

**DEVELOPER / APPLICANT**  
 DEPARTMENT OF RECREATION & PARKS  
 2600 MADISON AVE BALTIMORE MD 21217  
 410-396-7948

**BID SET**

DRAWN BY: BW  
 TRACED BY: HP  
 DESIGNED BY: BW  
 CHECKED BY: RLS

PROJECT NO. ON-CALL #131G SHEET NO. C-6

SHEET: 08 OF 46  
 BCNR# 11054

**SEQUENCE OF CONSTRUCTION IMPERVIOUS URBAN TO FOREST**

- SUBMIT A WRITTEN NOTIFICATION TO: THE DEPARTMENT OF PUBLIC WORKS, OFFICE OF COMPLIANCE AND LABORATORIES, PLANS AND INSPECTIONS SECTION, 3001 DRUID PARK DRIVE, ROOM 228, BALTIMORE, MD 21215, PHONE NUMBER, 410-396-0732, FAX 410-523-9047, DPW.ESCONSPECTIONS@BALTIMORECITY.GOV, AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION STATING:
  - REQUEST OF A PRE-CONSTRUCTION MEETING
  - WHEN THE CONTRACTOR INTENDS TO BEGIN CONSTRUCTION
  - WHEN THE CONTRACTOR INTENDS TO INSTALL STORMWATER MANAGEMENT FACILITIES.
  - SOURCE OF BORROW MATERIAL
  - LOCATION OF DISPOSAL AREA OF SITE MATERIALS
- CALL "MISS UTILITY" AT 1-800-257-7777 72 HOURS BEFORE COMMENCING WORK
- REFER TO ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES ON GENERAL NOTES SHEET.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS TO ALL SLOPES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, AND 1 (ONE) DAY TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- CLEAR AND GRUB (COB GREEN BOOK SPECIFICATION 31 11 00 AND 31 12 00) ONLY THOSE AREAS NECESSARY FOR THE INSTALLATION OF TREE PROTECTION FENCING. PLACE ALL TREE PROTECTION FENCING AS SHOWN ON THE PLANS, WITHIN THE LIMITS OF WORK. CONTACT THE DEPARTMENT OF RECREATION AND PARKS FOR APPROVAL OF TREE PROTECTION MEASURES.
- ANY TREES THAT ARE TO REMAIN THAT ARE DAMAGED DURING THE CLEARING OPERATION MUST BE REPAIRED OR REMOVED AND REPLACED BY THE CONTRACTOR IN AN APPROVED MANNER BY AN MDLITE/ISA CERTIFIED ARBORIST AS SOON AS FINAL CLEARING HAS BEEN COMPLETED.
- ALL WORK NEAR TREE PROTECTION AREAS SHALL BE DONE IN SUCH A MANNER AS TO MINIMIZE DAMAGE TO TREES, SHRUBS, GROUND COVER, SOIL AND ROOT SYSTEMS. NO WORK SHOULD BE UNDERTAKEN WITHIN TREE PROTECTION AREAS. ACTIVITIES PROHIBITED WITHIN THE TREE PROTECTION AREAS INCLUDE BUT ARE NOT LIMITED TO:
  - OPERATING OR PARKING CONSTRUCTION EQUIPMENT
  - STORAGE OF CONSTRUCTION MATERIAL OR DEBRIS
  - STOCKPILING OF SOIL OR OTHER MATERIALS
  - ALTERATION OF GRADES IN ADJACENT AREAS WHICH WILL CAUSE DRAINAGE TO FLOW INTO, OR TO COLLECT IN PROTECTED AREAS.
- CLEAR AND GRUB ONLY THOSE AREAS FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL PERIMETER CONTROLS AND ORANGE CONSTRUCTION FENCE.
- INSTALL ORANGE CONSTRUCTION FENCE, SILT FENCE ON PAVEMENT AND SILT FENCE AS SHOWN ON PLANS. ALL AREAS DISTURBED BY THESE ACTIVITIES SHALL BE STABILIZED BY THE END OF THE WORK DAY.
- INSTALL EROSION AND SEDIMENT PROTECTION DEVICES AS NOTED ON PLAN SHEET.
- REFER TO DEMOLITION NOTES ON THIS SHEET.
- SO LONG AS THE IMPERVIOUS COVER REMAINS INTACT BENEATH THE PROPOSED STOCKPILE AREA, ALL EXCAVATED MATERIAL CAN BE TEMPORARILY STOCKPILED IN THIS DESIGNATED AREA, ONCE THE PAVEMENT BENEATH THIS AREA IS DEMOLISHED, THE TEMPORARY STOCKPILE AREA SHOULD BE REMOVED AND NO MATERIALS SHALL BE STOCKPILED ON THE SITE. ALL MATERIAL SHOULD BE HAULED FROM THE SITE AND DISPOSED OF PROPERLY. REFERENCE COB GREEN BOOK SPECIFICATION 31 14 13.24 FOR GUIDANCE ON SALVAGING TOPSOIL.
- REMOVE IMPERVIOUS SURFACES TO LIMITS SHOWN ON THE PLAN. ANY REMAINING PAVEMENT EDGES SHOULD BE NEATLY SAW CUT. FULL PAVEMENT DEPTHS AND ALL UNDERLYING GRAVEL AND STONE ARE TO BE REMOVED AND HAULED FROM SITE. CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO AVOID DAMAGE TO EXISTING UTILITIES. REMOVE PAVEMENT TO A DEPTH OF AT LEAST 15".
- RESTORE EXISTING GRADE. USE FURNISHED TOPSOIL AND COMPOST MIXTURE SPECIFIED IN THE SEQUENCE OF SOIL AMENDMENT ON THIS SHEET. CONTRACTOR SHALL LEAVE ALL EXISTING MANHOLES, VALVES, AND ACCESS BOXES EXPOSED WITH FINAL GRADE MATCHING EXISTING GRADE AROUND DEVICE.
- AMEND SOILS AS REQUIRED AT EACH PLANTING SITE. SEE ADDITIONAL AMENDMENT NOTES THIS SHEET.
- REFER TO PLANTING NOTES ON LANDSCAPE PLANS SHEET L400.
- PLANT TREES PER LANDSCAPE PLANS SHEET L202.
- STAKE AND MULCH TREES ON THE DAY OF PLANTING. ALL STAKES, WIRE AND FENCING SHALL BE REMOVED JUST PRIOR TO FINAL INSPECTION.
- PLANTS SHALL BE WATERED TO THE POINT OF OVERFLOW OR SATURATION TWICE WITHIN 48 HOURS OF PLANTING. EACH TREE NEEDS 10 GALLONS OF WATER PER TREE, TWICE A WEEK FOR TWO YEARS. AFTER PLANTING IS FINISHED, ALL DISTURBED AREAS SHALL BE PERMANENTLY SEEDED AND WATERED ACCORDING TO CITY'S EROSION AND SEDIMENT CONTROL MANUAL (ART. 7, 31-3), MOST CURRENT EDITION. USE A SEEDING RATE OF 100 LBS/ACRE WHEN SEEDING GREATER THAN 30 FEET FROM CONCRETE.
- WITH WRITTEN APPROVAL OF THE SEDIMENT AND EROSION CONTROL INSPECTOR, REMOVE REMAINING PROTECTION AND EROSION AND SEDIMENT CONTROL DEVICES STABILIZE ALL AREAS DISTURBED BY THESE ACTIVITIES.

**SEQUENCE OF SOIL AMENDMENT AND LANDSCAPING**

- FOLLOWING PAVEMENT DEMOLITION AND REMOVAL, THE UNDERLYING SOILS SHALL BE AMENDED WITH COMPOST, THEN BACKFILLED TO THE EXISTING GRADE WITH A FURNISHED TOPSOIL/COMPOST MIXTURE. SEE IMPERVIOUS REMOVAL DETAIL.
- FOLLOWING PAVEMENT AND SUBBASE REMOVAL, 2 INCHES OF COMPOST SHOULD BE SPREAD OVER THE SITE IN THE PROPOSED PERMANENT SEEDING AREAS, USING A WALK BEHIND ROTO-TILLER, THE COMPOST SHOULD BE INCORPORATED INTO THE UNDERLYING SOILS TO A DEPTH OF 4-6 INCHES.
- FOLLOWING SOIL AMENDMENT, A HOMOGENEOUS TOPSOIL/COMPOST MIX CONSISTING OF 80% TOPSOIL, 20% COMPOST AND A 20-16-12 FERTILIZER MIXTURE SHALL BE PLACED ON TOP OF THE ROTO-TILLED SOILS AREAS TO THE FINAL GRADE SHOWN ON THE PLANS. THE MIX SHOULD BE INSTALLED IN 4-6 INCH LIFTS AND WATERED IN PLACE FOLLOWING EACH LIFT TO PROMOTE SETTLEMENT. RAKE SOILS AS NEEDED TO LEVEL OUT. NO VEHICULAR TRAFFIC SHALL BE PERMITTED ON TOP OF THE PLACED SOILS. THE CONTRACTOR SHALL TAKE CARE NOT TO COMPACT THE UNDERLYING AMENDED SOILS OR NEWLY PLACED TOPSOIL AREAS.
- FURNISHED TOPSOIL MAY BE PLACED WITHIN 2 FEET OF AN EXISTING PAVEMENT EDGE AND COMPACTED TO PROVIDE STABILITY, AS NEEDED. MATERIAL SHOULD BE COMPACTED USING A HAND TAMP OR SMALL PLATE COMPACTOR. 2-4 INCHES OF UNCOMPACTED TOPSOIL SHALL BE PLACED OVER THE COMPACTED AREA. RAKE TOPSOIL TO FINAL GRADE.
- THE EXISTING SURFACE ELEVATIONS IN AND AROUND ALL TREES SHALL BE MAINTAINED. GRADING WITHIN A 5 FOOT RADIUS OF ALL TREES SHOULD BE AVOIDED TO THE EXTENT POSSIBLE. FURTHER GRADING WITHIN THE DRIP LINE OF ALL TREES SHOULD BE MINIMIZED.
- A MULCH RING SHALL BE PLACED AT A 5 FOOT RADIUS AROUND ALL TREES. MULCH SHALL NOT BE PLACED WITHIN 6 INCHES OF THE BASE OF THE TREE. MULCH SHALL BE APPLIED AT A UNIFORM DEPTH OF 3 INCHES THICK AND SHALL BE DISTRIBUTED AS TO CREATE A SMOOTH LEVEL COVER.
- SITE SHOULD BE HAND RAKED FOR FINAL GRADING PRIOR TO SEEDING.
- FOLLOWING FINAL GRADING, THE SITE SHOULD BE PERMANENTLY SEEDED AND WATERED ACCORDING TO CITY'S EROSION AND SEDIMENT CONTROL MANUAL (ART. 7, 31-3), MOST CURRENT EDITION.

AS-BUILT DATA FOR NON-STRUCTURAL PRACTICES	11054-1		11054-2	
	DESIGN	AS-BUILT	DESIGN	AS-BUILT
IMPERVIOUS AREA REMOVED (AC)	0.14	-	-	-
NUMBER OF TREES PLANTED	-	-	17	-

AFFORESTATION SUMMARY TABLE				
AREA TO BE PLANTED	AC	11054-2		TOTAL
		EA	9	
8' TREES	EA	9	9	
2.5" CALIBER TREES	EA	4	4	
1" CALIBER TREES	EA	4	4	

**DEMOLITION NOTES**

- DEMOLITION ITEMS ARE TO INCLUDE ALL WORK REQUIRED TO REMOVE ITEM FROM SITE COMPLETELY. EXISTING IMPERVIOUS COVER AND ALL UNDERLYING GRAVEL AND STONE ARE TO BE REMOVED AND HAULED FROM THE SITE.
- NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.
- THE SOILS BENEATH THE REMOVED IMPERVIOUS AREA SHALL BE AMENDED USING SOIL COMPOST AMENDMENTS. 2 INCHES OF COMPOST SHALL BE INCORPORATED TO A DEPTH OF 4 TO 6 INCHES USING A ROTO-TILLER. THE COMPOST AMENDMENTS SHALL MEET THE SPECIFICATIONS ON THIS SHEET.
- ALL DEMOLITION WORK AT SITE MUST BE CONDUCTED UNDER SUPERVISION OF A LICENSED ARBORIST.
- INSTALL TREE PROTECTION FENCE AS SHOWN ON THE PLANS.
- IN ORDER TO PROTECT THE EXISTING TREES, ALL IMPERVIOUS MATERIAL AND UNDERLYING SUB-BASE WITHIN 5 FEET OF TREE PROTECTION FENCE AND AREAS ON PLAN DESIGNATED AS HAND REMOVAL AREAS SHALL BE REMOVED BY HAND, UNLESS OTHERWISE DIRECTED BY THE ON-SITE ARBORIST.
- IMPERVIOUS AREA WITHIN 5 FEET OF THE EDGE OF THE PAVEMENT, SHOWN AS HATCHED IN THE PLANS, SHALL BE DEMOLISHED AND REMOVED BY HAND EQUIPMENT ONLY.
- IN THE REMAINING IMPERVIOUS REMOVAL AREAS, THE PAVEMENT MAY BE BROKEN UP USING HEAVY EQUIPMENT, BUT MATERIAL SHALL ONLY BE REMOVED BY HAND. ONCE PAVEMENT IS BROKEN, EQUIPMENT SHALL NOT PASS OVER ANY AREAS OF BROKEN PAVEMENT.
- EQUIPMENT SHALL BE KEPT AS FAR AWAY FROM THE EXISTING SITE TREES AS POSSIBLE.
- ONCE PAVEMENT IS REMOVED, THERE SHALL BE NO HEAVY EQUIPMENT TRAFFIC OVER THE EXPOSED AREA. THE ONLY TRAFFIC OVER EXPOSED DEMOLITION AREAS SHALL BE HAND-OPERATED OR FOOT TRAFFIC.
- IF REQUIRED, HEAVY EQUIPMENT CAN TRAVEL ALONG THE SITE USING THE ADJACENT ROADWAY. HOWEVER, NO EQUIPMENT OR MATERIAL SHALL BE STORED WITHIN THE RIGHT-OF-WAY.
- EQUIPMENT SHOULD NOT INTERFERE WITH OVERHEAD CANOPY.
- RESTORE DISTURBED AREA'S OUTSIDE OF DESIGNATED IMPERVIOUS REMOVAL AND TREE PLANTING AREAS TO EXISTING CONDITIONS INCLUDING CURB, SIDEWALKS AND STREET PAVEMENT.
- FOR ALL PAVEMENT REMOVAL AREAS, NEATLY SAW CUT ALL EDGES.
- PREPARE SOIL AND SEED ALL LAWN AREAS DISTURBED BY CONTRACTORS. VEHICULAR MOVEMENT OR STORAGE IN ACCORDANCE WITH SPECIFICATIONS DUE TO INCIDENTAL ACTIVITIES NOT SHOWN ON THE DRAWINGS BUT ASSOCIATED WITH WORK.
- INSTALL TREE PROTECTION FENCE AS SHOWN ON THE PLANS. MINIMIZE EQUIPMENT ACTIVITY WITHIN THE DRIPLINE OF EXISTING TREES. THERE SHALL BE NO STORAGE OF MATERIALS OR EQUIPMENT PERMITTED WITHIN THE FENCED AREA. MAINTAIN TREE PROTECTION FENCE UNTIL DIRECTED BY THE ENGINEER TO REMOVE.
- ANY SOLID WASTE INCLUDING CONSTRUCTION, DEMOLITION AND LAND CLEARING DEBRIS, GENERATED FROM THE SUBJECT PROJECT, MUST BE PROPERLY DISPOSED OF AT A PERMITTED SOLID WASTE ACCEPTANCE FACILITY OR RECYCLED IF POSSIBLE. CONTACT THE SOLID WASTE PROGRAM AT (410) 537-3315 FOR ADDITIONAL INFORMATION REGARDING SOLID WASTE ACTIVITIES AND CONTACT RESOURCE MANAGEMENT PROGRAM AT (410) 537-3314 FOR ADDITIONAL INFORMATION REGARDING RECYCLING ACTIVITIES.

MAINTENANCE AND LIABILITY		STORMWATER MANAGEMENT	
MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITY AND APPURTENANT DRAINAGE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER SHALL ALSO BE FULLY LIABLE FOR ALL DAMAGES OR INJURIES THAT MAY BE SUSTAINED BY ANY PERSON OR PROPERTY AS A RESULT OF ANY FAILURE OR MALFUNCTION OF THE STORMWATER MANAGEMENT FACILITY AND APPURTENANCES.			
OWNER/DEVELOPER	ADDRESS	PHONE NUMBER	
SIGNATURE	DATE		

DEVELOPER'S /OWNER'S CERTIFICATION		STORMWATER MANAGEMENT	
I/WE CERTIFY THAT ALL PROPOSED WORK SHOWN ON THESE CONSTRUCTION DRAWINGS AND ON THE APPROVED SEDIMENT CONTROL DRAWINGS WILL BE ACCOMPLISHED PURSUANT TO THESE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS WITHIN THIRTY (30) DAYS OF COMPLETION, BY A REGISTERED PROFESSIONAL ENGINEER.			
OWNER/DEVELOPER	ADDRESS	PHONE NUMBER	
SIGNATURE	DATE		

AS-BUILT CERTIFICATION			
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.			
PRINT NAME	SIGNATURE	PHONE NUMBER	
ADDRESS	DATE		

ENGINEER'S CERTIFICATION			
I DO HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED UPON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE BALTIMORE CITY OFFICE OF COMPLIANCE AND RESEARCH.			
8950 ROUTE 108 EAST SUITE 229 COLUMBIA, MD	(410)300-6530		
RICHARD SOBBOTT PRINT NAME	ADDRESS	PHONE NUMBER	
<i>Richard Sobott</i> SIGNATURE	01/17/2025	DATE	

**OWNER:** MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

**DEVELOPER /APPLICANT** DEPARTMENT OF RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

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P: 410-234-8444  
WWW.RRMM.COM




DANIEL CONSULTANTS, INC.  
8950 Route 108 E., Suite  
229 Columbia, MD, 21045  
Phone: 410-995-0090

PROFESSIONAL CERTIFICATION  
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.

License: 15222 Expires: 01/04/2027



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS		

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

SEQUENCE OF CONSTRUCTION, PLANTING NOTES  
& AS-BUILTS

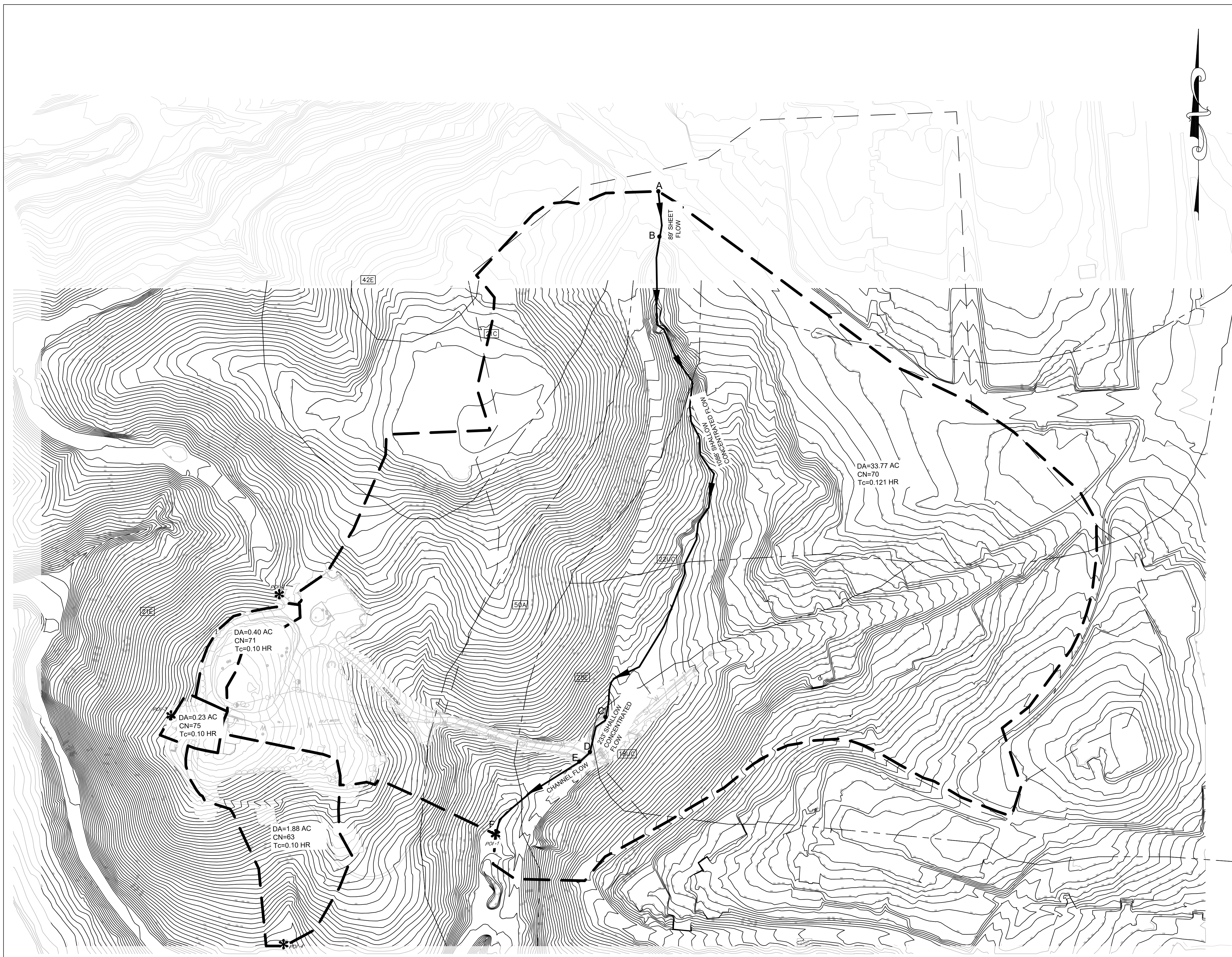
SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY	BW
TRACED BY	HP
DESIGNED BY	BW
CHECKED BY	RLS
PROJECT NO. ON-CALL #131G	SHEET NO. C-7
SHEET: 09	OF 46

BID SET

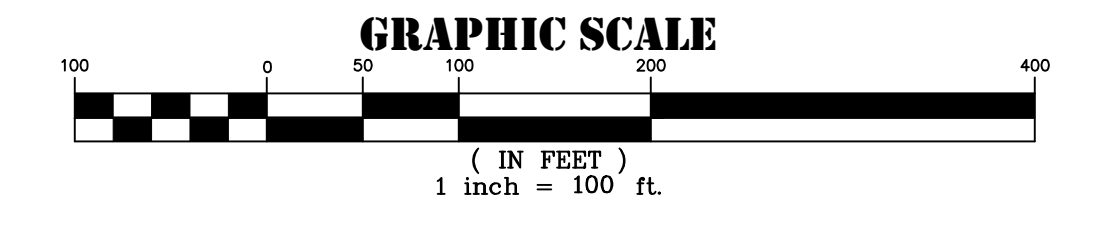


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SOILS LEGEND		
SYMBOL	NAME/DESCRIPTION	SOIL GROUP
21E	MANOR LOAM, 15 TO 50% SLOPE	B
18UC	LEGORE-URBAN LAND COMPLEX	B
21C	MANOR LOAM, 8 TO 15% SLOPE	B
22UC	MANOR-URBAN LAND COMPLEX	B
42E	UDORTHENTS	C
50A	HATBORO-CODORUS COMPLEX	B/D

DRAINAGE AREA						
POI	DRAINAGE AREA(AC)	IMPERVIOUS AREA (AC)	RCN	TC	Q10(CFS)	Q100(CFS)
1	33.77	8.212	70	0.121	87.87	213.66
2	0.40	0.110	71	0.10	1.15	2.73
3	0.23	0.089	75	0.10	0.76	1.69
4	1.88	0.083	63	0.10	3.70	10.45



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 4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS		
NO.	DESCRIPTION	DATE

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**EXISTING DRAINAGE AREA MAP**

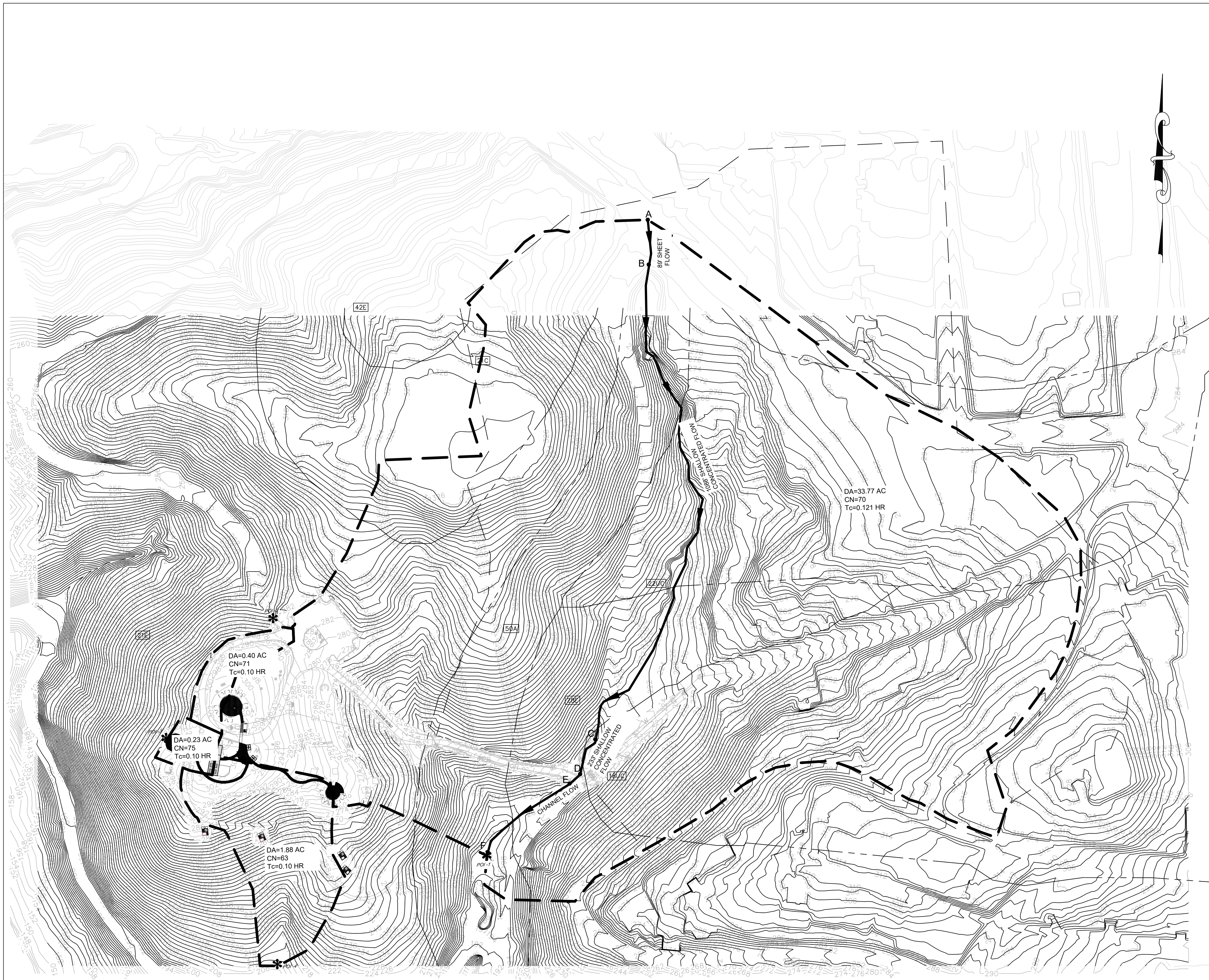
SCALE: AS NOTED      DATE: 02/13/2026

**BID SET**

DRAWN BY: BW  
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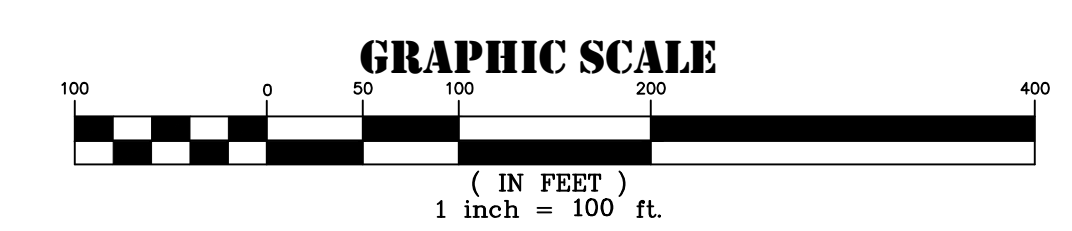
PROJECT NO. ON-CALL #1316  
 SHEET NO. **C-9**  
 SHEET: 11 OF 46  
 BCNR # 11054

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POI	DRAINAGE AREA(AC)	IMPERVIOUS AREA (AC)	RCN	TC	Q10(CFS)	Q100(CFS)
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2	0.40	0.111	71	0.10	1.15	2.73
3	0.23	0.090	75	0.10	0.76	1.69
4	1.88	0.120	63	0.10	3.70	10.45



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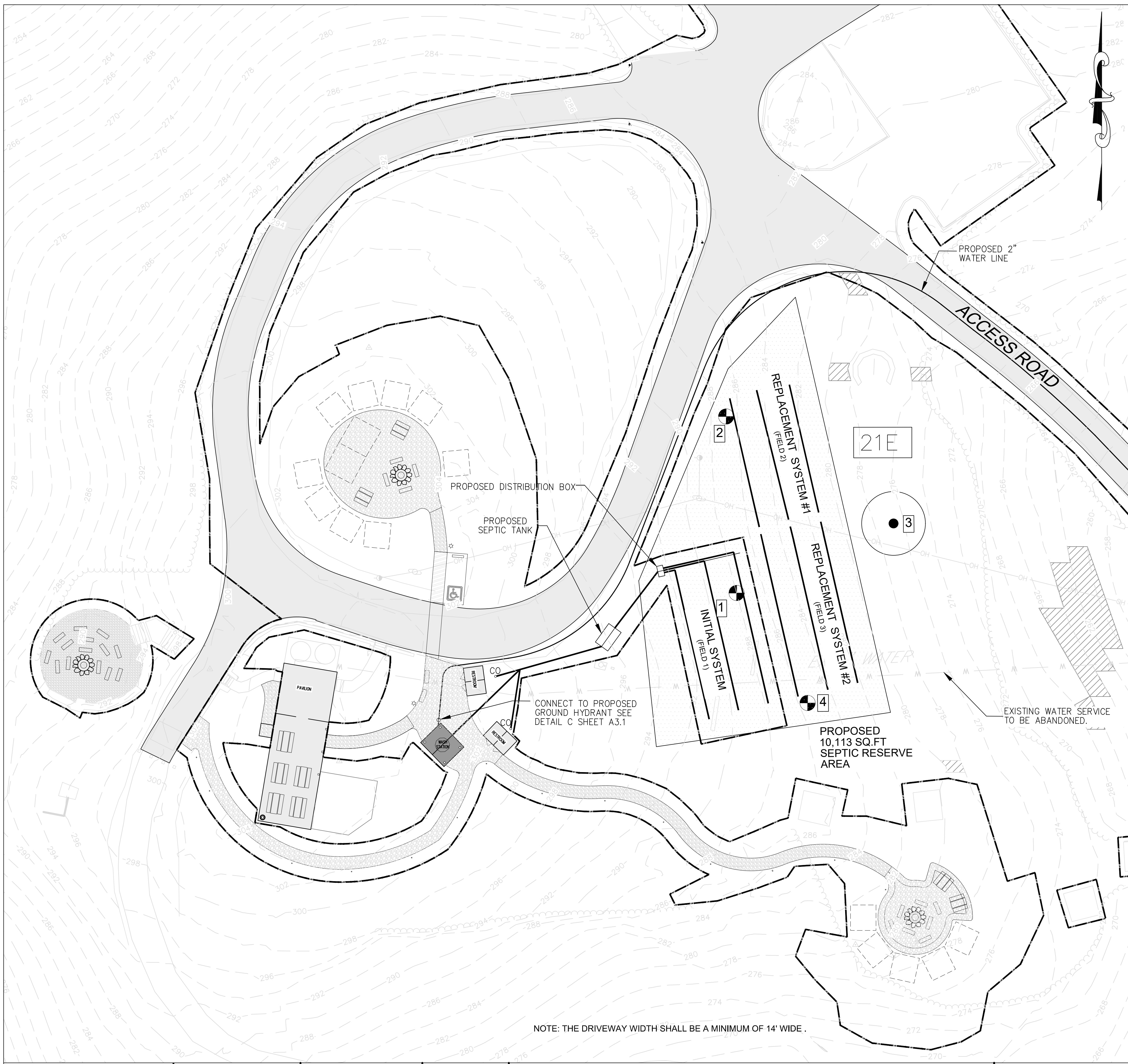


**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS		
NO.	DATE	DESCRIPTION

CITY OF BALTIMORE DEPARTMENT OF RECREATION AND PARKS 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948		DRAWN BY: BW TRACED BY: HP DESIGNED BY: BW CHECKED BY: RLS	
PROPOSED DRAINAGE AREA MAP		PROJECT NO. ON-CALL #1316	SHEET NO. <b>C-10</b>
SCALE: AS NOTED	DATE: 02/13/2026	SHEET: 12	OF 46
BCNR # 11054			

BID SET



1. SWIS TYPE: TRENCH W /GRAVITY DISTRIBUTION
- DESIGN FLOW: 600 GPD = (15 GPD/CAMPER/TOILET) x 40 CAMPERS
3. SOIL TYPE: 21E MANOR LOAM
4. HYDRAULIC LOADING RATES INFILTRATION: 1.2 GPD /SQ. FT. (FIELD 1 PERK TEST PT-1)  
1.2 GPD /SQ. FT. (FIELD 2 PERK TEST PT-2)  
1.2 GPD /SQ. FT. (FIELD 3 PERK TEST PT-4)  
BY COMAR 26.04.02.05.K(3)
- LINEAR LOADING RATE: EQUALS TOTAL WIDTH OF ABSORPTIVE SOIL X LOADING RATE  
3.6 GPD /LF = 1.2 X 3 (FIELD 1)  
3.6 GPD /LF = 1.2 X 3 (FIELD 2)  
3.6 GPD /LF = 1.2 X 3 (FIELD 3)
5. DRAIN FIELD TYPE: 3.0' WIDE TRENCHES, 4.0' DEEP  
4" I.D. GRAVITY LATERALS  
SINGLE ZONE, DEMAND GRAVITY  
W/3 60.0' LENGTH LATERALS (FIELD 1)  
SINGLE ZONE, DEMAND GRAVITY  
W/3 60.0' LENGTH LATERALS (FIELD 2) AND  
W/3 60.0' LENGTH LATERALS (FIELD 3)  
180.0'/3 (FIELD 1) 180.0'/3 (FIELD 2) 180.0'/3 (FIELD 3)  
180x3.6 GPD/LF = 648 GALLONS (SAME FOR ALL THREE FIELDS)  
TRENCH DEPTH: 4.0' (FIELD 1) 4.0' (FIELD 2) 4.0' (FIELD 3)  
WEIGHTED AVERAGE DEPTH BELOW -  
DISTRIBUTION PIPE: 2.0' (FIELD 1) 2.0' (FIELD 2) 2.0' (FIELD 3)  
NOMINAL TRENCH WIDTH: 3.0'  
TOTAL WIDTH OF ABSORPTIVE SOIL (FT): 3.0' (FIELD 1) 3.0' (FIELD 2) 3.0' (FIELD 3)  
SURFACE GROUND SLOPE: 15% MAX ALONG CONTOUR  
ORIENTATION: 9.0'/12.0' (FIELD 1) 9.0'/12.0' (FIELD 2) 9.0'/12.0' (FIELD 3)  
SIDEWALL-TO-SIDEWALL SPACING/  
CENTER TO CENTER SPACING
6. BOTTOM TRENCH: 4.0' ABOVE BOTTOM OR WATER TABLE

**PERC TEST RESULTS**

TEST NO.	SOIL TYPE	BOTTOM OF HOLE	PERCOLATION RATE	COMMENTS	DATE
1	21 E	11' > 50% Rock	1" in 4:47 Min. at 4'	Sandy Loam Starts at 42"	6/4/2024
2	21 E	12' Limit of Excavation	1" in 2:05 Min. at 4'	Sandy Loam Starts at 44"	6/4/2024
3	21 E	9' > 50% Rock	Failed Pre-Perk at 4'	Sandy Loam Starts at 46"	6/4/2024
4	21 E	8' > 50% Rock	1" in 2:05 min at 2'	Sandy Loam Starts at 18"	6/4/2024

**SOIL TYPE**

TYPE	MAP UNIT NAME
21E	MANOR LOAM, 15 TO 50 PERCENT SLOPES

**GENERAL NOTES:**

- CURRENT TITLE REFERENCE OWNER: MAYOR & CITY COUNCIL DEED REFERENCE: LIBER 99999, FOLIO 09999 DATE: GRANTOR:
- THE TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM THE SURVEY PERFORMED BY DANIEL CONSULTANTS, INC. IN JANUARY 2022 AND SUPPLEMENTED BY GIS.
- THE SUBJECT PROPERTY IS NEITHER HISTORIC NOR WITHIN A HISTORIC DISTRICT
- THERE ARE NO KNOWN UNDERGROUND FUEL STORAGE TANKS ON THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY IS NOT LOCATED IN THE CHESAPEAKE BAY CRITICAL AREA.
- THE SEPTIC RESERVE AREA IS MORE THAN 200' AWAY FROM THE 100 YEAR FLOOD PLAIN.
- THE SEPTIC RESERVE AREA IS MORE THAN 200' AWAY FROM THE PROPERTY LINE.
- THE ZONING DISTRICT OF THE SUBJECT PROPERTY IS OPEN-SPACE("OS").
- THIS SEPTIC RESERVE FIELD IS DESIGNED FOR 20 OVER NIGHT CAMPERS WITHOUT ANY BATHING FACILITY AND ONLY FOR TOILET USE.
- ASSUMING AVERAGE PER PERSON WATER USE TO BE 15 GALLONS PER DAY, (BASED ON MDE GUIDANCE FOR 15 GPD PER PERSON INCLUDING TOILET, THE AVERAGE DAILY LOAD IS 600 GALLONS.
- THERE ARE NO KNOWN WELLS, WELL AREAS, OSDS COMPONENTS (SEPTIC TANKS, SEEPAGE PITS, TRENCHES ETC.) WITHIN 200' OF PROPERTY LINE.
- THERE ARE NO KNOWN SEWAGE DISPOSAL AREAS, AND USTs WITHIN 200 FT. OF PROPERTY LINE.

**NOTE:**

A PERCOLATION TEST IS ONLY ONE OF THE CRITERIA USED IN CONSIDERING A LOT FOR INSTALLATION OF SEPTIC SYSTEM. ADDITIONAL TESTING CAN BE REQUIRED AND MAY BE SUBJECT TO SCHEDULING DURING THE WET WEATHER PERIOD. THE ENTIRE LOT IS EVALUATED WHEN APPLICATION FOR A SEPTIC PERMIT IS MADE. PERCOLATION TEST METHODOLOGY, ADJOINING WELLS AND SEPTIC SYSTEMS, HISTORY OF FAILING SEPTIC SYSTEMS AND WELLS, DESIGN, SOIL AND GEOLOGICAL CONDITIONS, AND TOPOGRAPHY IN THE IMMEDIATE AREA ARE THEN USED TO DETERMINE IF THE LOT IS SUITABLE FOR THE UNDERGROUND DISPOSAL OF SEWAGE.

**LEGEND**

- CONTOURS
- SUCCESSFUL SOIL TEST SITES
- SLOPE GREATER THAN 25% WITHIN THE 50 FT. RADIUS OF SEPTIC RESERVE AREA
- PROPOSED CRUSHED GRAVEL PATHWAY
- FULL DEPTH PAVEMENT REPLACEMENT
- FAILED SOIL TEST SITE

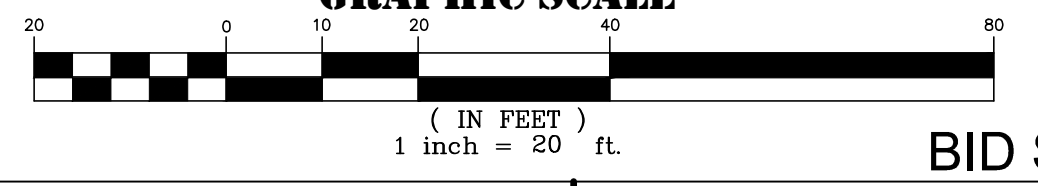
**OWNER:**

MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

**DEVELOPER /APPLICANT**

BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**GRAPHIC SCALE**



NOTE: THE DRIVEWAY WIDTH SHALL BE A MINIMUM OF 14' WIDE .

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BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DESCRIPTION	DATE

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

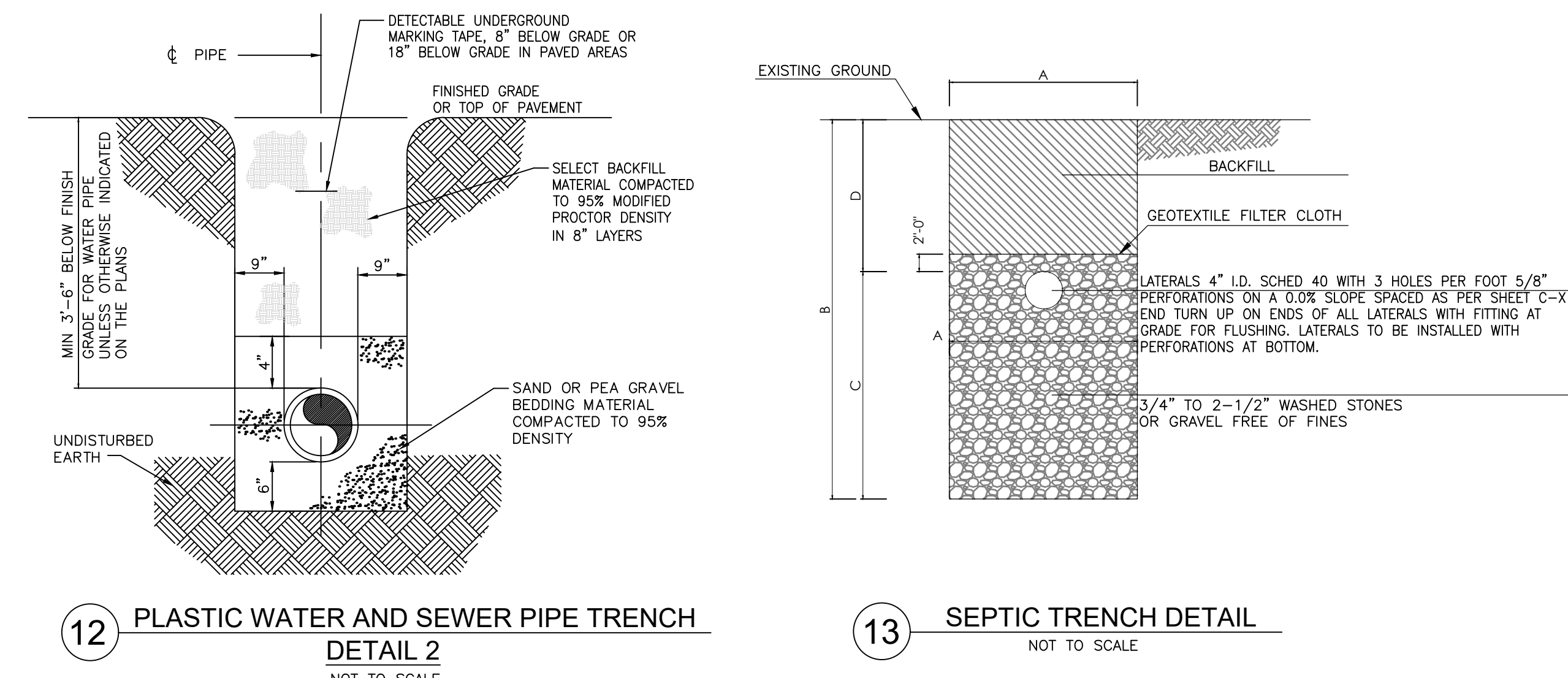
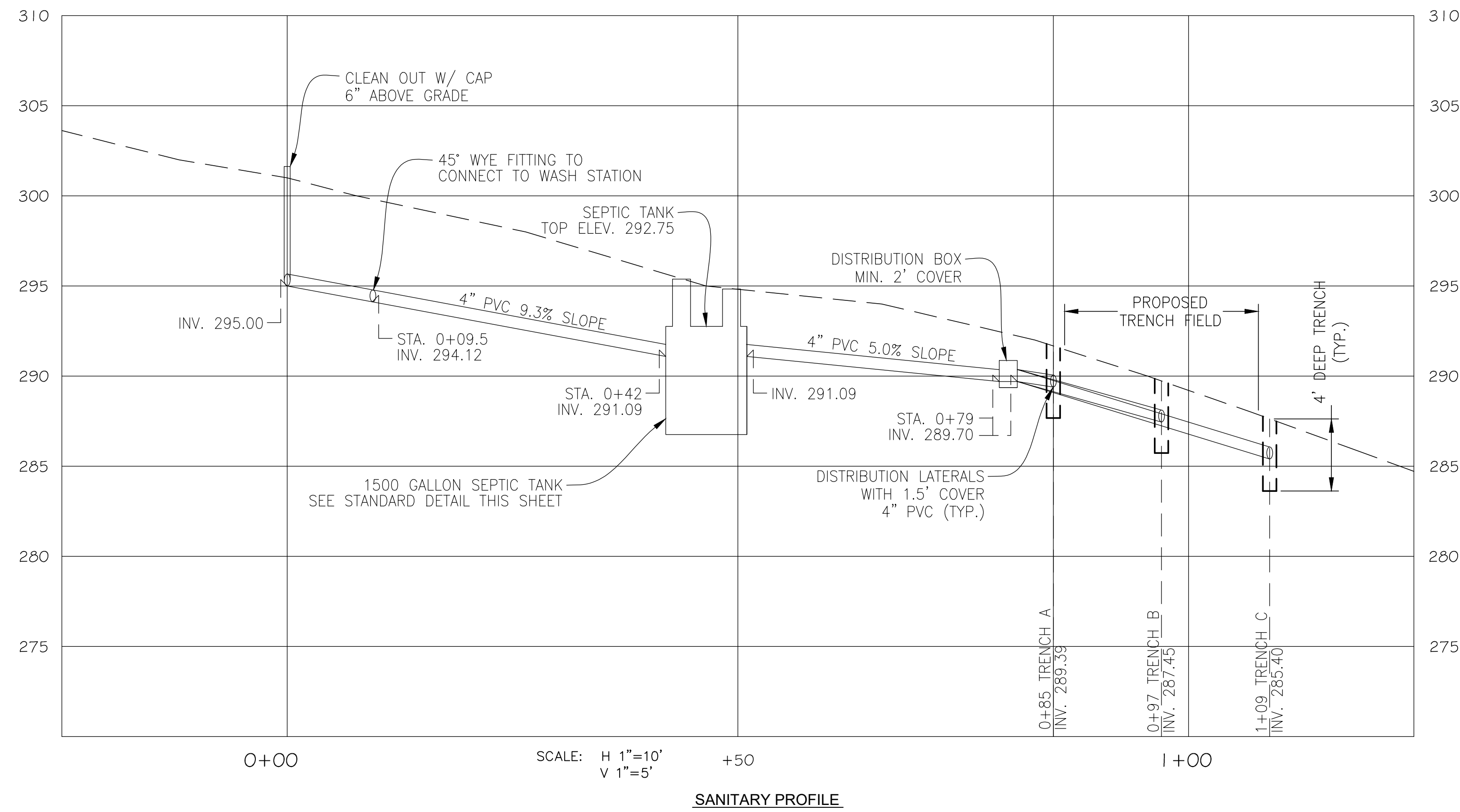
**ON-SITE SANITARY PLAN**

SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY: BW  
TRACED BY: HP  
DESIGNED BY: BW  
CHECKED BY: RLS

PROJECT NO. ON-CALL #1316 SHEET NO. C-11

SHEET: 13 OF 46  
BCNR # 11054



**PROPOSED FIELD 1**

FIELD	TRENCH	A	B	C	D
1	A	3	4	2.5	1.5
	B	3	4	2.5	1.5
	C	3	4	2.5	1.5

**FIELD 2**

FIELD	TRENCH	A	B	C	D
2	A	3	4	2.5	1.5
	B	3	4	2.5	1.5
	C	3	4	2.5	1.5

**FUTURE FIELDS**

**FIELD 3**

FIELD	TRENCH	A	B	C	D
2	A	3	4	2.5	1.5
	B	3	4	2.5	1.5
	C	3	4	2.5	1.5

**A. PRECAST GRAVITY CONCRETE SEPTIC TANK COMPONENTS**

ITEM NUMBER	ITEM DESCRIPTION	QUANTITY
1.	PRECAST CONCRETE 2 COMPARTMENT 1500 GALLON ONE PIECE MONOLITHIC SEPTIC TANK	1
2.	4" DIAMETER INLET STRUCTURE	1
3.	4" DIAMETER OUTLET STRUCTURE	1
4.	4" DIAMETER BAFFLES STRUCTURE	1
5.	PRECAST CONCRETE RISER, 24" INSIDE DIAMETER	2
6.	KAR-N-SEAL BOOTS	1
	INLET	1
	OUTLET	1
	BAFFLE	1
7.	STAINLESS STEEL 1/4" - 20 X 1" PAN HEAD DRILLED SPANNER TAMPER PROOF BOLTS	6

**B. PIPING AND VALVE COMPONENTS**

ITEM NUMBER	ITEM DESCRIPTION	QUANTITY
8.	4 - INCH DIAMETER SCHEDULE 40 PVC PIPE	LENGTH AS REQUIRED
9.	METALLIC PLASTIC MARKER TAPE	AS REQUIRED

**C. MISCELLANEOUS COMPONENTS**

ITEM NUMBER	ITEM DESCRIPTION	QUANTITY
10.	RUBBER BUTYL COMPRESSION SEAL	AS REQUIRED
	ITEM NO. 10 IS MANUFACTURED AND DISTRIBUTED BY: PRESS SEAL GASKET CORP., CONCRETE PRODUCTS SUPPLY CO., P.O. BOX 10482, FORT WAYNE, INDIANA 46852 1(800) 348-7325.	
11.	NON SHRINK GROUT	AS REQUIRED
	ITEM NO. 11 IS MANUFACTURED AND DISTRIBUTED BY NATIONAL PERMACRETE CO., INC., P.O. BOX 886, DEVON, PA 19333.	
12.	COAL TAR EPOXY	AS REQUIRED
	ITEM NO. 12 IS MANUFACTURED BY: TNEMEC CO., INC., AND DISTRIBUTED BY: C. DISTLER CO., INC., 302 W. GARY ST., RICHMOND, VA 23220 BALTIMORE METRO (301) 467-2435.	
13.	CAUTION LABEL FOR RISER COVER	1
	"CAUTION: HAZARDOUS ATMOSPHERE DO NOT ENTER" ALL TANKS	
	ITEM NO. 13 IS DISTRIBUTED BY: LAB SAFETY SUPPLY, INC., P.O. BOX 1368, JACKSONVILLE, WI 1(800) 356-2501.	

**SEPTIC TANK INSTALLATION NOTES**

- THE TANK SHALL BE LOCATED SO THAT THE FOLLOWING MINIMUM CONDITIONS ARE MET:
  - A. GRAVITY TANKS - FALL THROUGH THE TANK IS 3 INCHES. MINIMUM COVER SHALL BE 2' MAXIMUM 5' BELOW FINISH GRADE TO TOP OF PIPE.
- EXCAVATE FOR NEW SEPTIC TANK TO UNDISTURBED EARTH. PROVIDE DEWATERING SYSTEM SO THAT EXCAVATION REMAINS DRY.
- INSTALL 6" MINIMUM LEVELING BED OF ASSHTO #57 AGGREGATE.
- TANK SHALL BE INSTALLED LEVEL AND AT AN ELEVATION SUCH THAT THE RISER TOPS SHALL BE 4 TO 8 INCHES ABOVE SURROUNDING GRADE. A WORKING TOLERANCE OF 3/16 INCHES PER FOOT OUT OF LEVEL WILL BE ALLOWED.
- BACKFILL SHALL BE PLACED AROUND THE TANK IN ACCORDANCE WITH AASHTO TO PROVIDE UNIFORM SUPPORT. BACKFILL SHALL BE COMPACTED IN 8 INCH LIFTS TO 95 PERCENT COMPACTION.
- INSTALL BACKFILL TO THE INVERT OF THE INLET AND OUTLET PIPES.
- COMPLETE BACKFILL OPERATIONS AND FILL EXCAVATION TO GRADE. ADJUST SEPTIC TANK RISERS TO GRADE AS SHOWN ON THE DRAWINGS.
- THE FINISH GRADE ELEVATION IN THE VICINITY OF THE RISER AND TANK EXTENSION SHALL BE 4 TO 8 INCHES ABOVE SURROUNDING GRADE.
- THE PRECAST CONCRETE SEPTIC TANK SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND.
- THE PRECAST CONCRETE SEPTIC TANKS SHALL BE VACUUM TESTED FOR LEAKS FOLLOWING ASSEMBLY AND THE CONNECTIONS OF ALL PIPE AND CONDUITS. FOLLOWING THE PLUGGING OF ALL PIPES AND SEALING OF ALL OTHER ENTRANCES AS SPECIFIED, THE STRUCTURES SHALL BE TESTED BY DRAWING A VACUUM OF FOUR INCHES OF MERCURY. SUITABLE PLUGS AND EQUIPMENT MUST BE SUPPLIED BY THE CONTRACTOR FOR THE PURPOSES OF THE TEST. AN ACCEPTABLE TEST SHALL BE ONE IN WHICH THE VACUUM LOSS FOLLOWING EVACUATION IS ZERO OVER A FIVE MINUTE PERIOD.
- METALLIC DETECTION TAPE SHALL BE INSTALLED IN ALL PIPE TRENCHES AT A DEPTH OF 1 FOOT BELOW GRADE.

**MINIMUM TANK SIZE CALCULATION**

FUTURE TOILETS: 25 CAMPERS @ 15 GPD = 375 GPD  
 WASH BASIN: 25 CAMPERS @ 5 GPD = 125 GPD  
 TOTAL = 500 GPD  
 TANK SIZE = DAILY USE x 1.5 BY COMAR 26.04.02.05.F(2) = 750 (USE 1500 GAL. TANK SIZE)

**Current Sanitary Flow**

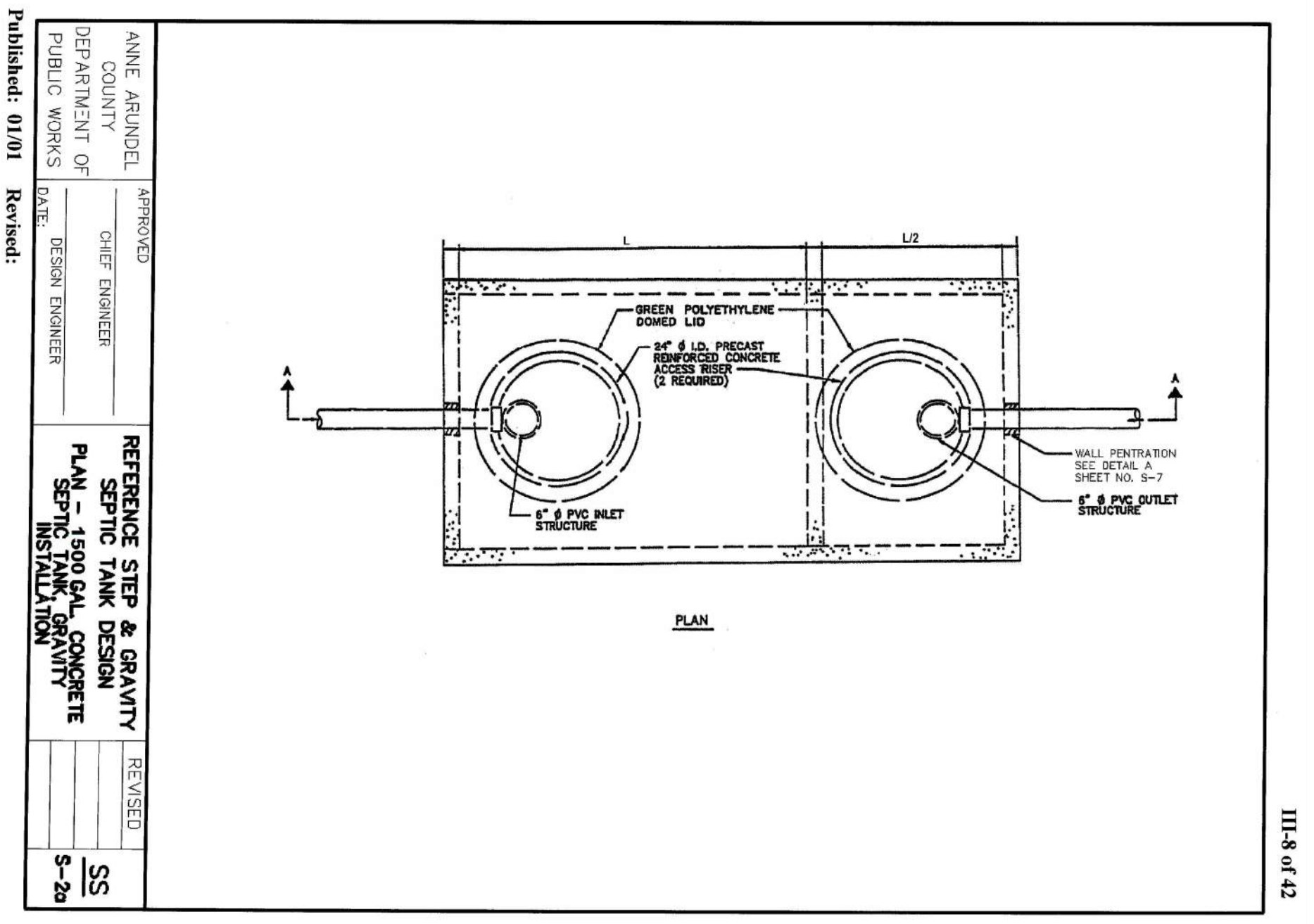
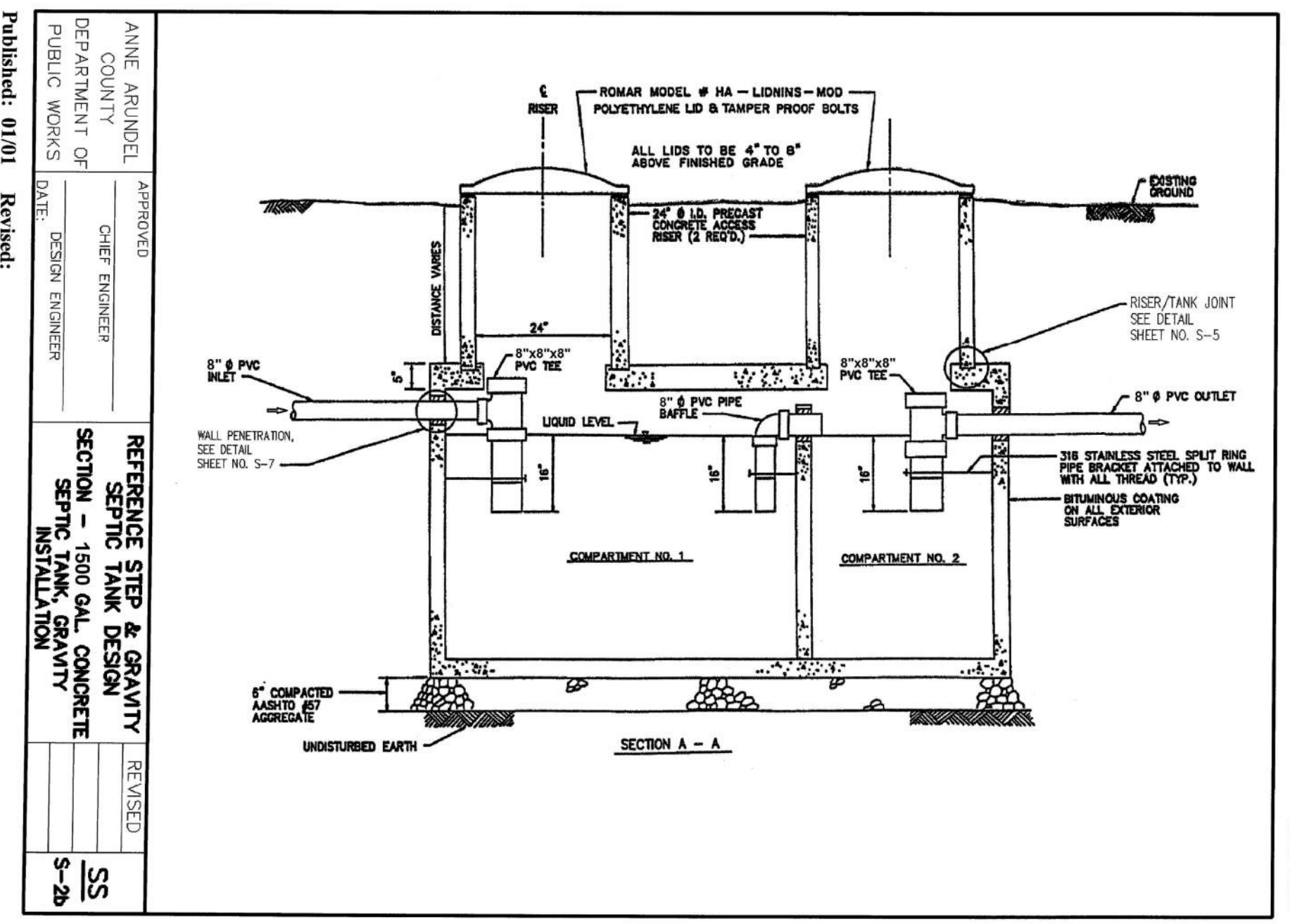
Building	No. of Campers	Rate (gpd)	Maximum Sanitary Flow (gpd)
Pavilion	25	20	500

Based on MDE guidelines for 15 gpd per person including toilet plus 5 gpd for wash basin.

**Trench Design**

Test Pit No.	Field No.	Depth (ft)	Bottom Width (ft)	Depth below distribution pipe (ft)x Trench Length (ft)	Weighted Avg depth below distrib. pipe (ft)	Total Width of Absorptive Soil (ft)	Perk Time (min)	Loading Rate (g/sf/day)	Daily Sewage Flow Rate (gpd)	Design Flow=1.0xFlow Rate (gpd)	Req. Length=(Design Flow)/(loading rate*width of absorptive soil) in ft	Length Provided (ft)	Trench Spacing=(2xUseable Vert. Depth) or 9 feet if Shallow in ft
PT-1	1	4.0	3.0	N/A	2.5	3.0	4.47	1.20	500	500	139	180	9.0
PT-2	2	4.0	3.0	N/A	2.5	3.0	2.05	1.20	500	500	139	180	9.0
PT-4	3	4.0	3.0	N/A	2.5	3.0	2.06	1.20	500	500	139	180	9.0

Trenches less than 5 feet deep must be 3' wide at the bottom and have no useable vertical depth.  
 Trenches at least 5 feet deep shall be 1.5' wide at the bottom and have a useable depth equal to the depth minus 1.5'.  
 Loading rate by comar 26.04.02.05.k(3), which is half the actual rate



**14 STEP & GRAVITY SEPTIC TANK DESIGN**  
NOT TO SCALE

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P. 410-234-8444  
WWW.RRMM.COM

**DANIEL CONSULTANTS, INC.**  
8950 Route 108 E., Suite  
229 Columbia, MD, 21045  
Phone: 410-995-0090

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License: 15222 Expires: 01/04/2027

**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DESCRIPTION

**CITY OF BALTIMORE**  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**SANITARY DETAILS**

SCALE: AS NOTED DATE: 02/13/2026

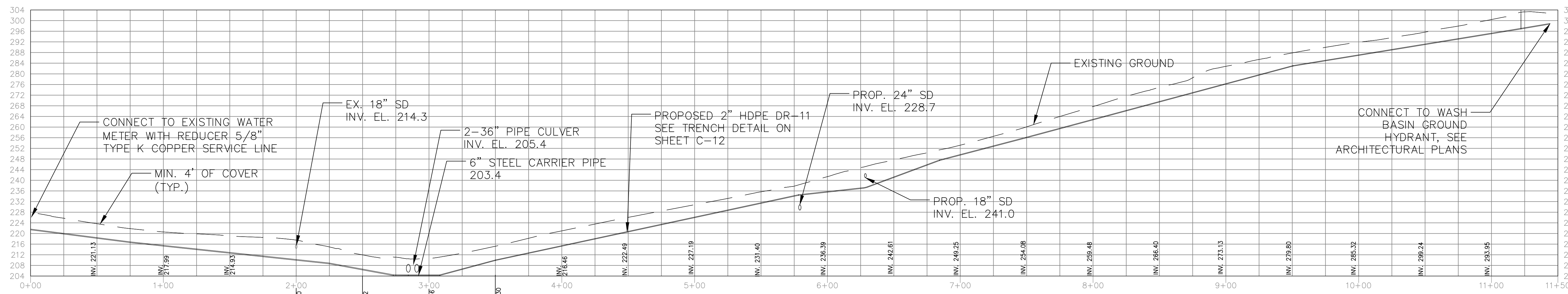
**BID SET**

DRAWN BY: BW  
 TRACED BY: HP  
 DESIGNED BY: BW  
 CHECKED BY: RLS

PROJECT NO. ON-CALL #1316 SHEET NO. C-12  
 SHEET: 14 OF 46  
 BCNR # 11054

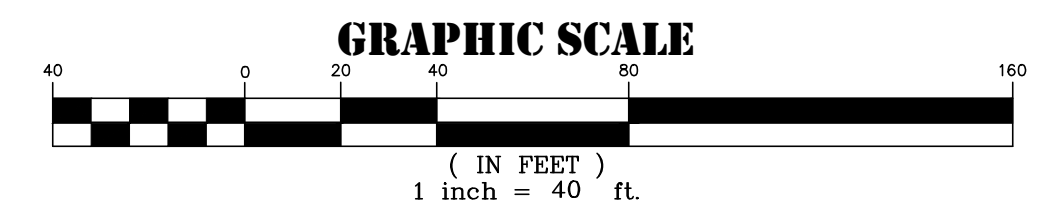
**BALTIMORE CITY UTILITY NOTES**

1. THE CONTRACTOR MUST NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST FIVE (5) DAYS PRIOR TO BEGINNING WORK.
2. NOTIFY WATER AND WASTEWATER MAINTENANCE DIVISION (410-396-7870) AT LEAST TWO (2) WEEKS PRIOR TO START-UP OF CONSTRUCTION ON WATER SERVICES. FOR SANITARY, CONDUIT AND STORM WATER SERVICES, CONTACT THE PERMIT INSPECTION SECTION 410-396-4840. THE CONTRACTOR MUST RECEIVE WRITTEN NOTICE TO PROCEED FROM THE WATER AND WASTEWATER MAINTENANCE DIVISION OR THE PERMIT INSPECTION SECTION PRIOR TO PERFORMING ANY WORK.
3. CONTRACTOR SHALL OBSERVE EXTREME CAUTION WHEN WORKING NEAR OR OVER EXISTING WATER FACILITIES.
4. SERVICES MUST BE CAPPED AND THE COMPLETED SERVICES WILL BE VISUALLY INSPECTED FOR LEAKS.
5. ALL ABANDONED METER PITS SHALL BE BACKFILLED AND COVERED DURING ABANDONMENT; METER COVERS SHOULD BE RETURNED TO METER SHOP.
6. THE DEVELOPER (BALTIMORE CITY RECREATION AND PARKS) MUST VERIFY, THROUGH THE UTILITY BILLING SECTION (410-396-5533) THE SERVICE ACCOUNT AND METER NUMBERS FOR ALL EXISTING WATER SERVICES TO REMAIN OR BE ABANDONED AND SHOWN ON THE PROPOSED PLANS.
7. CONTRACTOR SHALL NOTIFY BG&E (410-281-3507) AT LEAST TWO (2) DAYS PRIOR TO CONSTRUCTION.
8. THE PROPOSED WATER SERVICE CONNECTION WILL BE INSTALLED A MINIMUM OF TEN (10) FEET FROM SANITARY SEWER HOUSE CONNECTION.
9. CONTRACTOR SHALL CONFIRM INVERT ELEVATIONS OF EXISTING WATER MAINS AND ALL UTILITY CROSSINGS PRIOR TO ANY NEW CONSTRUCTION. ANY DEVIATION NOTED FROM TEST PIT INFORMATION WILL REQUIRE RED LINE REVISED PLANS APPROVED BY THE UTILITY ENGINEERING SECTION PRIOR TO ANY NEW CONSTRUCTION.
10. THE CONTRACTOR SHALL GIVE WRITTEN NOTICES, AS APPROVED BY THE RESIDENT ENGINEER, TO ALL CONSUMERS AFFECTED BY A SHUTDOWN OF THEIR WATER SERVICE(S). A MINIMUM OF THREE (3) DAYS NOTICE PRIOR TO THE ACTUAL WORK IS REQUIRED. WATER SERVICES FOUR (4) INCHES AND LARGER MAY NEED TO BE SCHEDULED AT NIGHT OR DURING WEEKENDS UNLESS THE AFFECTED CONSUMERS AGREE TO THE SCHEDULE AS PROPOSED BY THE CONTRACTOR.
11. ALL TOPS OF VALVES, MANHOLES AND INLETS LOCATED WITHIN THE ROAD METAL SHALL BE BUILT TO EXISTING ROAD GRADE.
12. THE CONTRACTOR WILL USE EXTREME CAUTION DURING EXCAVATION AND/OR INSTALLATION OF ALL THE WORK SHOWN ON THESE PLANS. ALL UTILITIES WILL BE FULLY PROTECTED FROM DAMAGE OR INTERRUPTION. IF ANY UTILITY DAMAGE OR INTERRUPTION OCCURS, THE UTILITY SHALL BE IMMEDIATELY RESTORED TO ORIGINAL CONDITIONS BY THE CONTRACTOR. THE COST OF THE RESTORATION SHALL BE INCLUDED IN THE ORIGINAL CONTRACT AS PART OF THE BID PRICE.
13. MAIN TO HAVE 4' COVER BASED ON ESTABLISHED GRADE UNLESS OTHERWISE NOTED.
14. CONTRACTOR WILL DISCHARGE ALL CHLORINATED FLUSH WATER INTO THE NEAREST EXISTING SANITARY SEWER MANHOLE. THE MAXIMUM DISCHARGE RATE WILL BE 80 GPM (COST TO BE INCLUDED IN THE PRICE OF ITEMS BID).PS



**WATER LINE PROFILE**

SCALE: H 1"=40'  
V 1"=4'



**OWNER:**  
MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

**DEVELOPER /APPLICANT**  
BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**BID SET**

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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

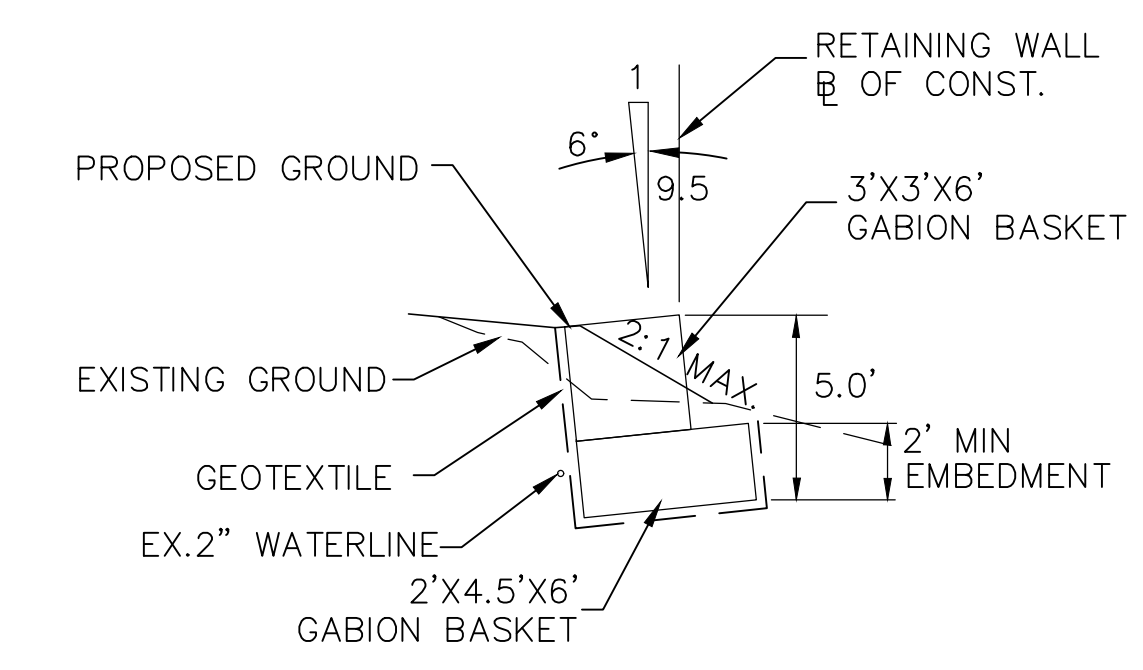
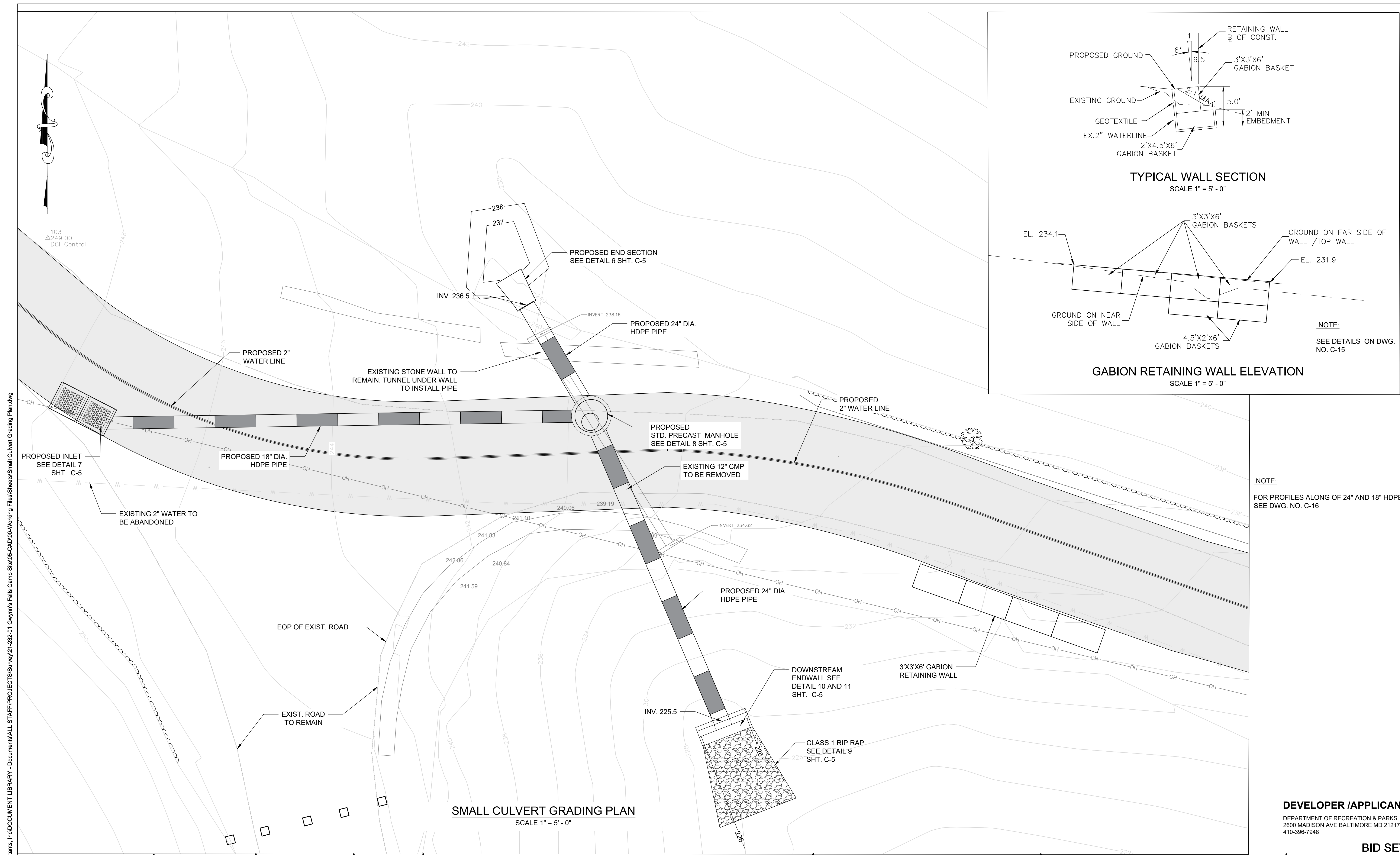
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DEPARTMENT OF RECREATION AND PARKS  
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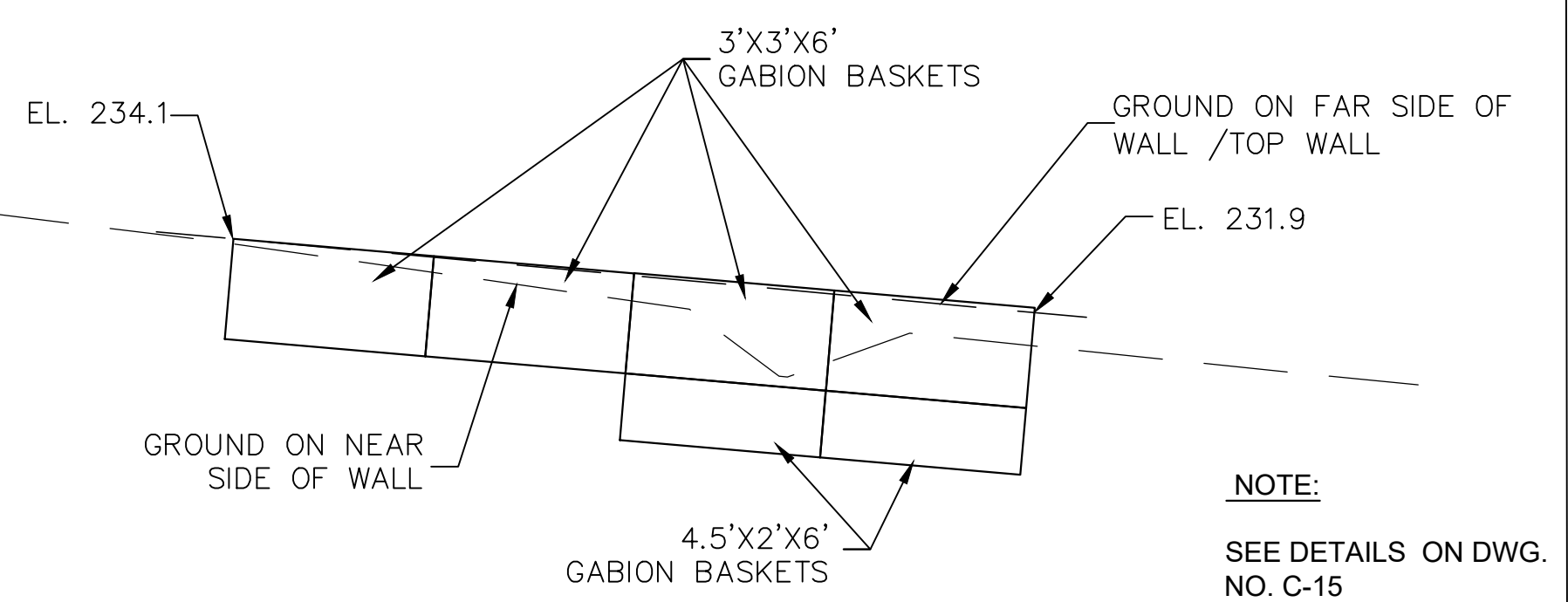
**WATER PROFILE**

SCALE: AS NOTED      DATE: 02/13/2026

DRAWN BY: BW	PROJECT NO. ON-CALL #1316	SHEET NO. <b>C-13</b>
TRACED BY: HP		
DESIGNED BY: BW	SHEET: 15 OF 46	
CHECKED BY: RLS	BCNR # 11054	



**TYPICAL WALL SECTION**  
SCALE 1" = 5' - 0"



**GABION RETAINING WALL ELEVATION**  
SCALE 1" = 5' - 0"

**NOTE:**  
SEE DETAILS ON DWG. NO. C-15

**NOTE:**  
FOR PROFILES ALONG OF 24" AND 18" HDPE SEE DWG. NO. C-16

**SMALL CULVERT GRADING PLAN**  
SCALE 1" = 5' - 0"

**DEVELOPER / APPLICANT**  
DEPARTMENT OF RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

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BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS		

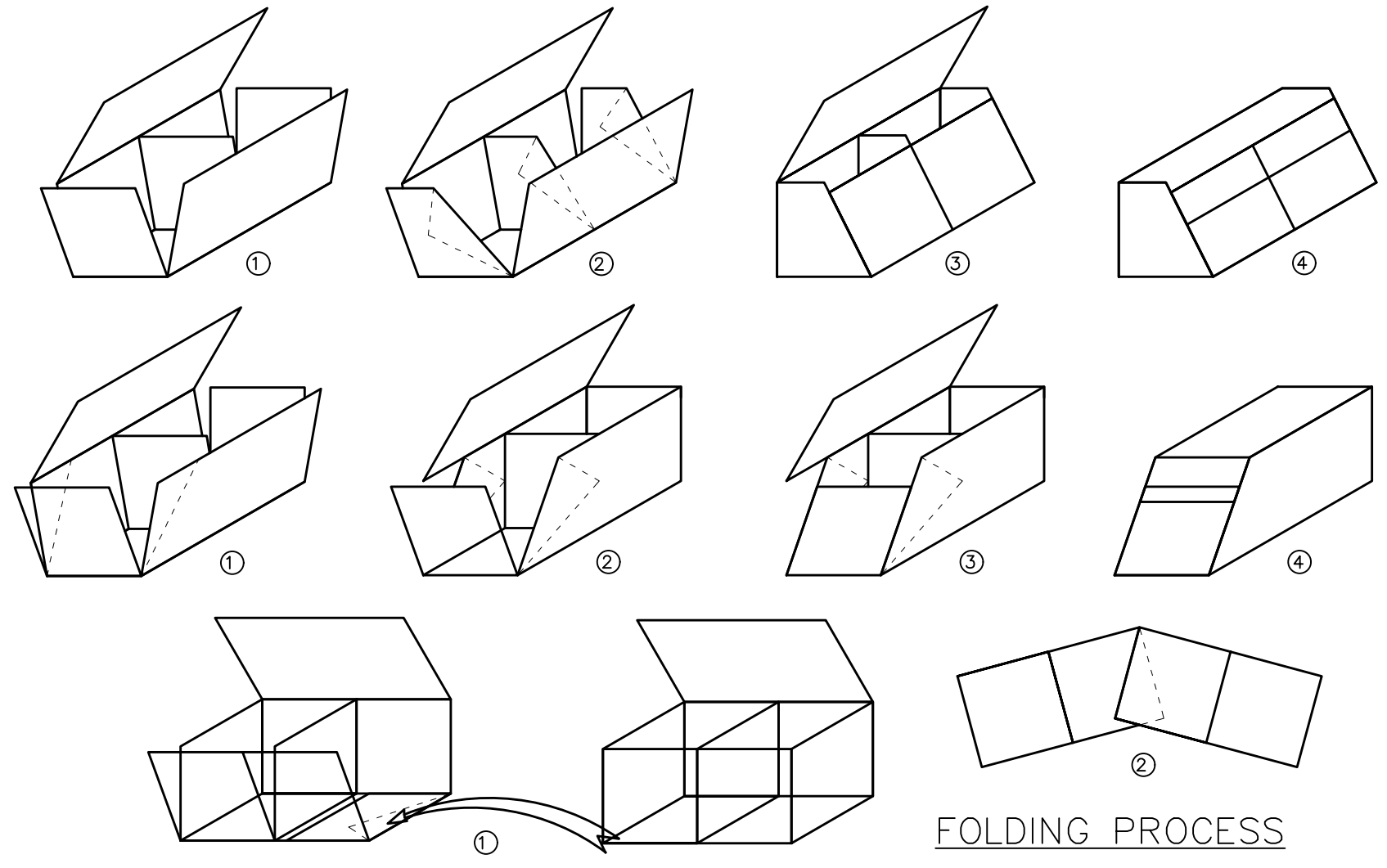
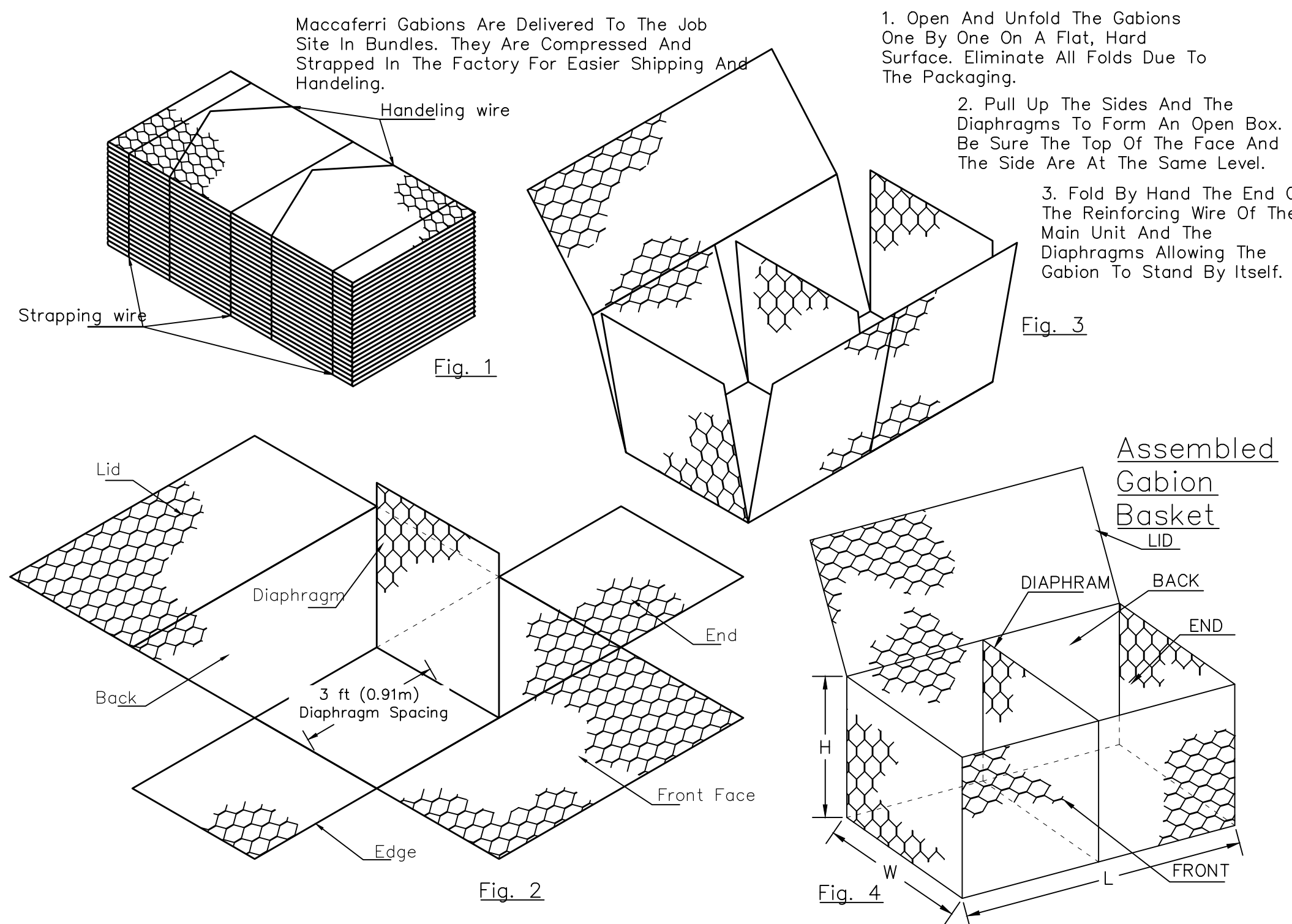
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**DEPARTMENT OF RECREATION AND PARKS**  
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**SMALL CULVERT AND RETAINING WALL GRADING PLAN**

SCALE: AS NOTED      DATE: 02/13/2026

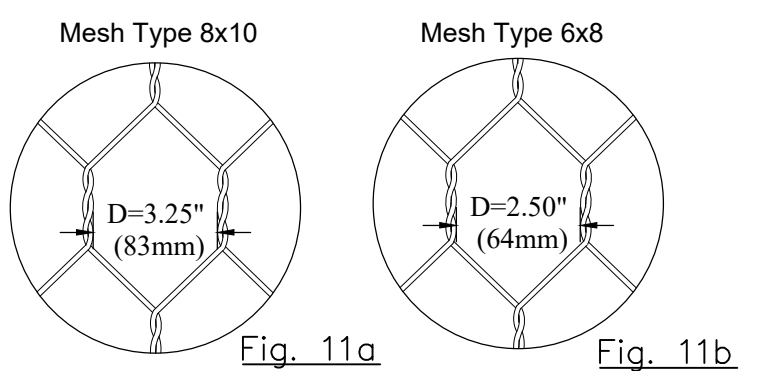
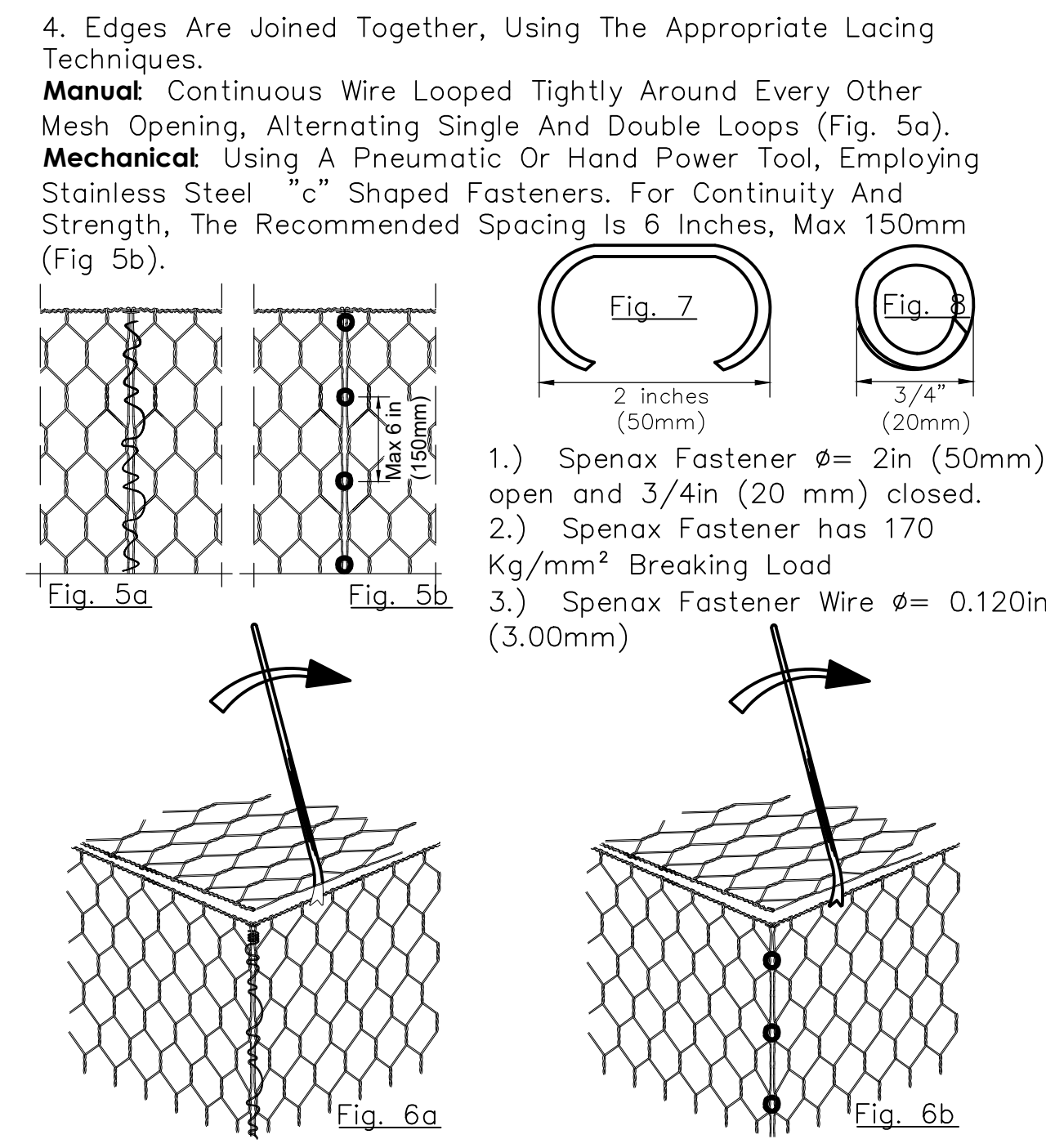
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<b>TRACED BY</b>	HP
<b>DESIGNED BY</b>	BW
<b>CHECKED BY</b>	RLS
<b>PROJECT NO.</b>	ON-CALL #1316
<b>SHEET NO.</b>	C-14
<b>SHEET:</b>	16 OF 46
BCNR # 11054	

**UNPACKING & ASSEMBLY PROCESS**



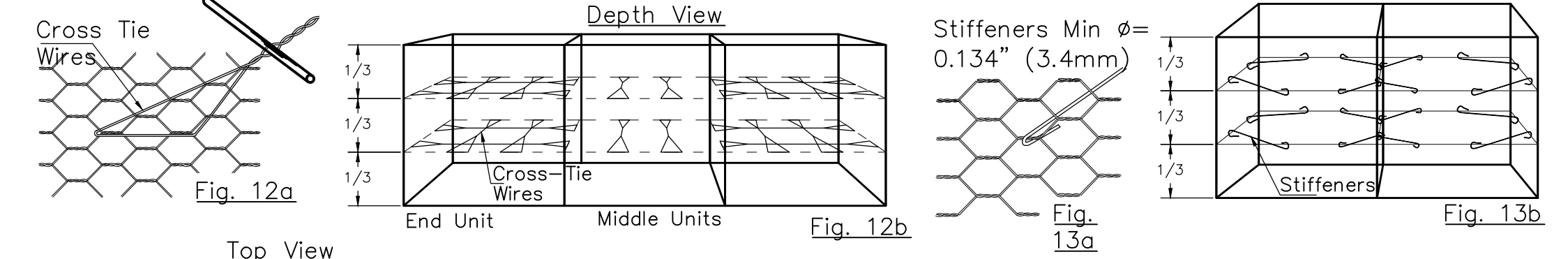
**FOLDING PROCESS**

**CLOSING PROCESS**

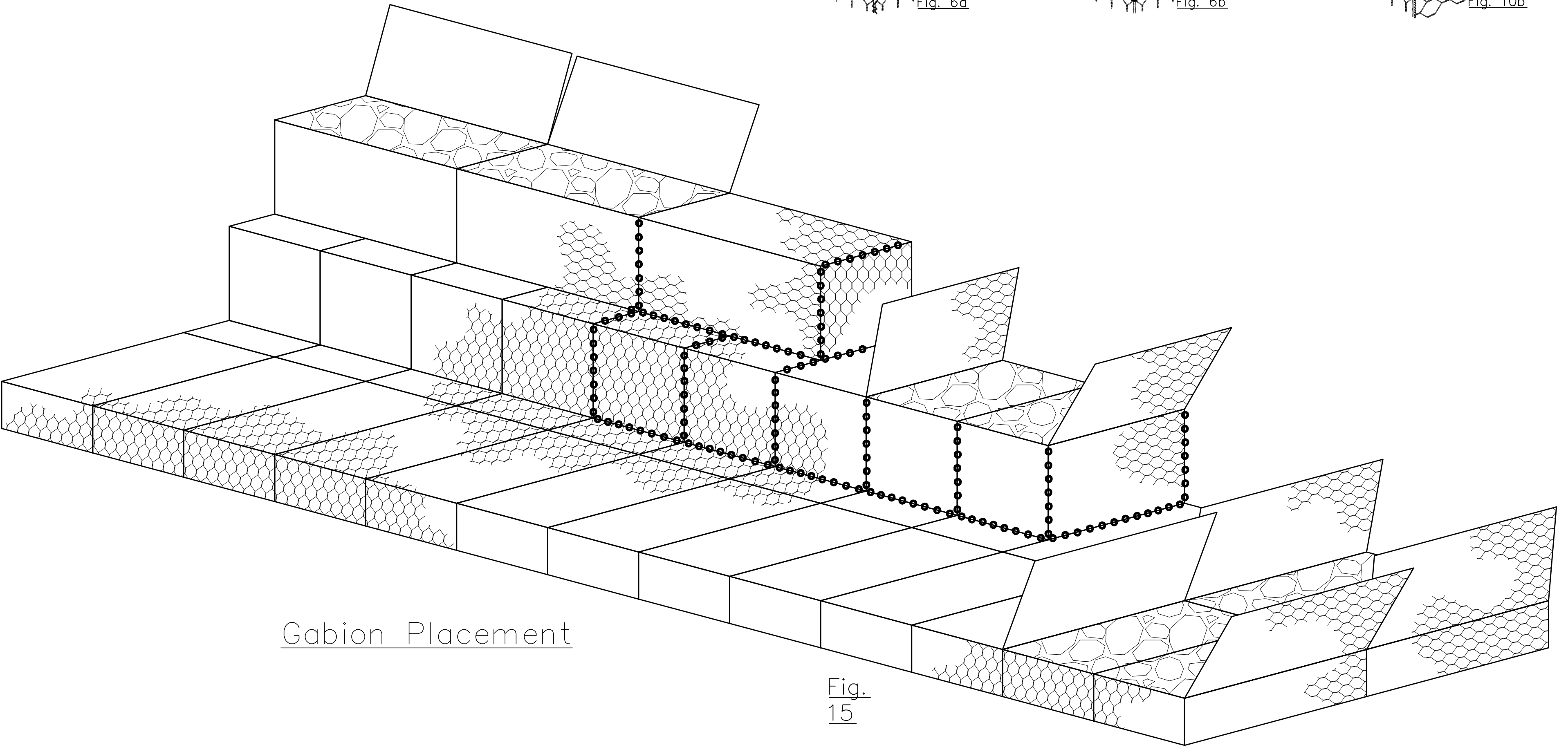
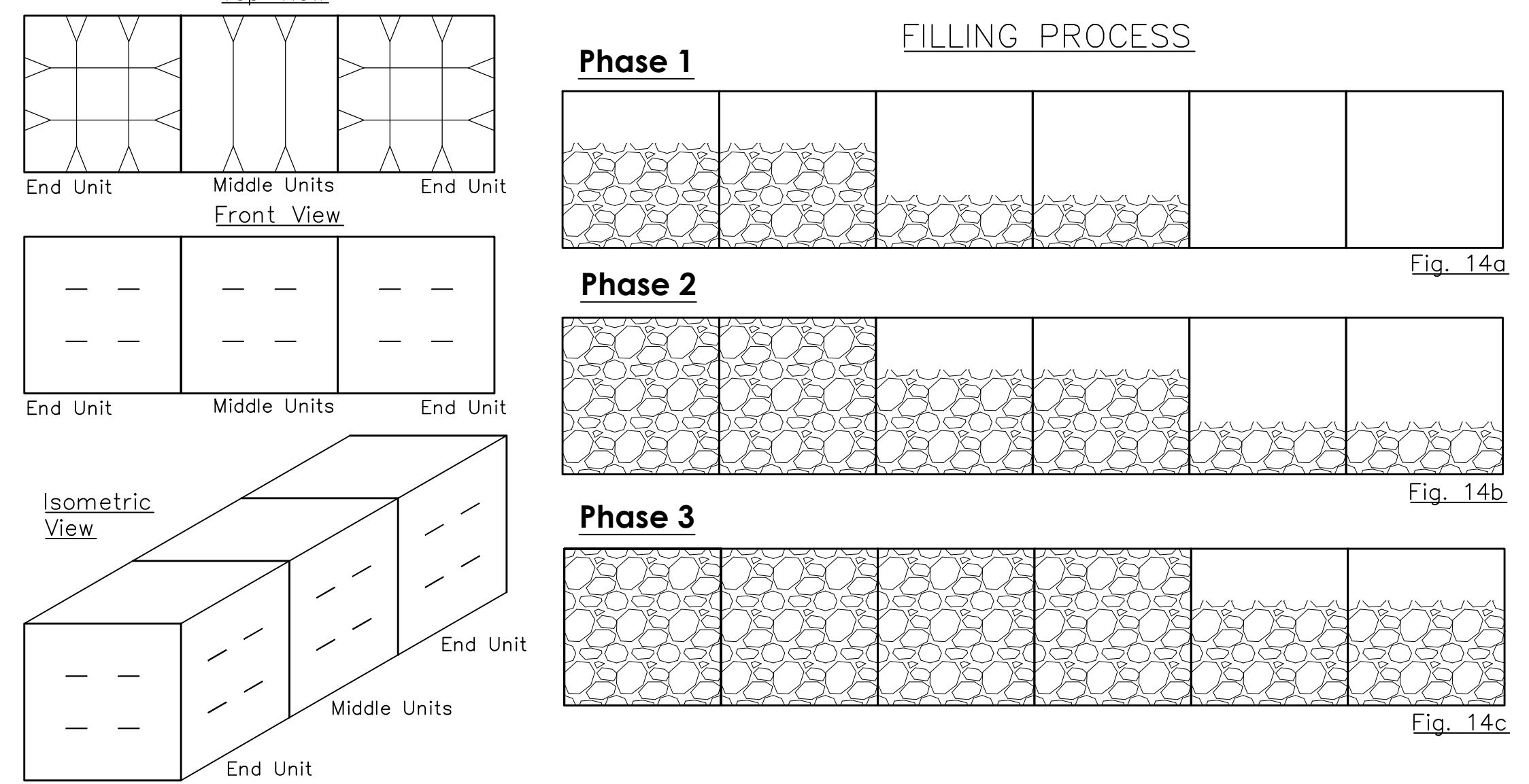


The Tolerance Of The Mesh Opening "D", (The Distance Between The Axis's Of Two Parallel Twists) Is According To Astm A975-97 Lid Closer

**REINFORCING DETAIL**



**FILLING PROCESS**



**Gabion Placement**

**Fig. 15**

**OWNER:**  
MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

**DEVELOPER /APPLICANT**  
BALTIMORE CITY RECREATION & PARKS  
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NO.	REVISIONS

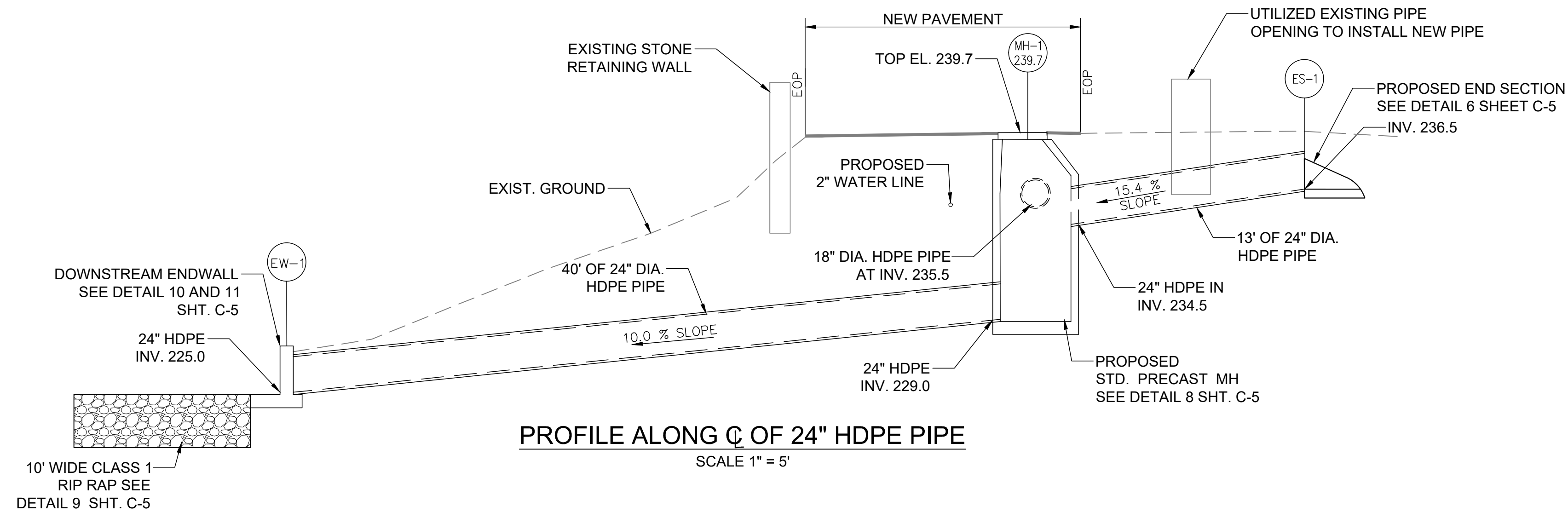
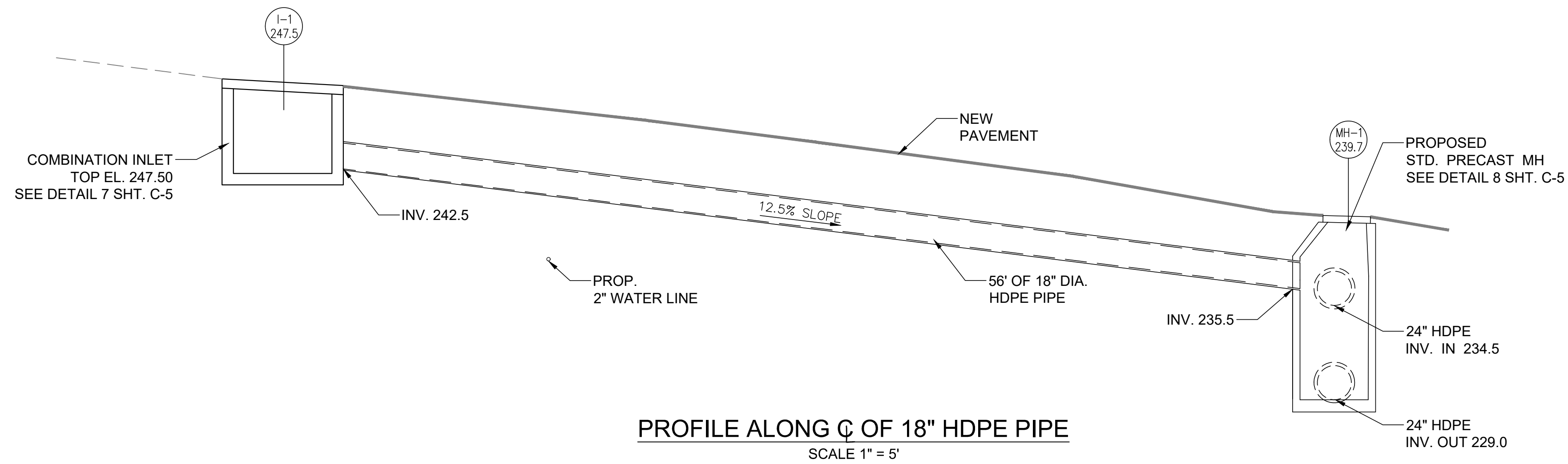
CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
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**GABION WALL DETAILS**

SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY: BW	PROJECT NO. ON-CALL #131G	SHEET NO. C-15
TRACED BY: HP		
DESIGNED BY: BW		
CHECKED BY: RLS		
SHEET: 17 OF 46		BCNR # 11054

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STRUCTURE TABLE				
STRUCTURE NAME	TYPE OF STRUCTURE	RIM ELEVATION	INVERTS	MAINTENANCE
ES-1	BC STD 370.02-METAL END SECTION		INV OUT = 236.5(24")	PRIVATE
MH-1	BC STD 384.01-PRECAST MANHOLE	239.7	INV IN = 235.5(18") INV IN = 234.5(24") INV OUT = 229.0(24")	PRIVATE
EW-1	BC STD 354.02 TYPE C ENDWALL		INV IN = 225.0(24")	PRIVATE
I-1	BC STD 380.51-TYPE S COMBINATION INLET	247.5	INV OUT = 242.5(18")	PRIVATE

PIPE SCHEDULE							
FROM	TO	FROM INV.	TO INV.	LENGTH (FT.)	SLOPE (%)	SIZE & MATERIAL	MAINTENANCE
ES-1	MH-1	236.5	234.5	13.0	15.4%	24" HDPE Pipe	PRIVATE
MH-1	EW-1	229.0	225.0	40.0	10.0%	24" HDPE Pipe	PRIVATE
I-1	MH-1	242.5	235.5	56.0	12.5%	18" HDPE Pipe	PRIVATE

**DEVELOPER /APPLICANT**

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410-396-7948

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BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**CULVERT POFILE**

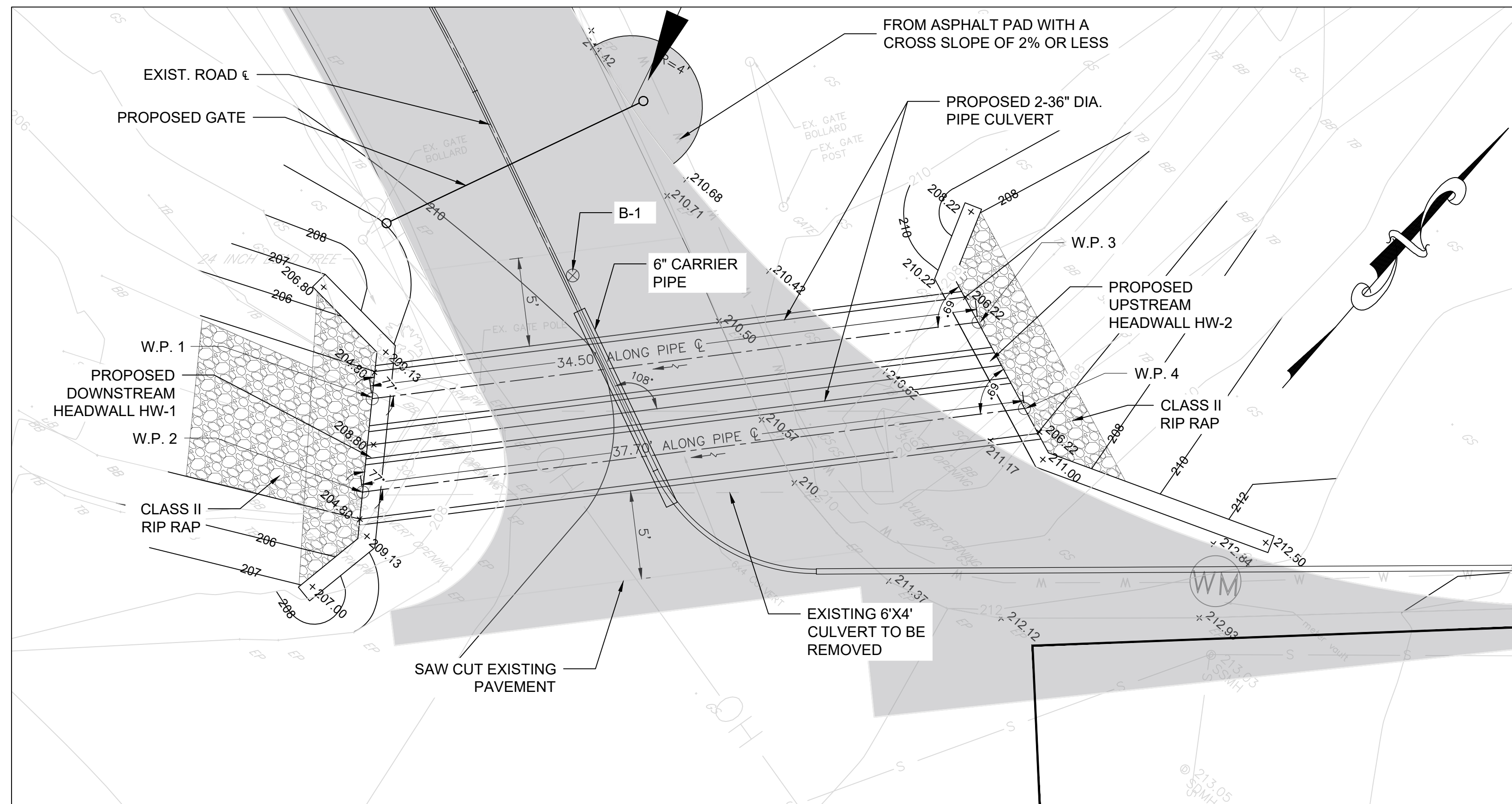
SCALE: AS NOTED

DATE: 02/13/2026

DRAWN BY: BW  
TRACED BY: HP  
DESIGNED BY: BW  
CHECKED BY: RLS

PROJECT NO. ON-CALL #1316  
SHEET NO. C-16

SHEET: 18 OF 46  
BCNR # 11054



**CULVERT PLAN**  
SCALE 1" = 5'

**GENERAL NOTES**

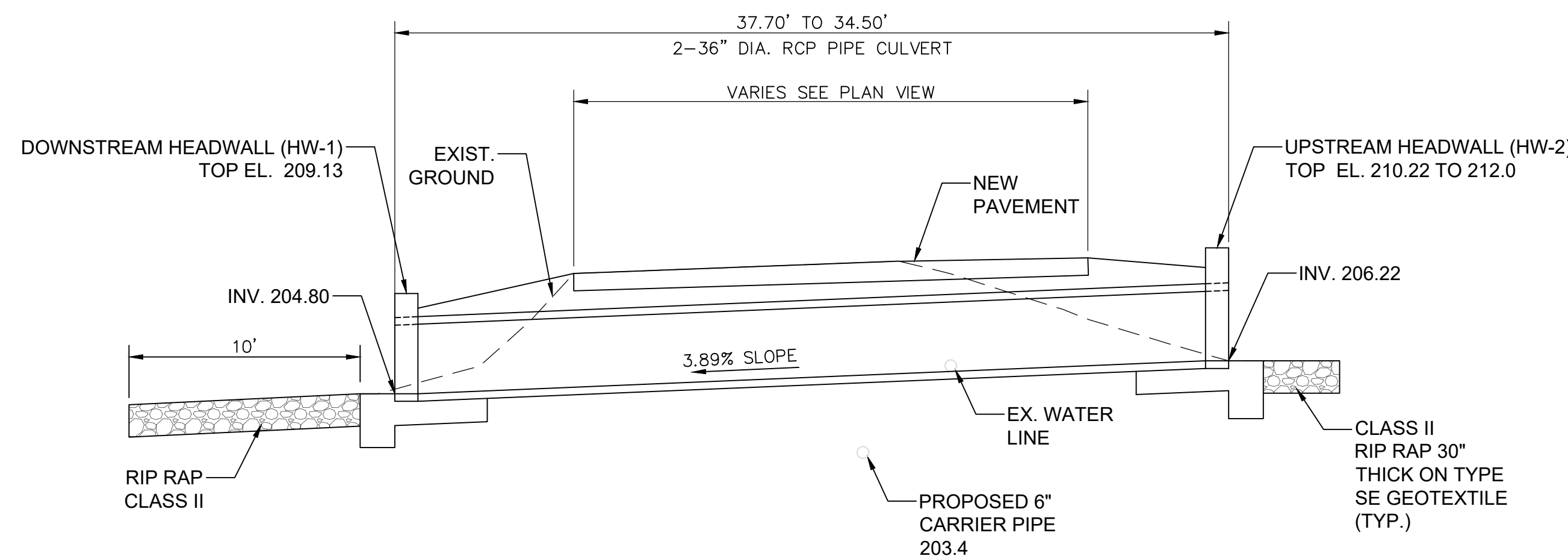
- DESIGN: AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 8TH EDITION, DATED 2017 FOR DESIGN, INCLUDING ALL ERRATA THRU 2018.
- LOADING: HL-93 WITH PROVISIONS FOR 2' LIVE LOAD SURCHARGE.
- LOAD RESTRICTION: THERE ARE RESTRICTIONS FOR PLACING EQUIPMENT AND MATERIALS ON EXISTING AND NEW STRUCTURE(S). REFER TO SECTION TC 6.14.
- PIPE: PIPE SHALL BE CONCRETE CONFORMING TO CLASS V PIPE WITHIN ROADWAY LIMITS AND SHALL BE HDPE OUTSIDE ROADWAY LIMITS. ALL PIPE JOINTS SHALL HAVE GASKETS TO PROVIDE WATER-TIGHT CONNECTIONS.
- CONCRETE: ALL CONCRETE SHALL BE MIX NO. 3 (3500 PSI).
- REINFORCING STEEL: REINFORCING STEEL SHALL CONFORM TO ASTM A 615 WITH A YIELD STRENGTH FOR DESIGN OF FY = 60000 PSI.
- ALL SPLICES, NOT SHOWN, SHALL BE LAPPED AS PER BAR LAP CHARTS.
- MINIMUM CLEAR COVER FOR ANY BAR SHALL BE 2" UNLESS OTHERWISE NOTED, WITH THE EXCEPTION OF BARS AT BOTTOM AND SIDES OF ALL FOOTINGS WHICH SHALL HAVE 3" MINIMUM CLEAR COVER, UNLESS OTHERWISE NOTED.
- FOR TIES AND STIRRUPS: STANDARD ACI BENDING TOLERANCES ARE MODIFIED TO PLUS (+) ZERO INCHES, MINUS (-) NORMAL ACI BENDING TOLERANCES.
- KEY: ALL KEYS ARE NOMINAL SIZE.
- CULVERT/ PIPE COVER: NO CONSTRUCTION EQUIPMENT SHALL BE PERMITTED TO PASS OVER THE CULVERT/PIPE UNTIL A MINIMUM OF 1 FT OF COMPACTED FILL HAS BEEN PLACED OVER THE CULVERT.

**WORKING POINTS DATA**

W.P.	NORTHING	EASTING
W.P. 1	4079.8870	-19580.8827
W.P. 2	4075.5490	-19577.8452
W.P. 3	4103.5375	-19552.6448
W.P. 4	4105.5112	-19557.8111

**GENERAL NOTES**

- FOR DETAILS OF DOWNSTREAM HEADWALL (HW-1) SEE DWG. NO. C-18
- FOR DETAILS OF UPSTREAM HEADWALL (HW-2) SEE DWG. NO. C-18



**PROFILE ALONG C OF DOUBLE 36" DIA. PIPE CULVERT**  
SCALE 1" = 5'

DEPTH (FT)	ELEV.	SYMBOL	BLOWS/2'	OBSERVATION & DESCRIPTION	ASTM	STRATUM	MOISTURE CONTENT (%)
-1							
0				0' 6" topsoil		O	
1				Tan silt with some pea gravel & flakes of mica	ML-GW	A & B	
2							
3							
4							
5							
6				6" Moist Silt, pea gravel & mica	ML-GW	C	
7							
8				8" Very moist Silt, pea gravel & mica	ML-GW	C	
9							
10				10" Boring terminated at 10.0'			
11							
12							

GROUND WATER DEPTH During Drilling 7 ft. AFTER 24 HRS Caved In

NOTE: Caved in Depth was measured as 4 ft.

**DEVELOPER / APPLICANT**

BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**BID SET**

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
WWW.RRMM.COM



**PROFESSIONAL CERTIFICATION**  
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.  
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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**CULVERT GENERAL PLAN AND ELEVATION**

SCALE: AS NOTED DATE: 02/13/2026

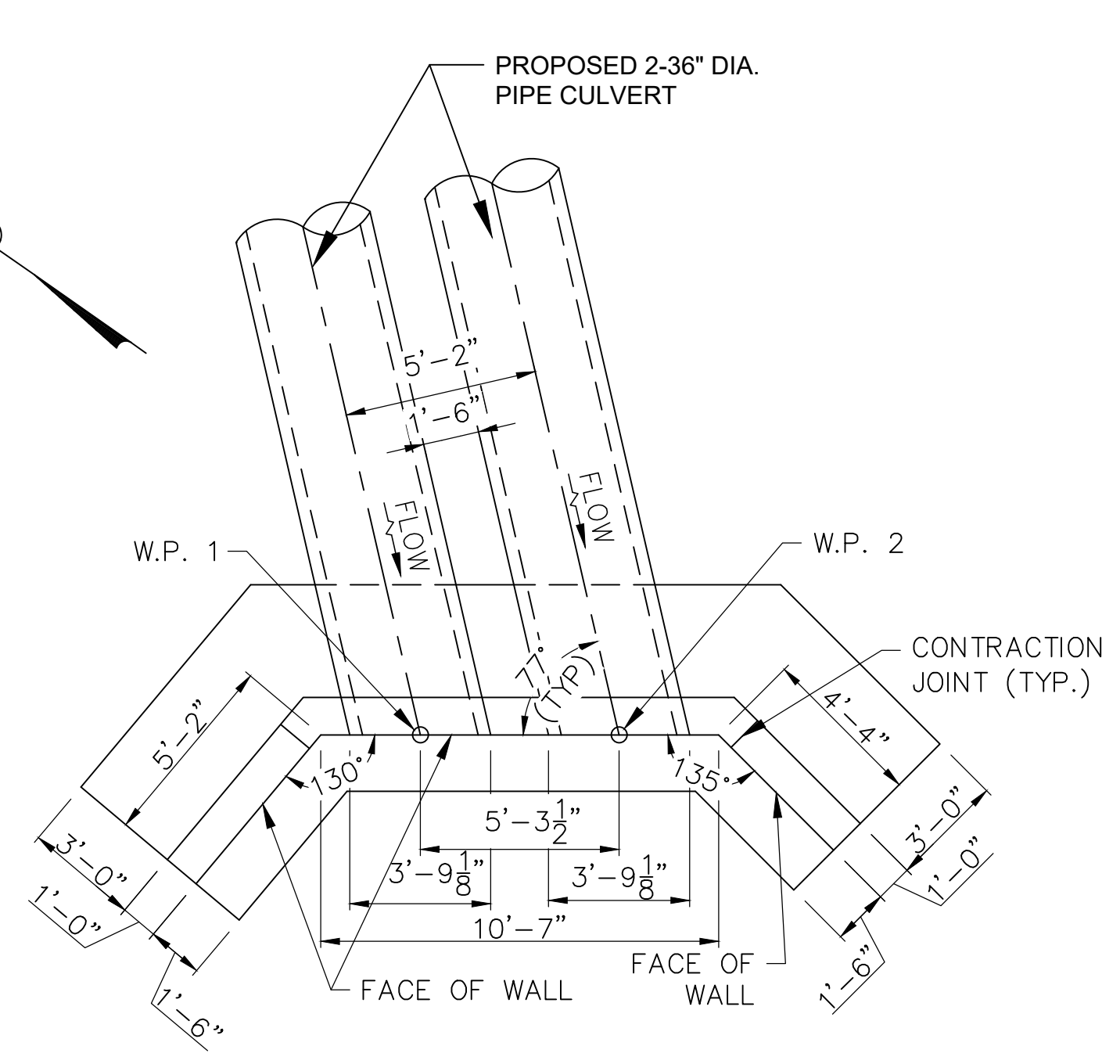
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TRACED BY: HP  
DESIGNED BY: BW  
CHECKED BY: RLS

PROJECT NO. ON-CALL #1316  
SHEET NO. C-17

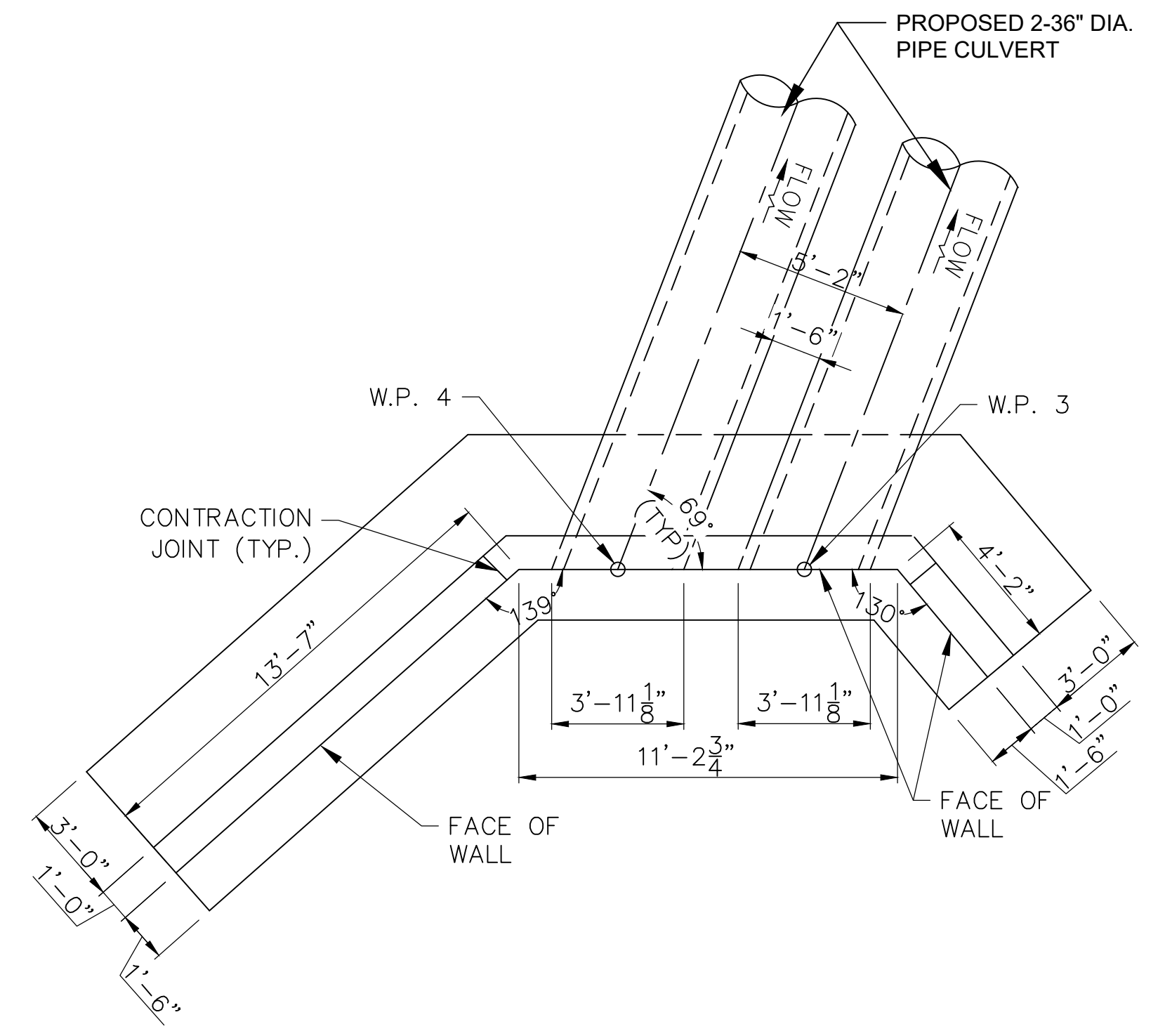
SHEET: 19 OF 46  
BCNR # 11054

C:\Users\Install\Daniel Consultants\inc\DOCUMENT LIBRARY - Documents\ALL STAFF\PROJECTS\SURVEY\21-232-01 Gwynns Falls Camp Site\05-CAD\00-Working Files\Sheets\CULVERT Plan\_Profile & Notes.dwg

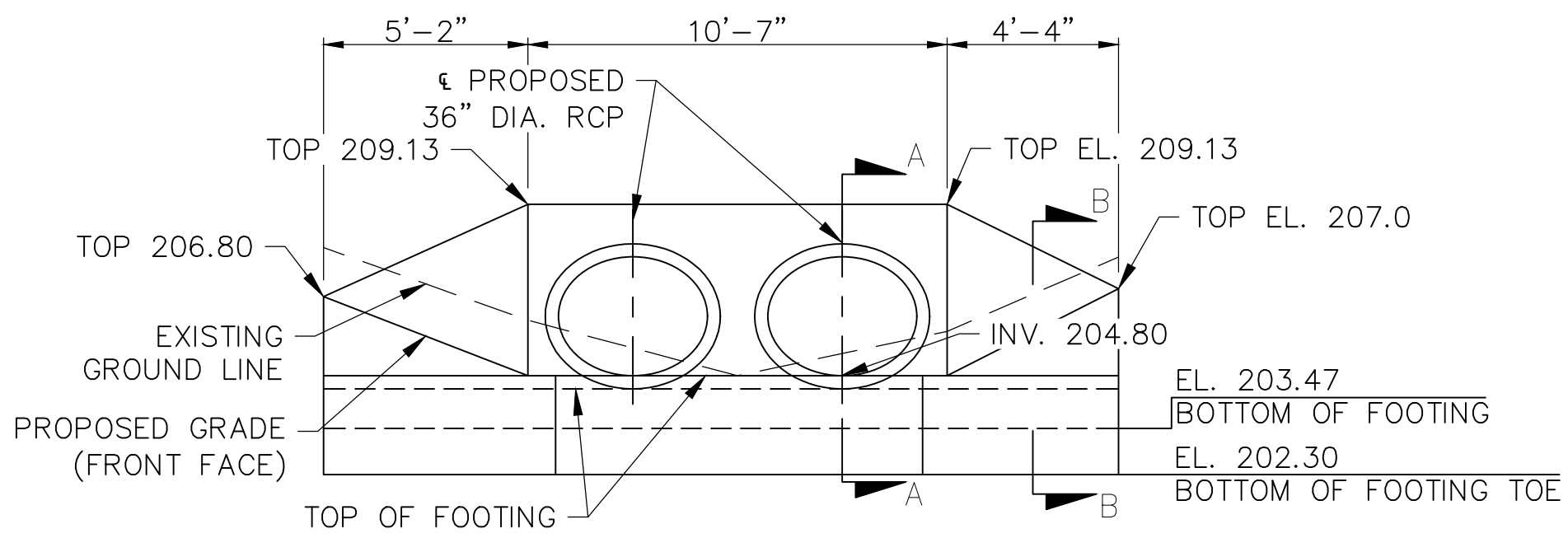
C:\Users\install\Daniel Consultants\inc\DOCUMENT LIBRARY - Documents\ALL STAFF\PROJECTS\SURVEY\21-232-01 Gwynns Falls Camp Site\05-CAD\03-Working Files\Sheets\Culvert Headwall Details and Notes.dwg



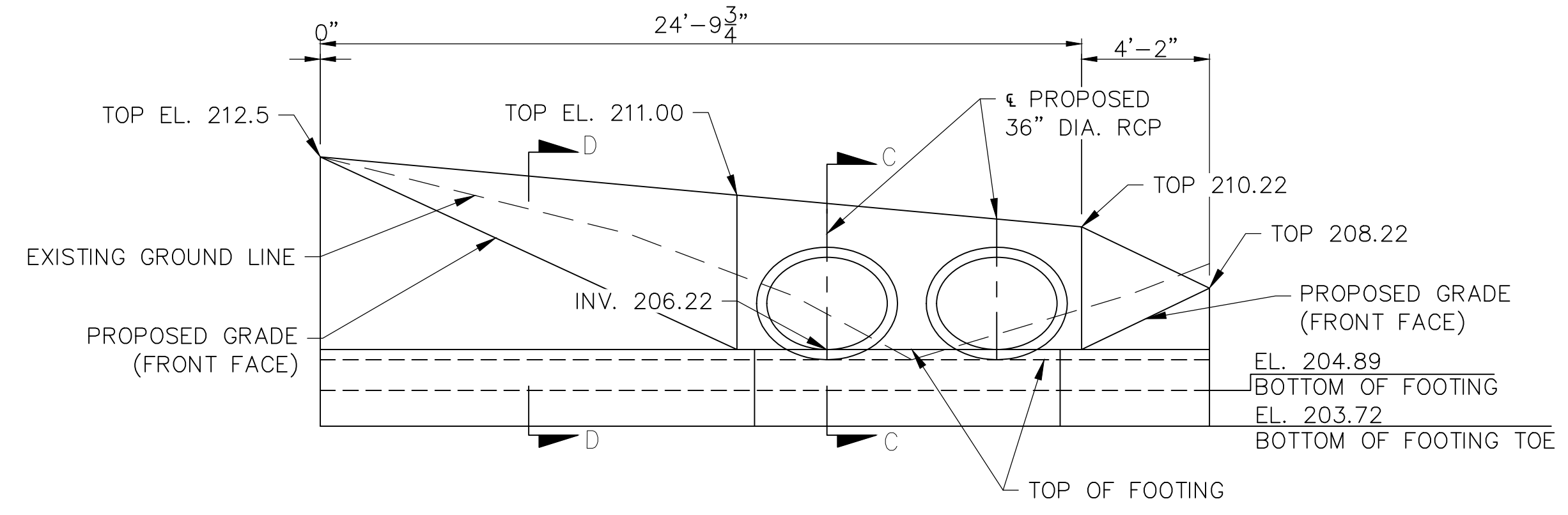
HEADWALL PLAN HW-1 (DOWNSTREAM)  
SCALE 1/4" = 1'-0"



HEADWALL PLAN HW-2 (UPSTREAM)  
SCALE 1/4" = 1'-0"



HEADWALL HW-1 DEVELOPED ELEVATION (DOWNSTREAM)  
SCALE 1/4" = 1'-0"



HEADWALL HW-2 DEVELOPED ELEVATION (UPSTREAM)  
SCALE 1/4" = 1'-0"

NOTES:  
1. FOR SECTIONS A-A, B-B, C-C AND D-D, SEE DWG. NO. C-19.

DEVELOPER /APPLICANT  
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2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

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3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P. 410-234-8444  
WWW.RRMM.COM

**DCI**  
DANIEL CONSULTANTS, INC.  
8950 Route 108 E., Suite  
229 Columbia, MD, 21045  
Phone: 410-995-0090

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# GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS

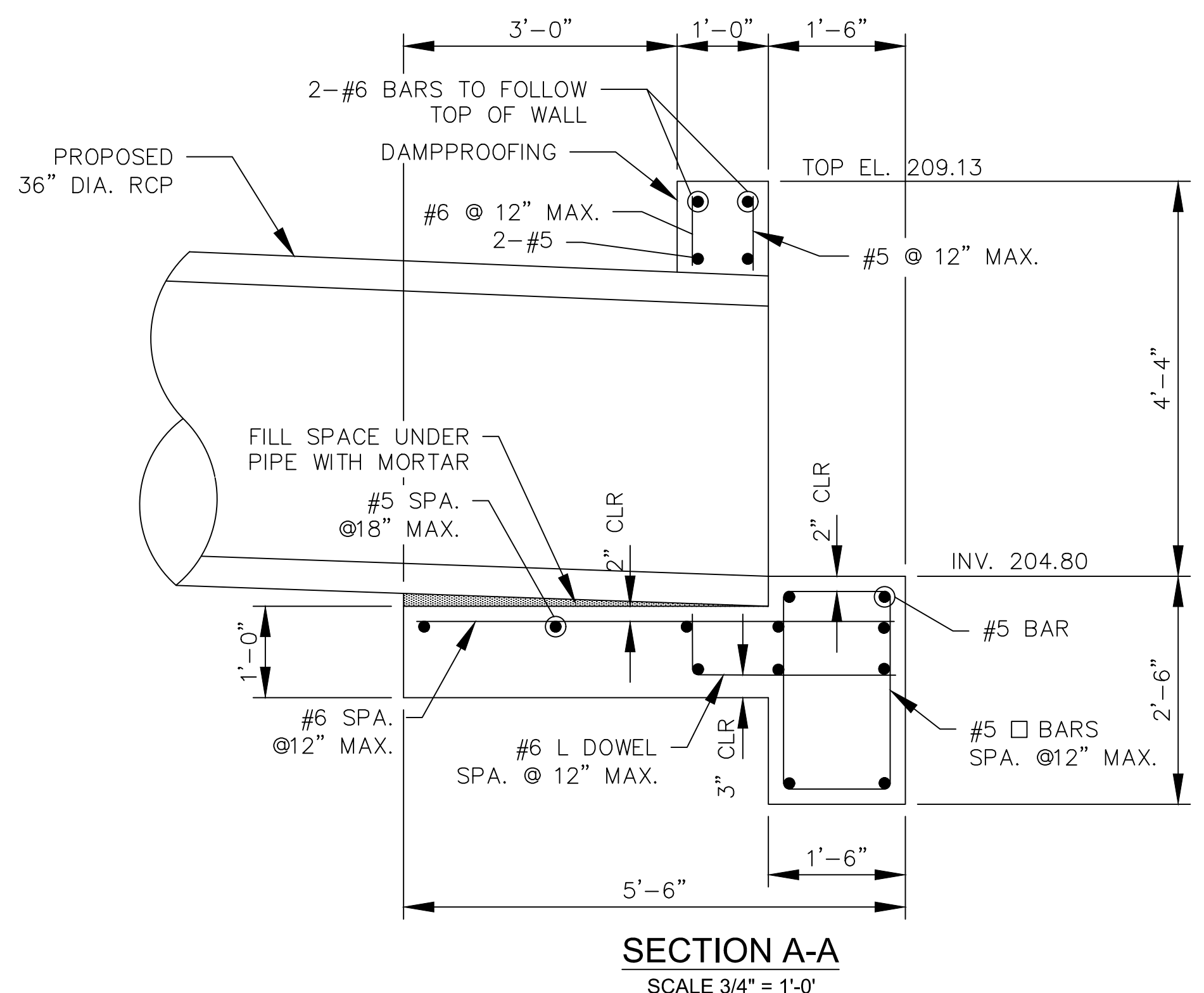
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

REVISIONS	

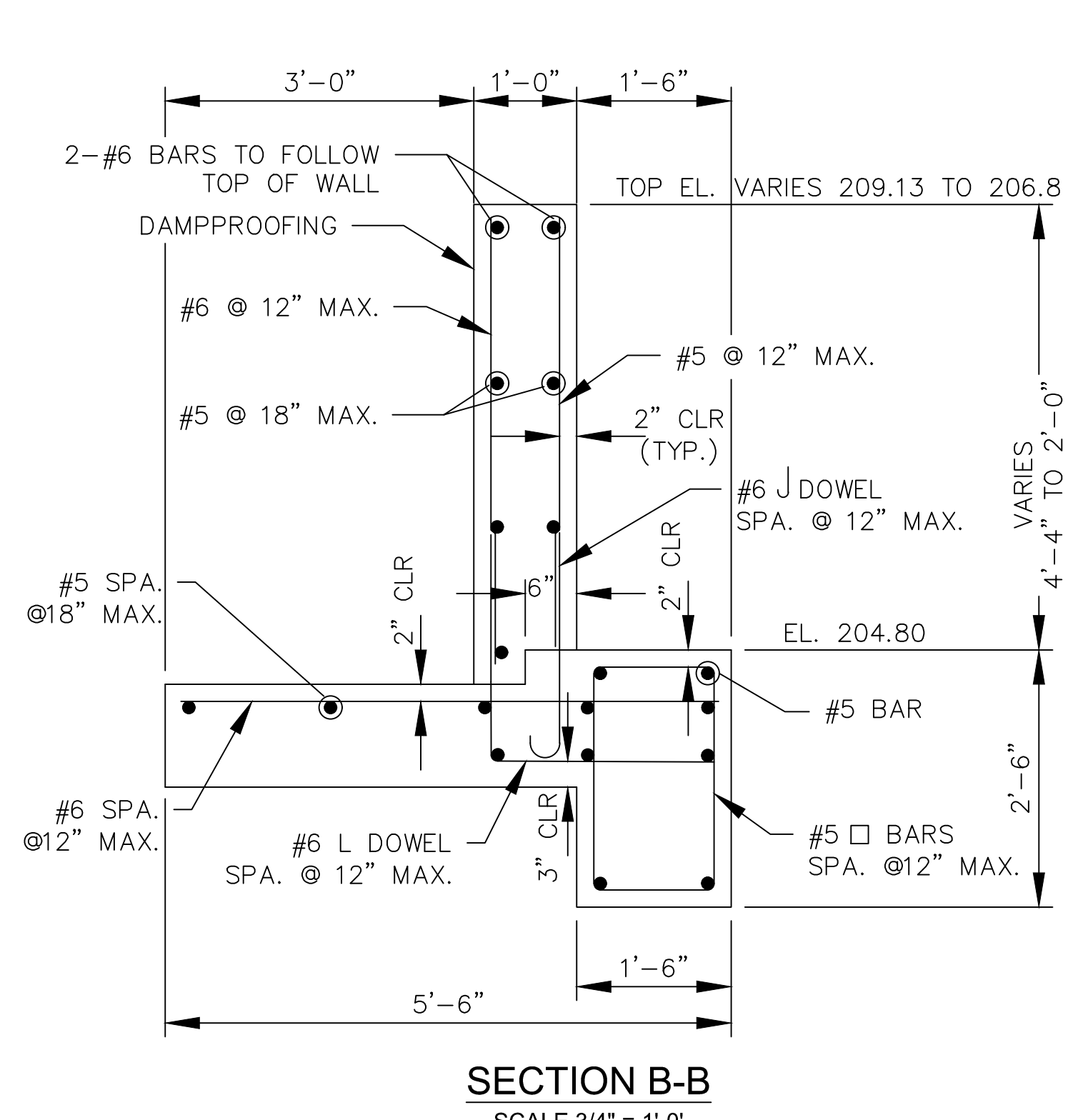
CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948  
**CULVERT HEADWALL DETAILS AND NOTES**  
SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY: BW	SHEET NO. C-18
TRACED BY: HP	
DESIGNED BY: BW	
CHECKED BY: RLS	
PROJECT NO. ON-CALL #1316	
SHEET: 20	OF 46
BCNR # 11054	

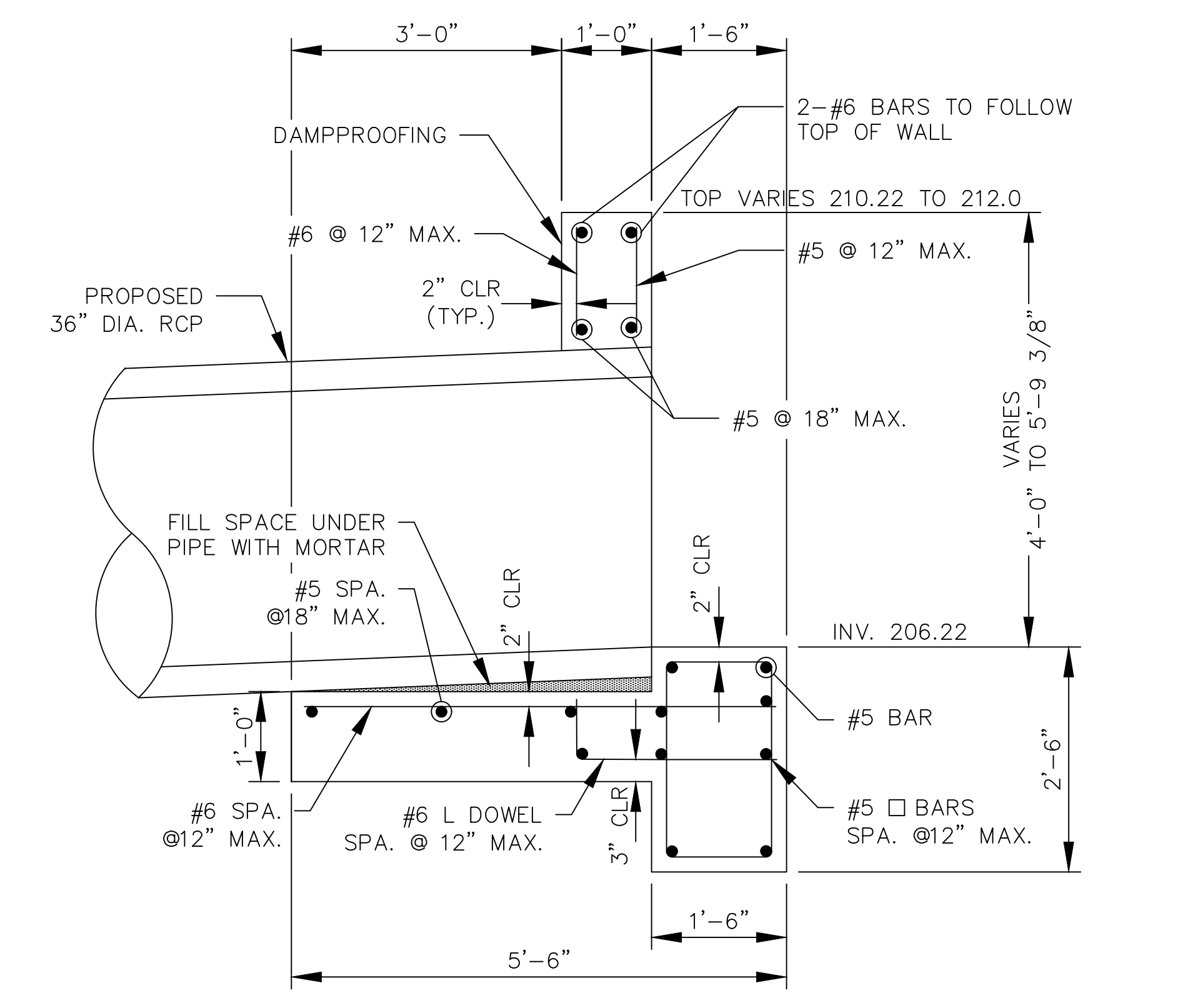
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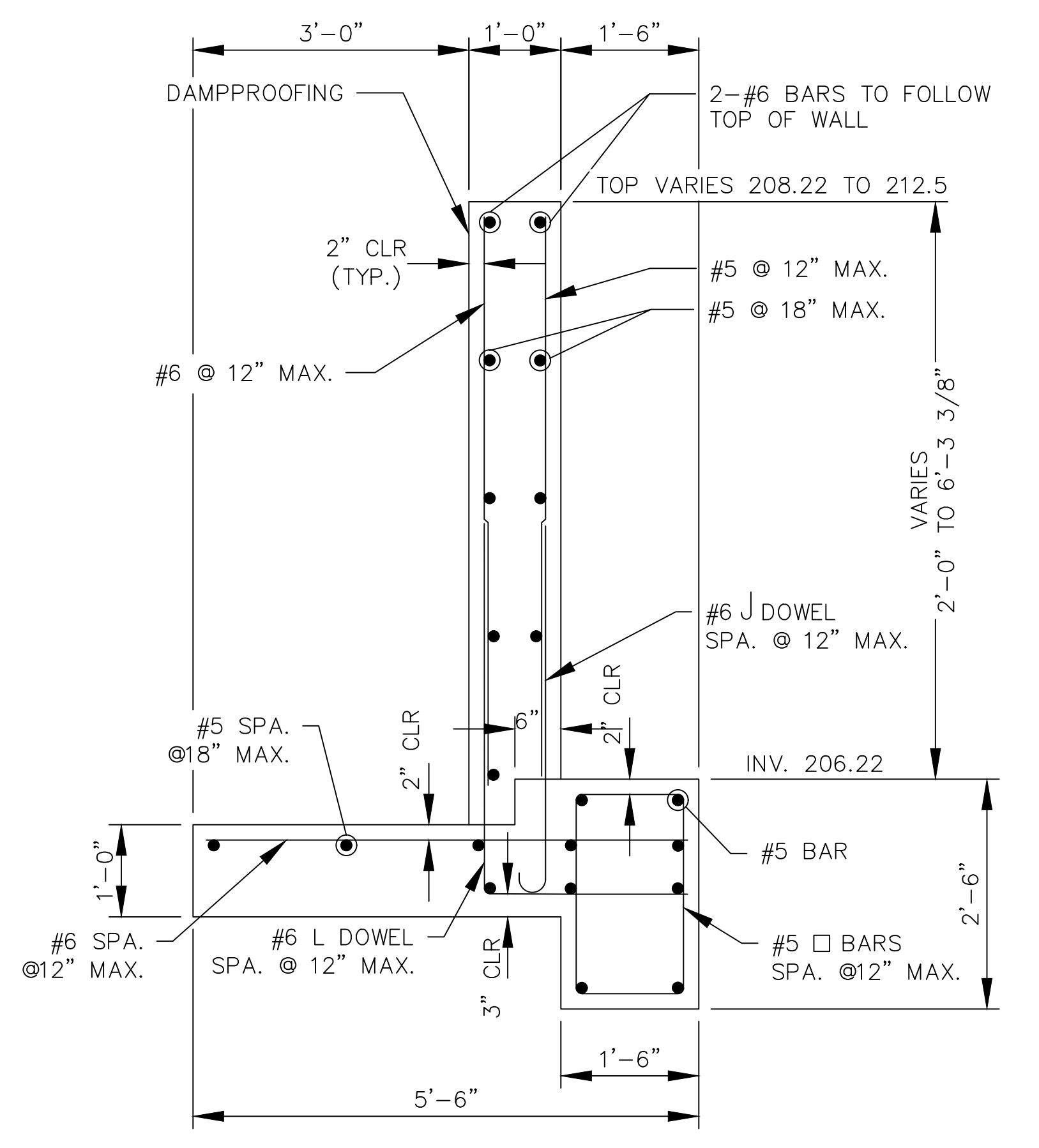
**SECTION A-A**  
SCALE 3/4" = 1'-0"



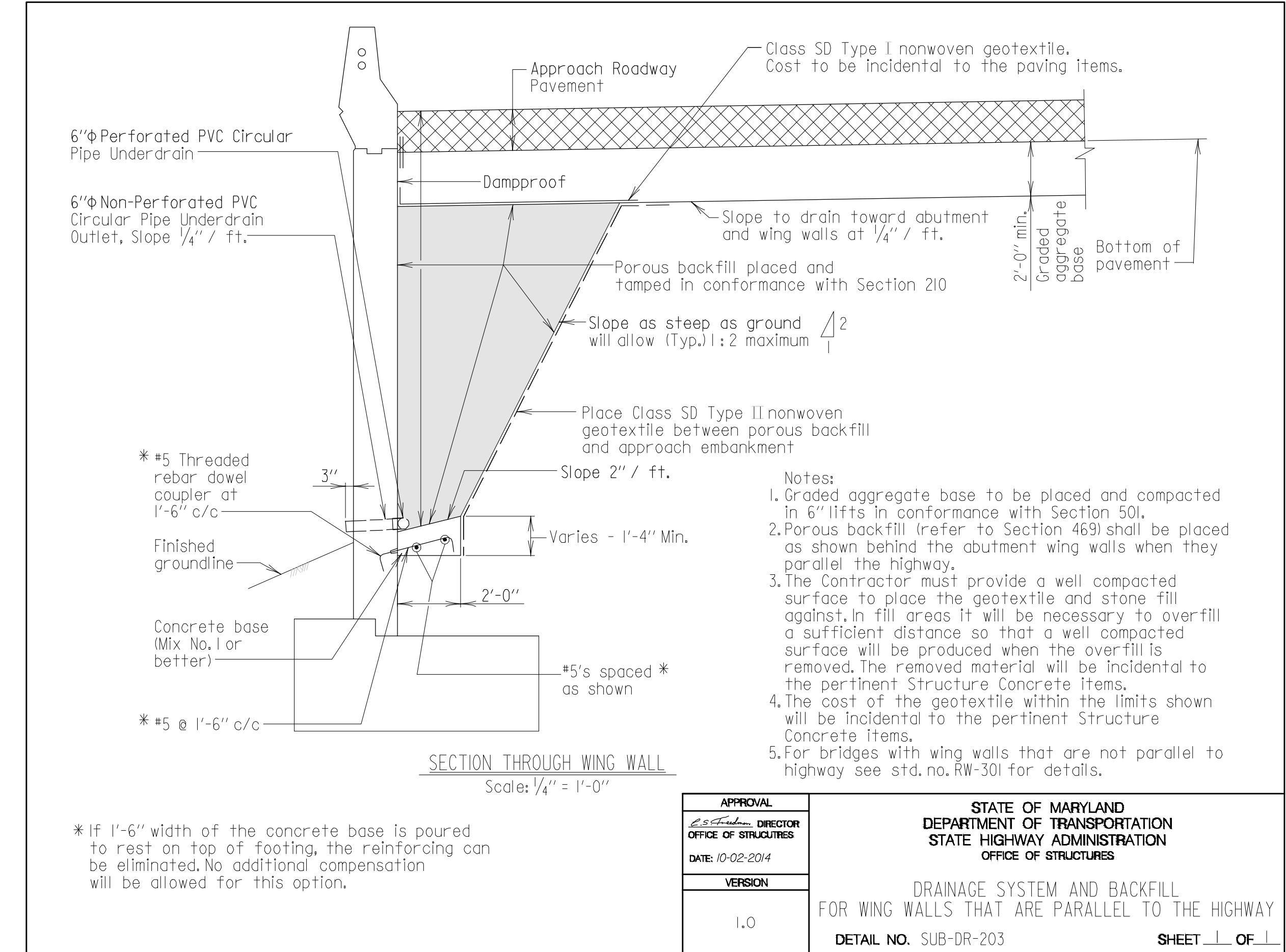
**SECTION B-B**  
SCALE 3/4" = 1'-0"



**SECTION C-C**  
SCALE 3/4" = 1'-0"



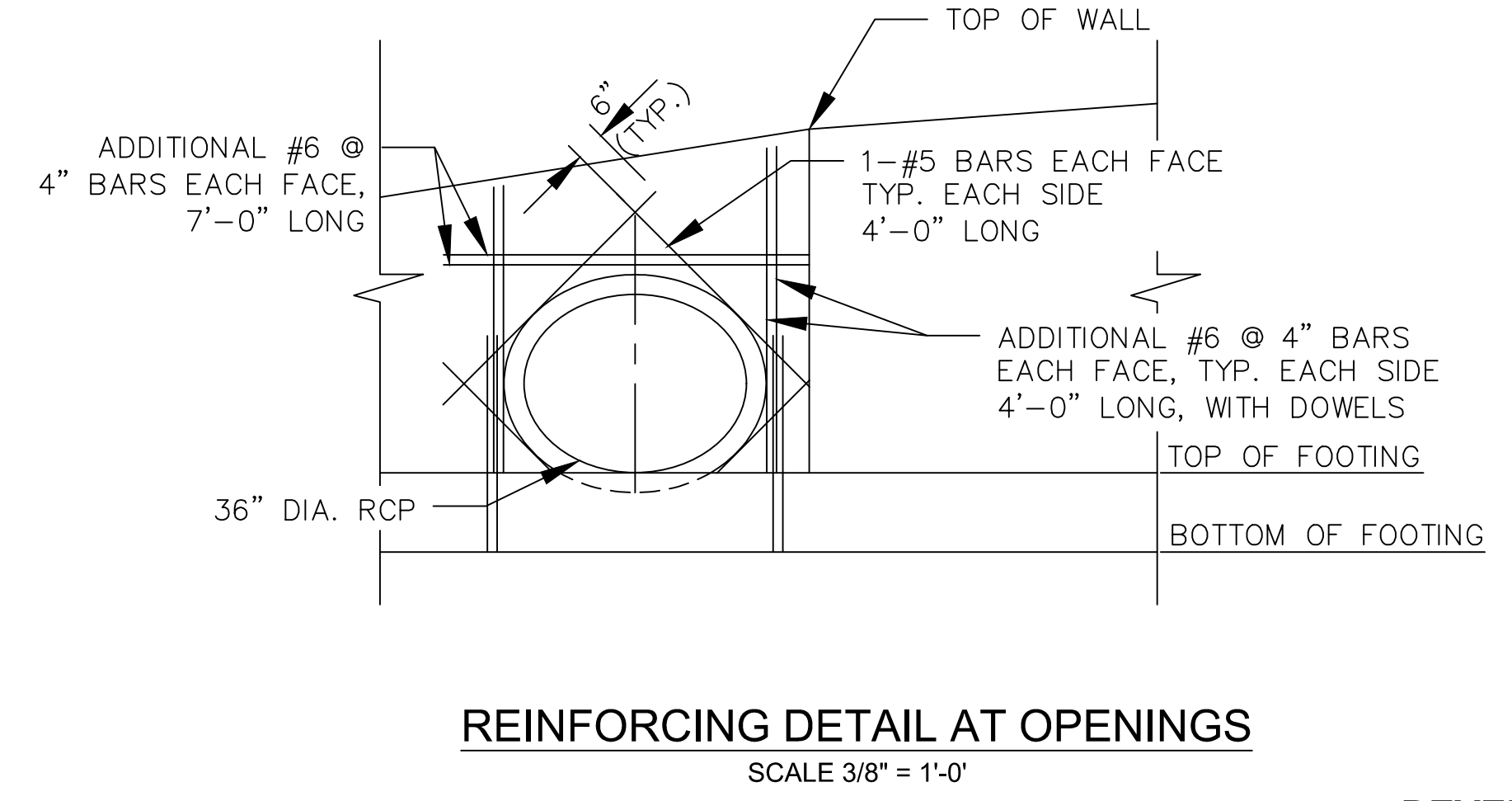
**SECTION D-D**  
SCALE 3/4" = 1'-0"



**SECTION THROUGH WING WALL**  
Scale: 1/4" = 1'-0"

APPROVAL	STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION OFFICE OF STRUCTURES
DATE: 10-02-2014	
VERSION	
1.0	

DRAINAGE SYSTEM AND BACKFILL FOR WING WALLS THAT ARE PARALLEL TO THE HIGHWAY  
DETAIL NO. SUB-DR-203 SHEET 1 OF 1



**REINFORCING DETAIL AT OPENINGS**  
SCALE 3/8" = 1'-0"

- NOTES:**
- CUT BARS WHERE THEY MAY BE IN CONFLICT WITH THE PIPES TO ALLOW FOR A MIN. OF 2" CLEAR COVER. FOR ADDITIONAL REINFORCING BARS AT PIPE OPENINGS, SEE THIS DWG.
  - DAMP PROOFING SHALL BE APPLIED FROM TOP OF WALL TO TOP OF FOOTING AND SHALL CONFORM TO SECTION 422 OF THE SPECIFICATIONS.
  - WALL DRAINAGE SYSTEM NOT SHOWN. FOR DRAINAGE SYSTEM DETAILS, SEE MDT SHA DETAIL NO. SUB-DR-203.

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229 Columbia, MD, 21045  
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**GWYNN'S FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNN'S FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**CULVERT DETAILS AND NOTES**

SCALE: AS NOTED DATE: 02/13/2026

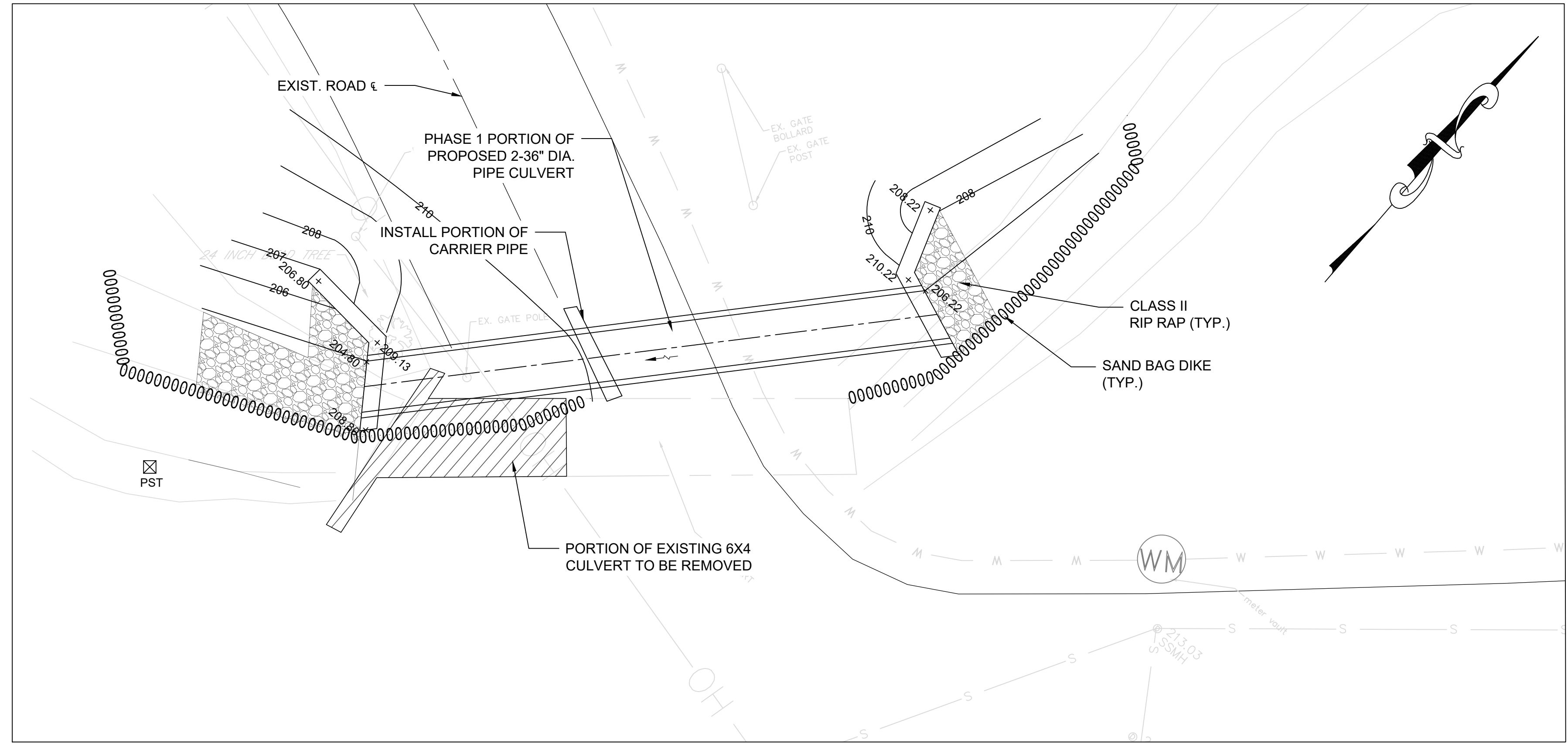
**DEVELOPER / APPLICANT**  
BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**BID SET**

DRAWN BY: BW  
TRACED BY: HP  
DESIGNED BY: BW  
CHECKED BY: RLS

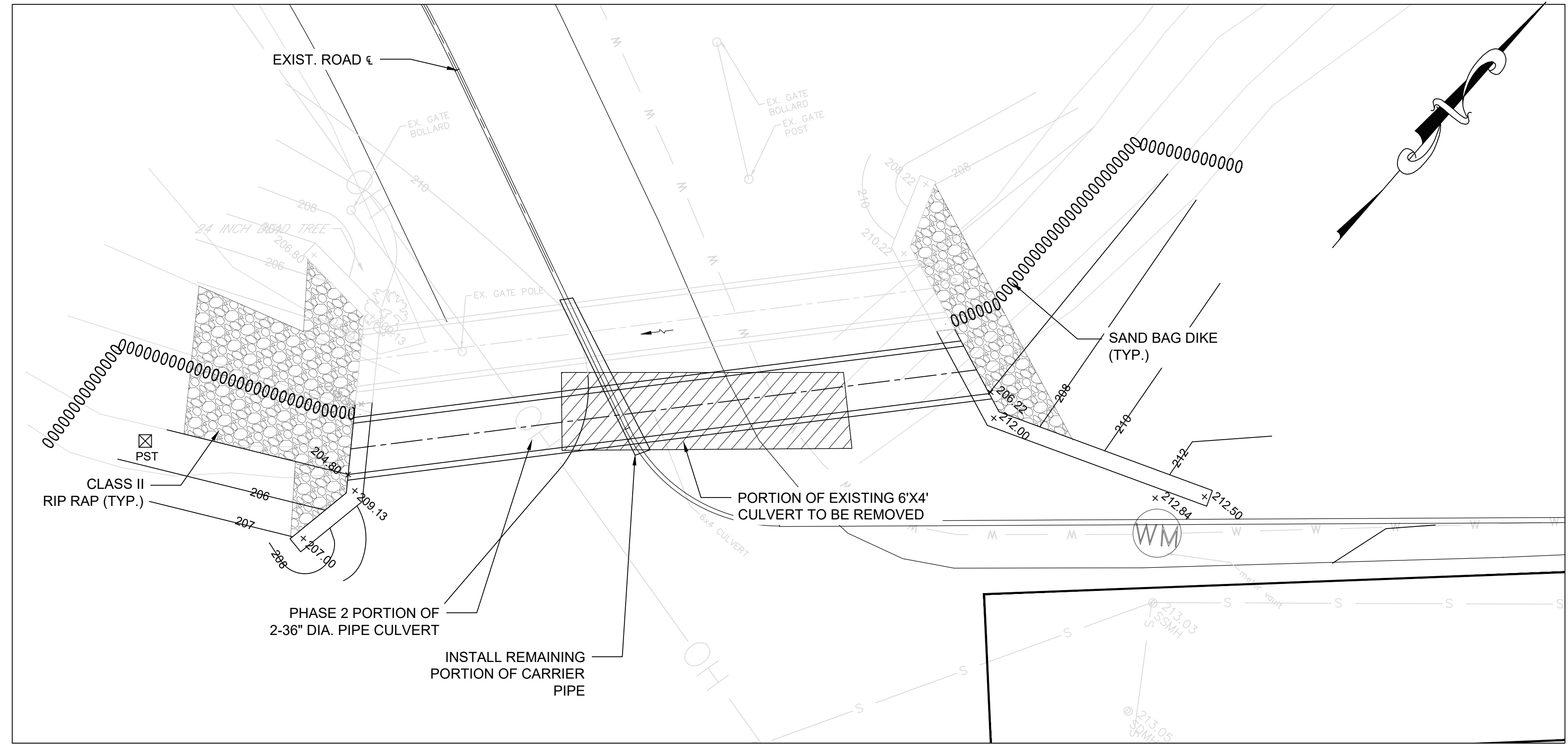
PROJECT NO. ON-CALL #1316 SHEET NO. C-19  
SHEET: 21 OF 46  
BCNR # 11054

C:\Users\install\Daniel Consultants - Documents\LIBRARY - Documents\ALL STAFF\PROJECTS\SURVEY\21-232-01 Gwynn's Falls Camp Site\05-CAD\00-Working Files\Sheets\Culvert Maint of Stream Flow Plan.dwg



**PHASE 1  
MAINTENANCE OF STREAM FLOW PLAN**

SCALE 1" = 5'



**PHASE 2  
MAINTENANCE OF STREAM FLOW PLAN**

SCALE 1" = 5'

**DEVELOPER / APPLICANT**

BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948

**BID SET**

DRAWN BY	BW
TRACED BY	HP
DESIGNED BY	BW
CHECKED BY	RLS

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**MAINTENANCE OF STREAM FLOW PLAN**

PROJECT NO. ON-CALL #1316	SHEET NO. <b>C-20</b>
SCALE: AS NOTED	DATE: 02/13/2026
SHEET: 22	OF 46

BCNR # 11054

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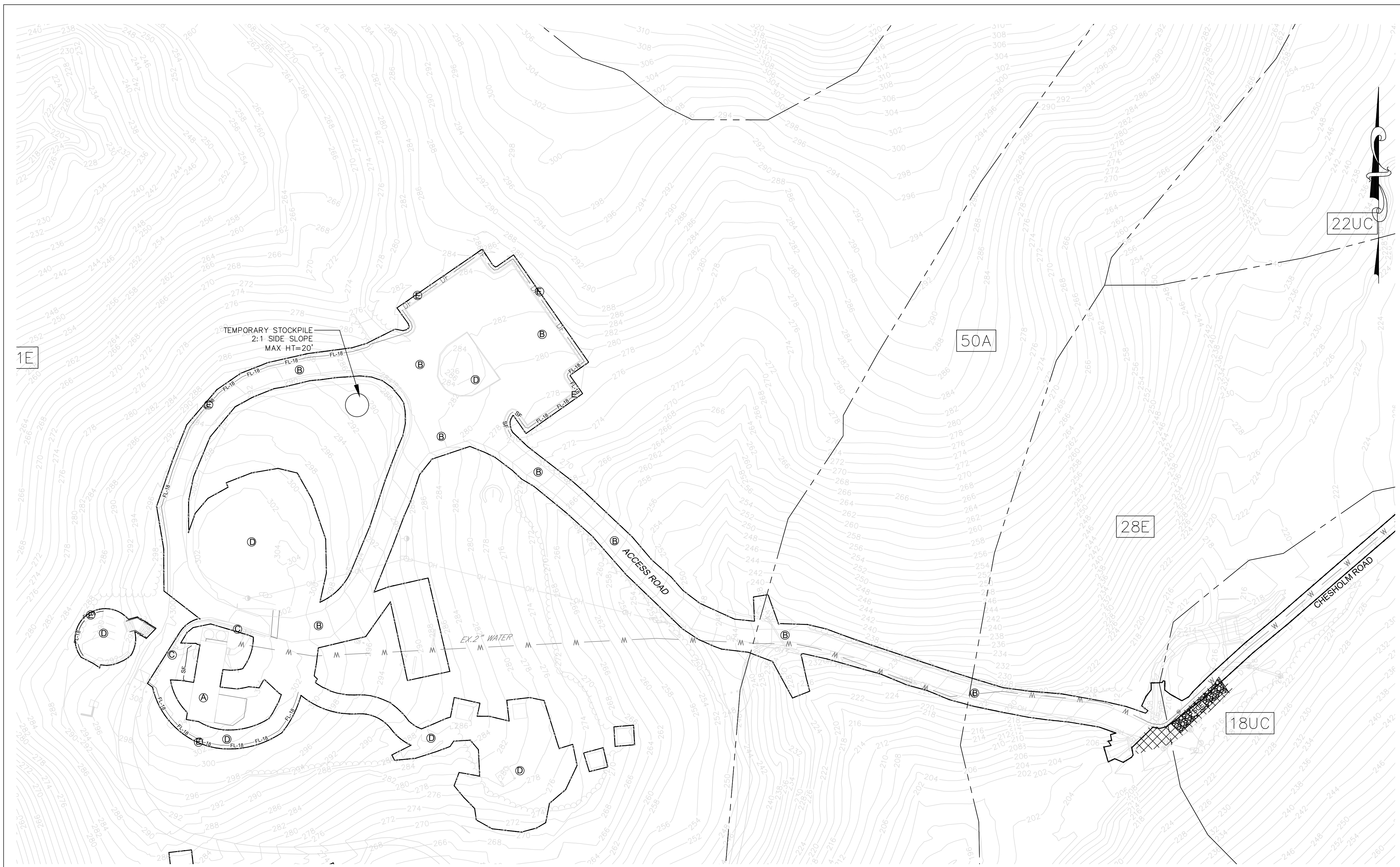
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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

NO.	DESCRIPTION	DATE

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**LEGEND (EXISTING)**

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EX. 2 FT. CONTOURS
- SOIL BOUNDARY
- EX. BUILDING
- EX. TREE
- EX. EDGE OF CONCRETE
- EX. EDGE OF PAVEMENT
- EX. CURB
- EX. RAILROAD
- EX. SANITARY SEWER LINE
- EX. STORMDRAIN
- EX. WATER LINE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC LINE

**LEGEND (PROPOSED)**

- LIMIT OF DISTURBANCE
- PR. STORM DRAIN
- DRAINAGE AREA
- PR. 2 FT. CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- SF --- SF --- SF --- SILT FENCE
- DF --- DIVERSION FENCE
- SFOR --- SFOR --- SILT FENCE ON PAVEMENT
- FL-18 --- FL-18 --- FILTER LOG
- SAME DAY STABILIZATION
- COIP --- COMBINATION INLET PROTECTION

**SOILS LEGEND**

SYMBOL	NAME/DESCRIPTION	SOIL GROUP
21E	MANOR LOAM, 15 TO 50% SLOPE	B
18UC	LEGORE-URBAN LAND COMPLEX	B
22UC	MANOR LOAM, 8 TO 15% SLOPE	B
42E	UDORTHERTS	B
50A	HATBORO-CODORUS COMPLEX	B

**STABILIZATION SCHEDULE**

AREA	SOFT	TYPE OF STABILIZATION	SEQUENCE
A		NO WORK	
BUILDINGS	2348.3	NO WORK	
B		STONE BASE (TEMPORARY)	6 TO 7
ROADWAYS	39920.8	ASPHALT PAVING(PERMANENT)	8 TO 10
C		TEMPORARY SEEDING (TEMPORARY)	7
CURBS & SIDEWALKS	239.5	SIDEWALKS(PERMANENT)	9 & 10
D	42119.9	TEMPORARY SEEDING (TEMPORARY)	6 TO 7 & 12 & 14
PERVIOUS AREAS		SEEDING/STONE/SCAPING(PERMANENT)	12 & 14
E	2189 LF	SEEDING/STONE(TEMPORARY)	5 TO 7
SEDIMENT CONTROLS		COMPLETED STRUCTURE(PERMANENT)	12 & 14

AREAS ARE TO BE VEGETATIVELY STABILIZED TO SATISFY THE 37 DAY REQUIREMENT AS PER BALTIMORE CITY EROSION AND SEDIMENT CONTROL NOTES

**CONTRACTOR ESC CONTROL NOTES**

- FOR UTILITY TRENCHES OUTSIDE THE DRAINAGE AREA LIMITS OR EROSION AND SEDIMENT CONTROL (ESC) CONTROLS, THE CONTRACTOR SHALL OPEN ONLY A SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED AT THE END OF EACH WORKDAY. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED OVERNIGHT. ANY EXCESS STOCKPILE MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORKDAY. FOR PERVIOUS SURFACES, THE USE OF ANY VEHICLE TRAFFIC IS PROHIBITED THE FIRST 24 HRS AFTER A RAIN EVENT.
- IF A STOCKPILE AREA IS NOT SHOWN ON THE APPROVED ESC PLAN, NO STOCKPILING SHALL BE ALLOWED. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORKDAY AND SENT TO DISPOSAL SITE GOVERNED BY AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND ACTIVE GRADING PERMIT.
- IF A STAGING AREA IS NOT SHOWN ON THE APPROVED ESC PLAN, NO STAGING SHALL BE ALLOWED ON THE SITE. STAGING AREAS OUTSIDE THE LOD MUST BE LOCATED ON AN IMPERVIOUS SURFACE AND SHALL NOT RESULT IN EARTH DISTURBANCE. STOCKPILE OR ERODIBLE MATERIAL WILL NOT BE PERMITTED AT STAGING AREA.
- ALL DISTURBED AREAS SHALL BE STABILIZED AS PER THE STABILIZATION SCHEDULE.
- THE ESC INSPECTOR HAS AUTHORITY TO REQUIRE ADDITIONAL ESC CONTROLS BEYOND THOSE SHOWN ON THE APPROVED ESC PLAN. ANY ADDITIONAL CONTROLS REQUIRED BY THE INSPECTOR SHALL BE PROVIDED BY THE CONTRACTOR AT THE DIRECTION OF INSPECTOR WITH 24 HRS OF VERBAL NOTIFICATION BY THE ESC INSPECTOR.
- WHERE NO STABILIZED CONSTRUCTION ENTRANCE(SCE) IS PROVIDED, THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LOD. THIS EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED WORK IS COMPLETE, AND SHALL HAVE TREADS/TIRES CLEANED PRIOR TO LEAVING THE LOD. ALL MATERIAL REMOVAL OR DELIVERY SHALL BE LIFTED FROM OR INTO THE LOD, AND ANY SEDIMENT TRACKED OR DROPPED OUTSIDE THE LOD CLEANED IMMEDIATELY. FLUSHING WILL NOT BE PERMITTED.
- WHERE SAME DAY STABILIZATION IS SPECIFIED ON THE ESC PLAN, IT SHALL BE CONSIDERED THE PRIMARY ESC CONTROL. ANY CONTROLS PROVIDED DOWNSTREAM OF AREAS SPECIFIED FOR SAME DAY STABILIZATION SHALL BE CONSIDERED SECONDARY CONTROLS UNLESS SPECIFIED OTHERWISE.
- SAME DAY STABILIZATION IS DEFINED AS THE COMPLETION OF PROPOSED WORK WITHIN A DEFINED AREA WITH THE STIPULATION OF A NON-ERODIBLE SURFACE AT THE END OF EACH WORKDAY. EXAMPLES OF ACCEPTABLE NON-ERODIBLE SURFACES INCLUDE PAVEMENT, STEEL PLATES, A 2" MINIMUM STONE LAYER, OR STABILIZATION MATTING OVER PERMANENT SEEDING. THIRTY (30) ML PLASTIC SHEETING WITH ANCHORING MAY BE CONSIDERED ACCEPTABLE EITHER SPECIFIED ON AN APPROVED PLAN, OR APPROVED BY THE ESC INSPECTOR. TEMPORARY SEEDING AND MULCH IS NOT CONSIDERED ACCEPTABLE SAME DAY STABILIZATION PRACTICE.

**STANDARD STABILIZATION NOTE**  
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:

- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
- SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- THE SAME DAY STABILIZATION FOR UTILITY TRENCH WORK WITHIN RIGHT-OF-WAYS OR OUTSIDE OF PERIMETER CONTROLS. STEEL PLATING SHALL BE USED FOR ANY TRENCHES THAT ARE NOT BACKFILLED IN THE SAME WORKING DAY.

**ENGINEER'S CERTIFICATION**

I DO HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED UPON PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE BALTIMORE CITY OFFICE OF COMPLIANCE AND RESEARCH.

RICHARD SOBBOTT  
PRINT NAME ADDRESS PHONE NUMBER

8950 ROUTE 108 EAST SUITE 229 COLUMBIA, MD 21045 (410)300-6530

*Richard Sobott*  
SIGNATURE DATE 01/17/2025

**OWNER'S CERTIFICATION**

I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED PLAN AND ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT AN APPROVED MARYLAND DEPARTMENT OF THE ENVIRONMENTAL SEDIMENT AND EROSION CONTROL TRAINING PROGRAM PRIOR TO THE BEGINNING OF WORK. THE CITY'S DPW AND DHCD AND MDE WILL BE ALLOWED RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION.

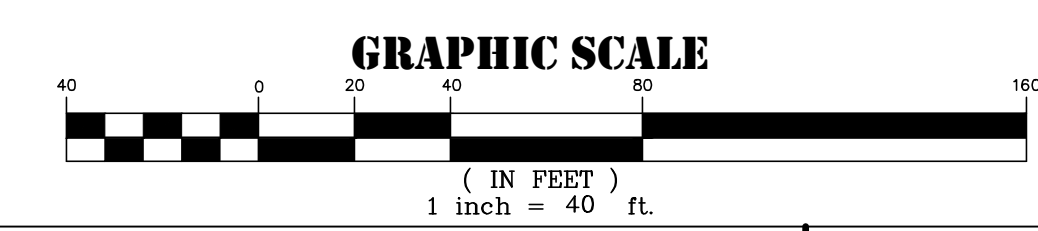
**OWNER:**  
MAYOR AND CITY COUNCIL  
3401 W NORTH AVE  
BALTIMORE 21216

PRINT NAME ADDRESS PHONE NUMBER

SIGNATURE DATE

**DEVELOPER /APPLICANT**

BALTIMORE CITY RECREATION & PARKS  
2600 MADISON AVE BALTIMORE MD 21217  
410-396-7948



**RRMM ARCHITECTS**  
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P. 410-234-8444  
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**Daniel Consultants, Inc.**  
8950 Route 108 E., Suite 229  
Columbia, MD, 21045  
Phone: 410-995-0090

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License: 15222 Expires: 01/04/2027



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DESCRIPTION	DATE

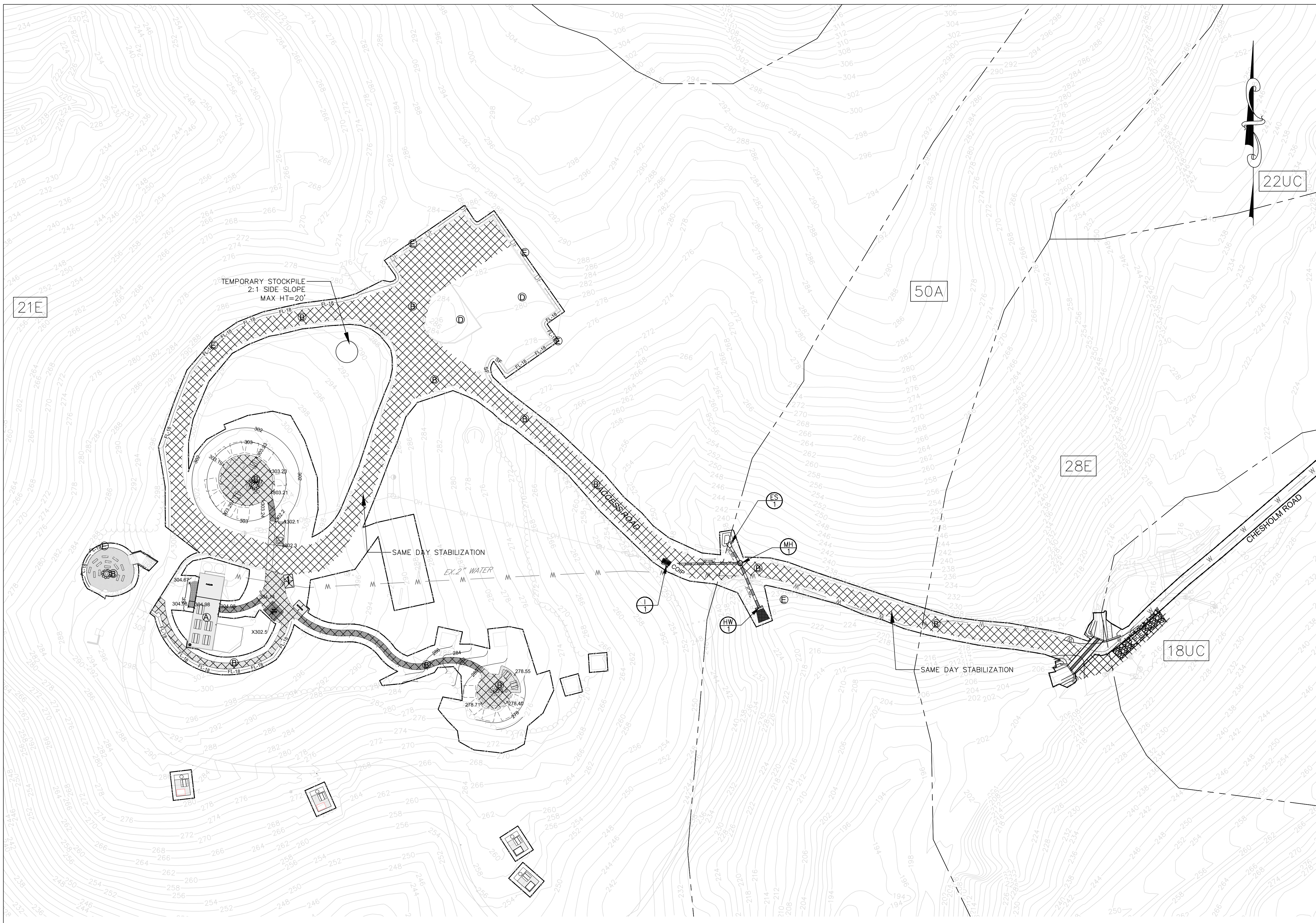
**CITY OF BALTIMORE**  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**EROSION & SEDIMENT CONTROL**  
EXISTING CONDITION

SCALE: AS NOTED DATE: 02/13/2026

**BID SET**

DRAWN BY: BW	SHEET NO. C-21
TRACED BY: HP	ON-CALL #1316
DESIGNED BY: BW	
CHECKED BY: RLS	
PROJECT NO. SHEET: 23 OF 46	
BCNR # 11054	



**LEGEND (EXISTING)**

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - EX. 2 FT. CONTOURS
- SOIL BOUNDARY
- EX. BUILDING
- EX. TREE
- EX. EDGE OF CONCRETE
- EX. EDGE OF PAVEMENT
- EX. CURB
- EX. RAILROAD
- EX. SANITARY SEWER LINE
- EX. STORMDRAIN
- EX. WATER LINE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC LINE

**LEGEND (PROPOSED)**

- LIMIT OF DISTURBANCE
- PR. STORM DRAIN
- DRAINAGE AREA
- - - PR. 2 FT. CONTOURS
- STABILIZED CONSTRUCTION ENTRANCE
- SF --- SF --- SF SILT FENCE
- DF --- DIVERSION FENCE
- SFOR --- SFOR --- SILT FENCE ON PAVEMENT
- FL-18 --- FL-18 --- FILTER LOG
- SAME DAY STABILIZATION
- COIP
- COMBINATION INLET PROTECTION

**STABILIZATION SCHEDULE**

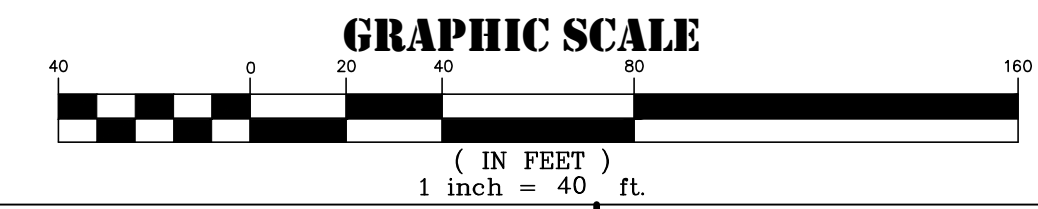
AREA	SQFT	TYPE OF STABILIZATION	SEQUENCE
A	2348.3	NO WORK	
BUILDINGS		NO WORK	
B	39920.8	STONE BASE (TEMPORARY) ASPHALT PAVING(PERMANENT)	6 TO 7 8 TO 10
C	239.5	TEMPORARY SEEDING (TEMPORARY) SIDEWALKS(PERMANENT)	7 9 & 10
D	42119.9	TEMPORARY SEEDING (TEMPORARY) SEED/SOD/LANDSCAPING(PERMANENT)	6 TO 7 & 12 & 14 12 & 14
E	2189 LF	SEEDING/STONE(TEMPORARY) COMPLETED STRUCTURE(PERMANENT)	5 TO 7 12 & 14
SEDIMENT CONTROLS			

AREAS ARE TO BE VEGETATIVELY STABILIZED TO SATISFY THE 3/7 DAY REQUIREMENT AS PER BALTIMORE CITY EROSION AND SEDIMENT CONTROL NOTES

**STANDARD STABILIZATION NOTE**  
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:  
 A. THREE(3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND  
 B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.  
 C. THE SAME DAY STABILIZATION FOR UTILITY TRENCH WORK WITHIN RIGHT-OF-WAYS OR OUTSIDE OF PERIMETER CONTROLS. STEEL PLATING SHALL BE USED FOR ANY TRENCHES THAT CANNOT BE BACKFILLED IN THE SAME WORKING DAY.

**OWNER:**  
 MAYOR AND CITY COUNCIL  
 3401 W NORTH AVE  
 BALTIMORE 21216

**DEVELOPER /APPLICANT**  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 MADISON AVE BALTIMORE MD 21217  
 410-396-7948



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**RRMM ARCHITECTS**

**DC**  
 DANIEL CONSULTANTS, INC.  
 8950 Route 108 E., Suite  
 229 Columbia, MD, 21045  
 Phone: 410-995-0090

**PROFESSIONAL CERTIFICATION**  
 THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.  
 License: 15222 Expires: 01/04/2027



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DESCRIPTION	DATE

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**EROSION & SEDIMENT CONTROL**  
**PROPOSED CONDITION PLAN**

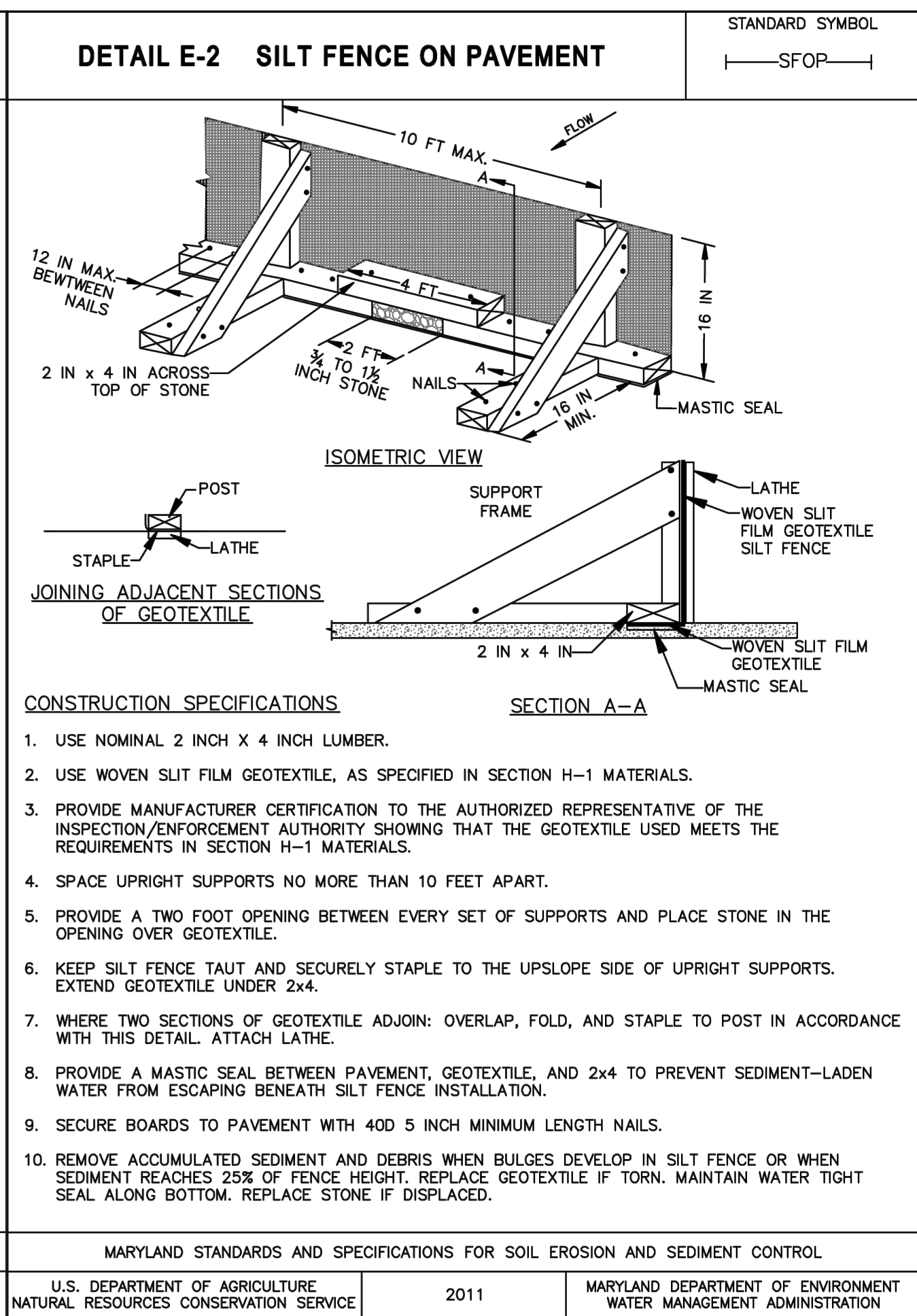
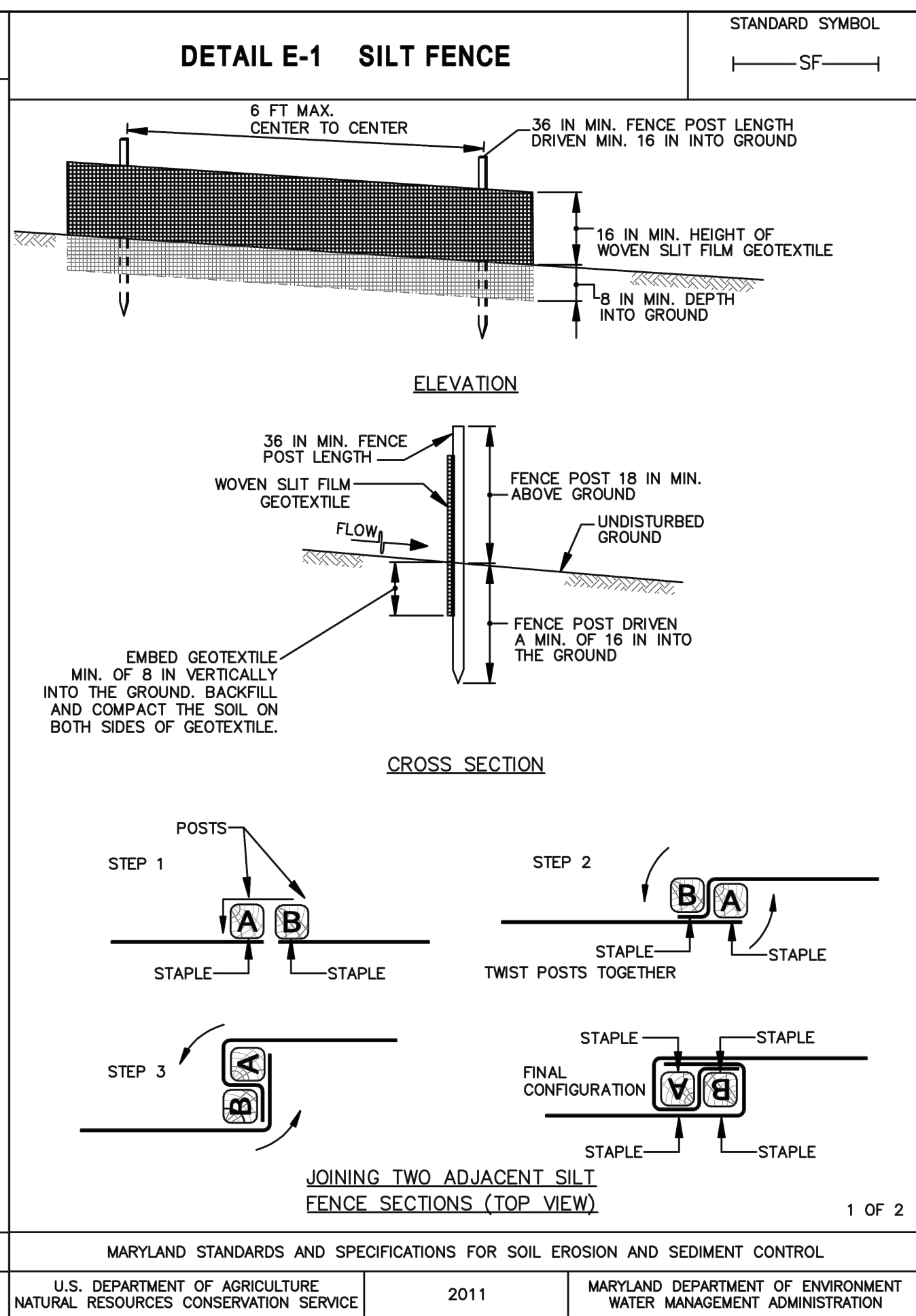
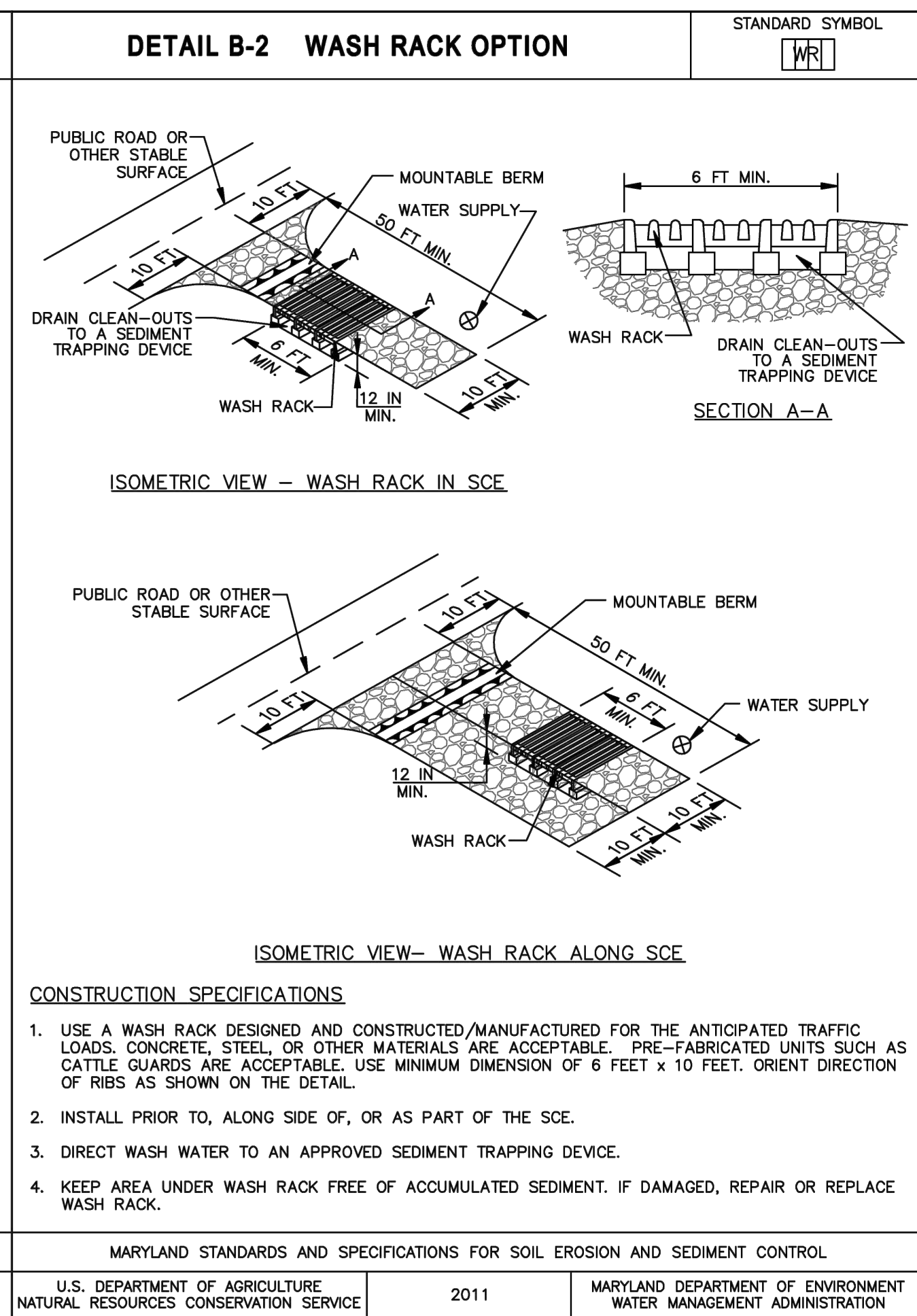
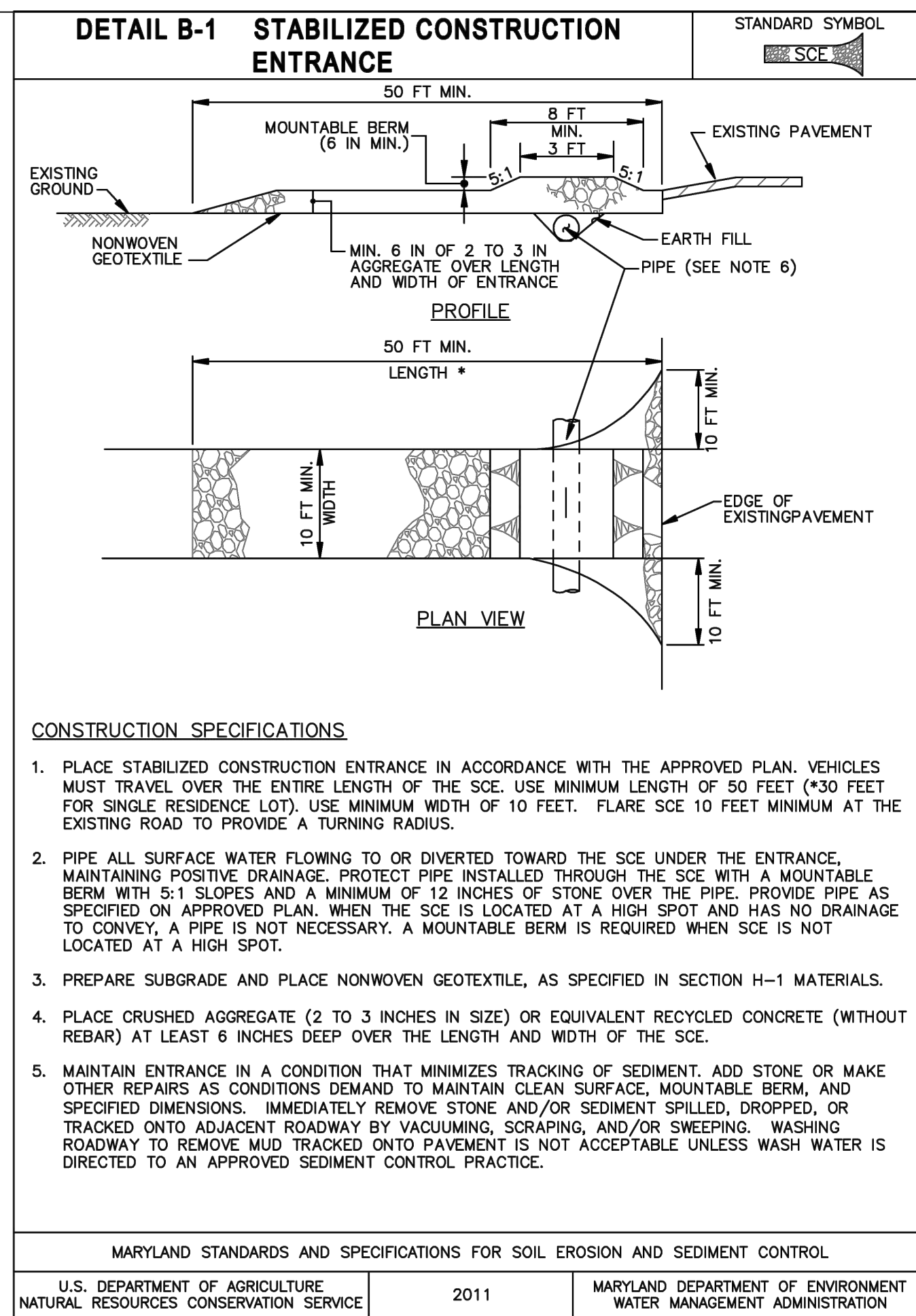
SCALE: AS NOTED DATE: 02/13/2026

**BID SET**

DRAWN BY: BW  
 TRACED BY: HP  
 DESIGNED BY: BW  
 CHECKED BY: RLS

PROJECT NO. ON-CALL #1316  
 SHEET NO. C-22  
 SHEET: 24 OF 46  
 BCNR # 11054

C:\Users\install\Daniel Consultants, Inc\DOCUMENT LIBRARY - Documents\ALL STAFF\PROJECTS\Survey\21-232-01 Gwynns Falls Camp Site\05-CAD\00-Working Files\Sheets\EAS\_Gwynns Falls\_Plans.dwg



**STANDARD STABILIZATION NOTE**  
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:  
 A. THREE(3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER Dikes, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND  
 B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.  
 C. THE SAME DAY STABILIZATION FOR UTILITY TRENCH WORK WITHIN RIGHT-OF-WAYS OR OUTSIDE OF PERIMETER CONTROLS. STEEL PLATING SHALL BE USED FOR ANY TRENCHES THAT CANNOT BE BACKFILLED IN THE SAME WORKING DAY.

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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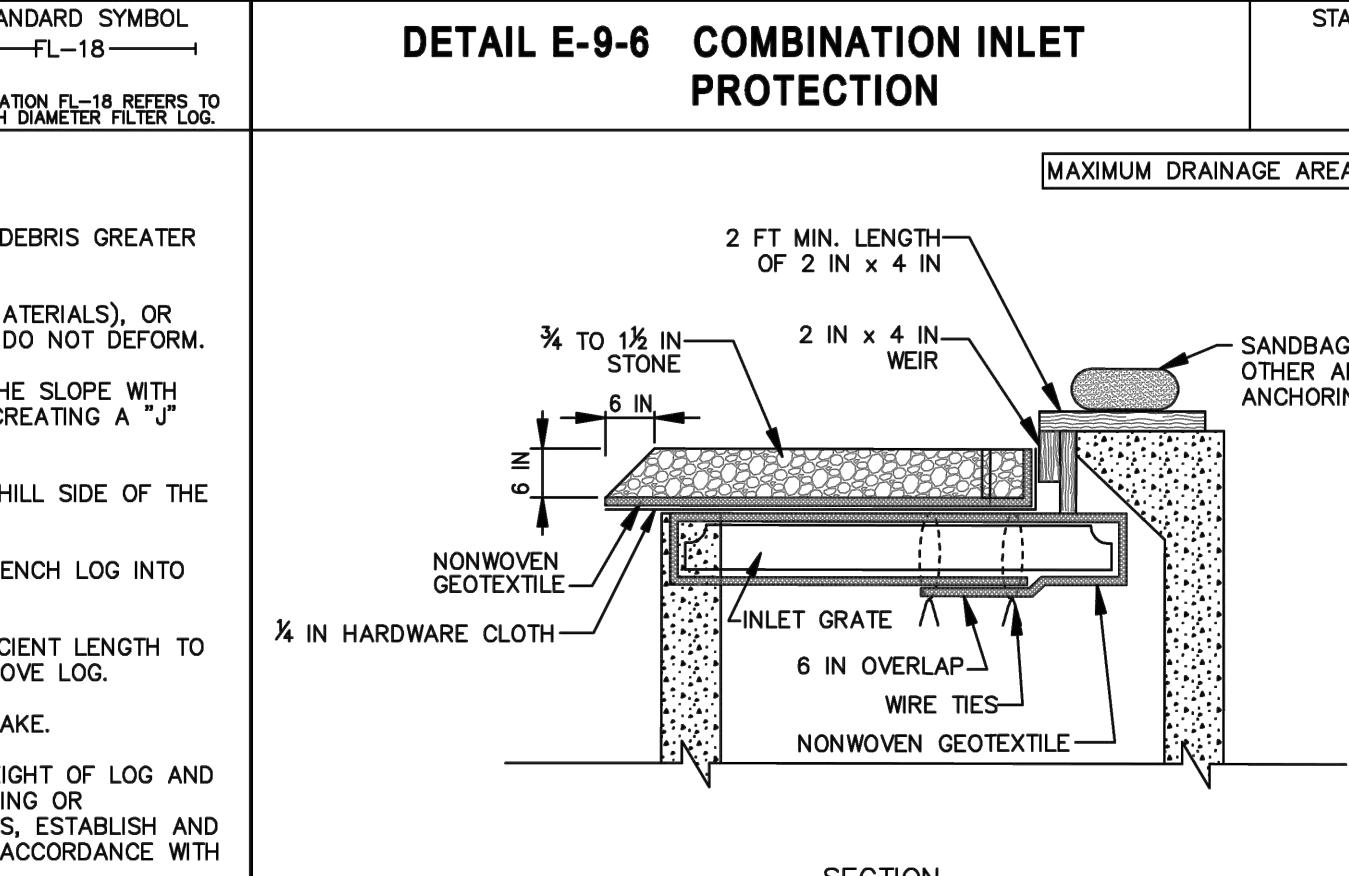
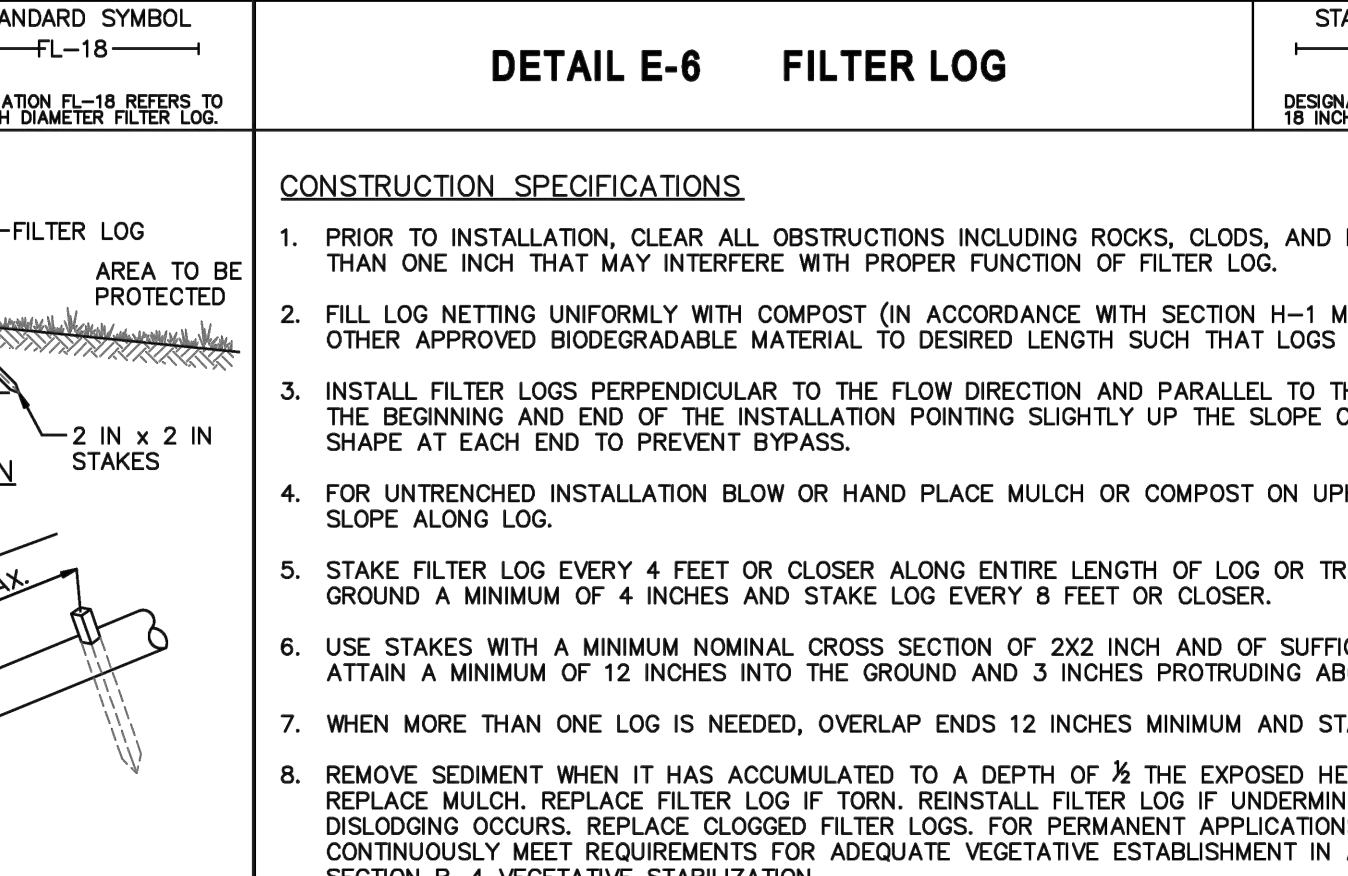
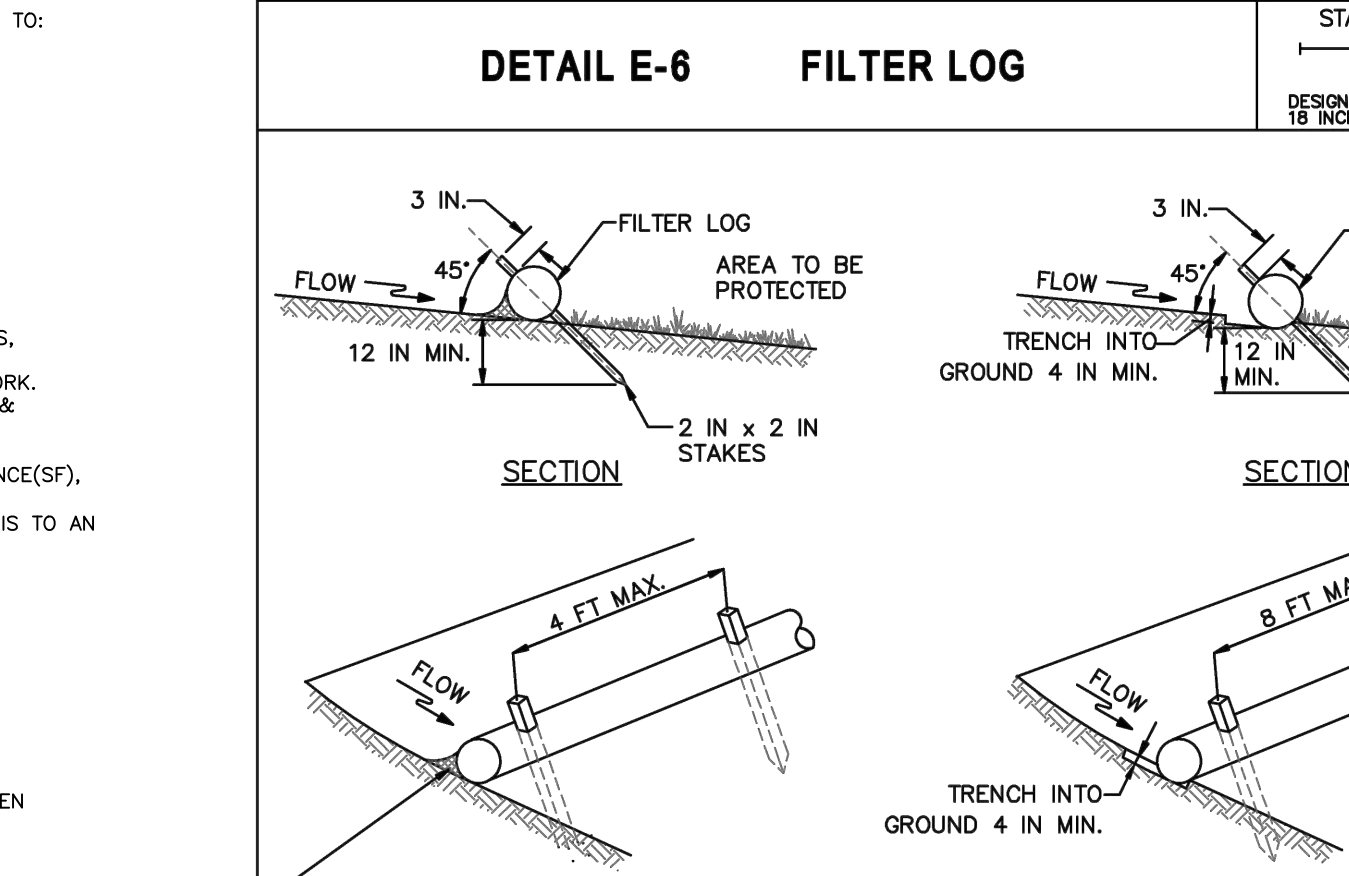
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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**SEQUENCE OF CONSTRUCTION**  
 PRE-CONSTRUCTION  
 1. OBTAIN ALL REQUIRED PERMITS.  
 2. SEVENTY-TWO(72) HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY THE CONSTRUCTION MUST SUBMIT WRITTEN NOTIFICATION TO: THE DEPARTMENT OF PUBLIC WORKS, OREP, 3001 DRUID PARK DRIVE, ROOM 228 BALTIMORE, MARYLAND 21215. PHONE:410-396-0732. EMAIL:DPW.INSPECTIONS@BALTIMORECITY.GOV

**STAGING:**  
 A. A REQUEST OF A PRE-CONSTRUCTION MEETING.  
 B. WHEN THE CONTRACTOR INTENDS TO BEGIN THE CONSTRUCTION.  
 C. WHEN THE CONTRACTOR INTENDS TO INSTALL STORMWATER MANAGEMENT FACILITIES.  
 D. SOURCE OF BORROW MATERIAL.  
 E. LOCATION OF DISPOSAL AREA OF SITE MATERIAL.  
 F. CONTRACTOR'S CLOSING DATE.  
 3. THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO GRADING, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION OR OTHER DISTURBING ACTIVITIES.  
 4. CONDUCT A PRE-CONSTRUCTION MEETING. NOTIFY THE CITY OF BALTIMORE AT LEAST 72 HOURS BEFORE COMMENCING WORK. WORK MAY NOT COMMENCE UNTIL THE PERMITTEE OR RESPONSIBLE PERSONNEL HAVE MET ON SITE WITH THE SEDIMENT & EROSION CONTROL INSPECTOR TO REVIEW THE APPROVED PLAN.  
**EXISTING:**  
 5. WITH THE INSPECTOR'S WRITTEN APPROVAL INSTALL STABILIZED CONSTRUCTION ENTRANCE(SCE) WITH WASH RACK, SILT FENCE(SF), SILT FENCE ON PAVEMENT(SFOP).  
 6. NOTIFY SEDIMENT CONTROL INSPECTOR. UPON WRITTEN APPROVAL, CLEAR AND GRUB THE REMAINDER SITE. HAUL ALL DEBRIS TO AN APPROVED LANDFILL OR APPROVED SITE WITH AN ACTIVE GRADING PERMIT.  
 7. WITH THE SEDIMENT CONTROL INSPECTOR'S WRITTEN APPROVAL, BEGIN DEMOLITION AND INITIAL GRADING.  
**PROPOSED:**  
 8. INSTALL REPLACEMENT CULVERTS AT ENTRANCE IN ACCORDANCE WITH MAINTENANCE OF STREAM FLOW PLANS.  
 9. INSTALL 2" CULVERT AT STONE WALL.  
 10. INSTALL WATER LINE.  
 11. REMOVE PORTION OF EXISTING PARKING LOT AND OTHER ITEMS TO BE DEMOLISHED.  
 12. BEGIN TO LAY FULL DEPTH ASPHALT PAVEMENT AND ASPHALT OVERLAY. INSTALL CRUSHED STONE PATHWAY.  
 13. INSTALL THE LANDSCAPED LANDSCAPE PLANS.  
 14. ONCE CONTRIBUTING DRAINAGE AREAS ARE ADEQUATELY STABILIZED AND WITH THE SEDIMENT CONTROL INSPECTOR'S WRITTEN PERMISSION, REMOVE SEDIMENT CONTROL MEASURES AND PERMANENTLY STABILIZE.  
 15. PERFORM FINAL CLEANUP OF ALL THE AREAS AS NEEDED.



**MAXIMUM DRAINAGE AREA = 1/4 ACRE**

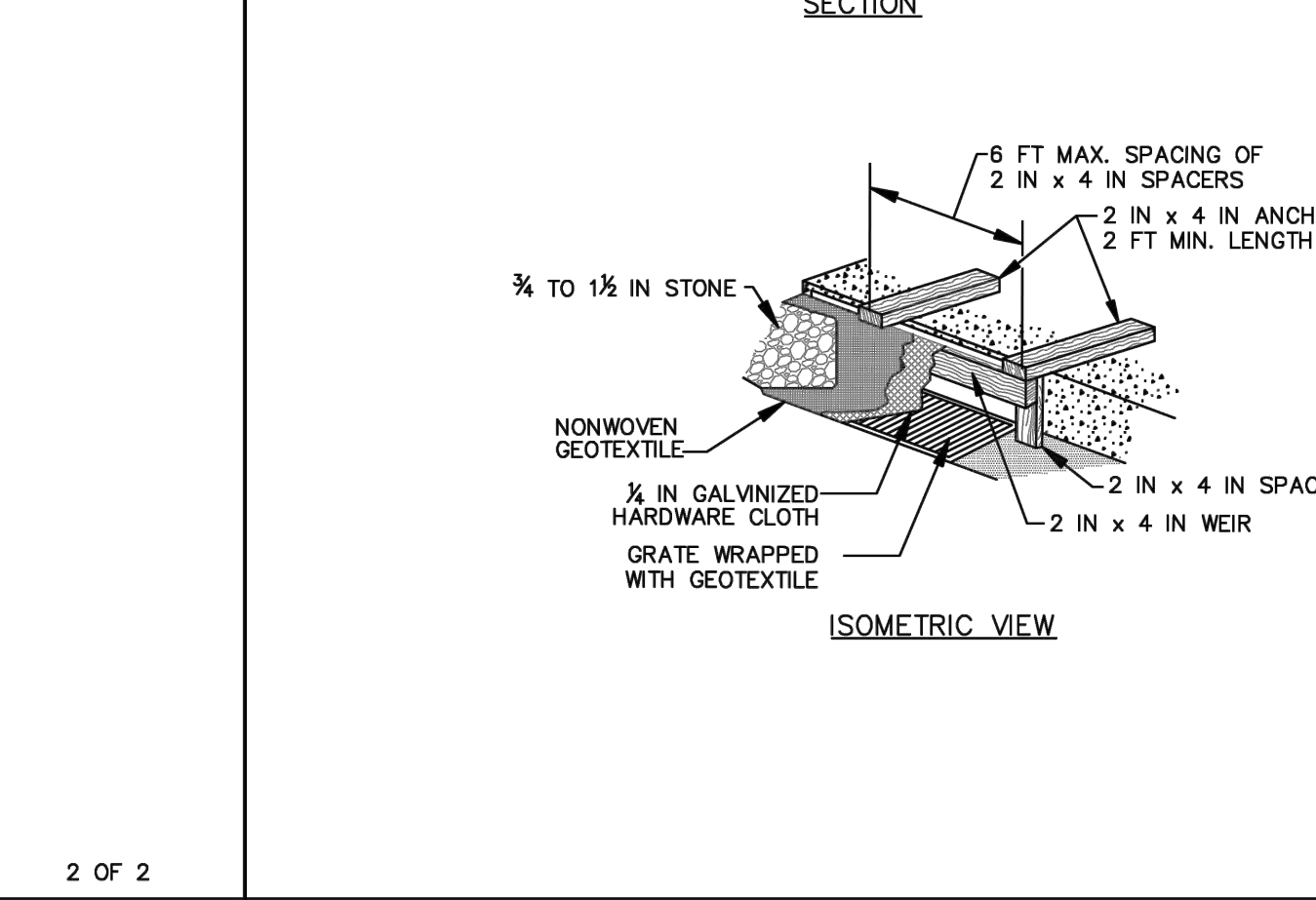
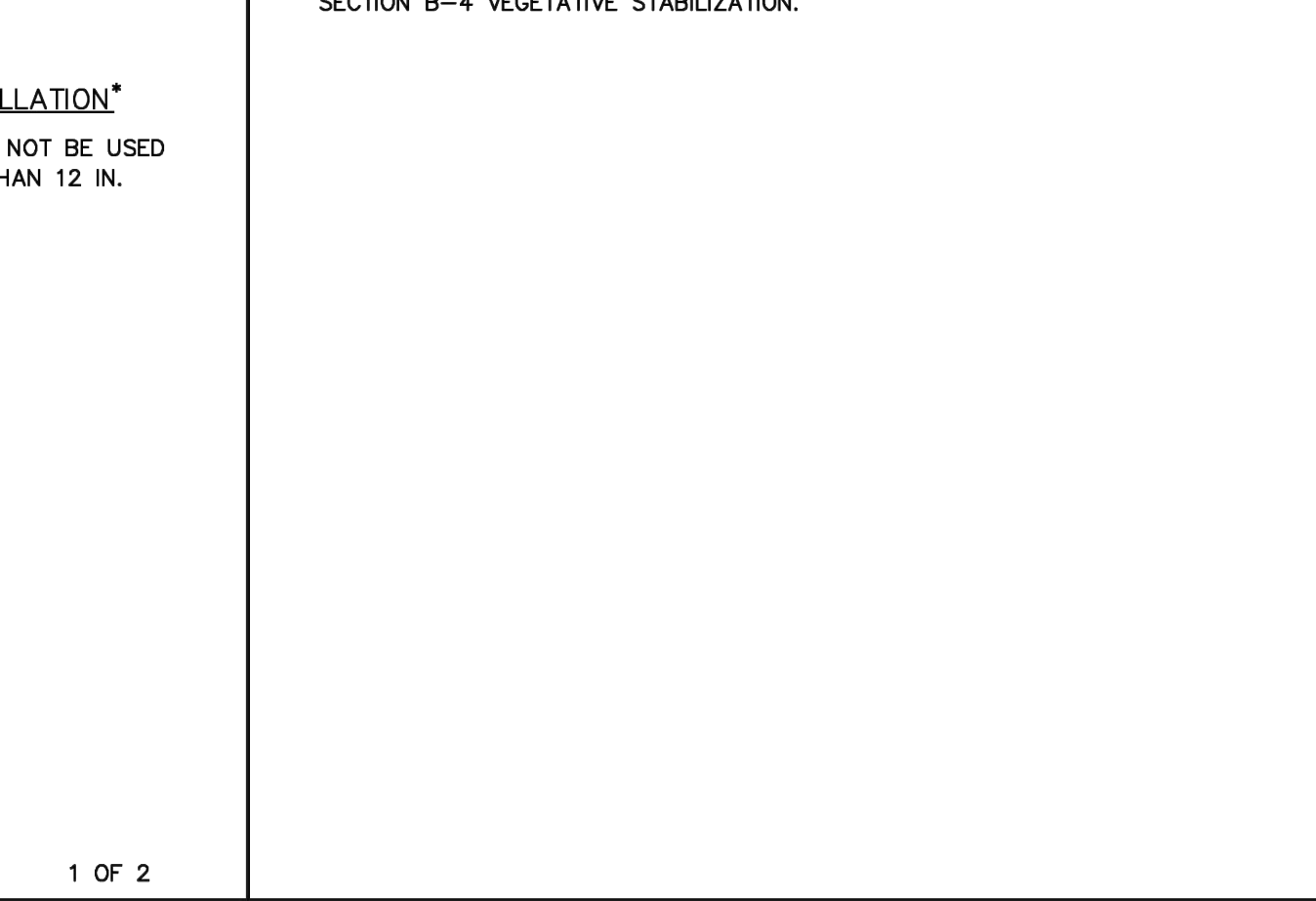
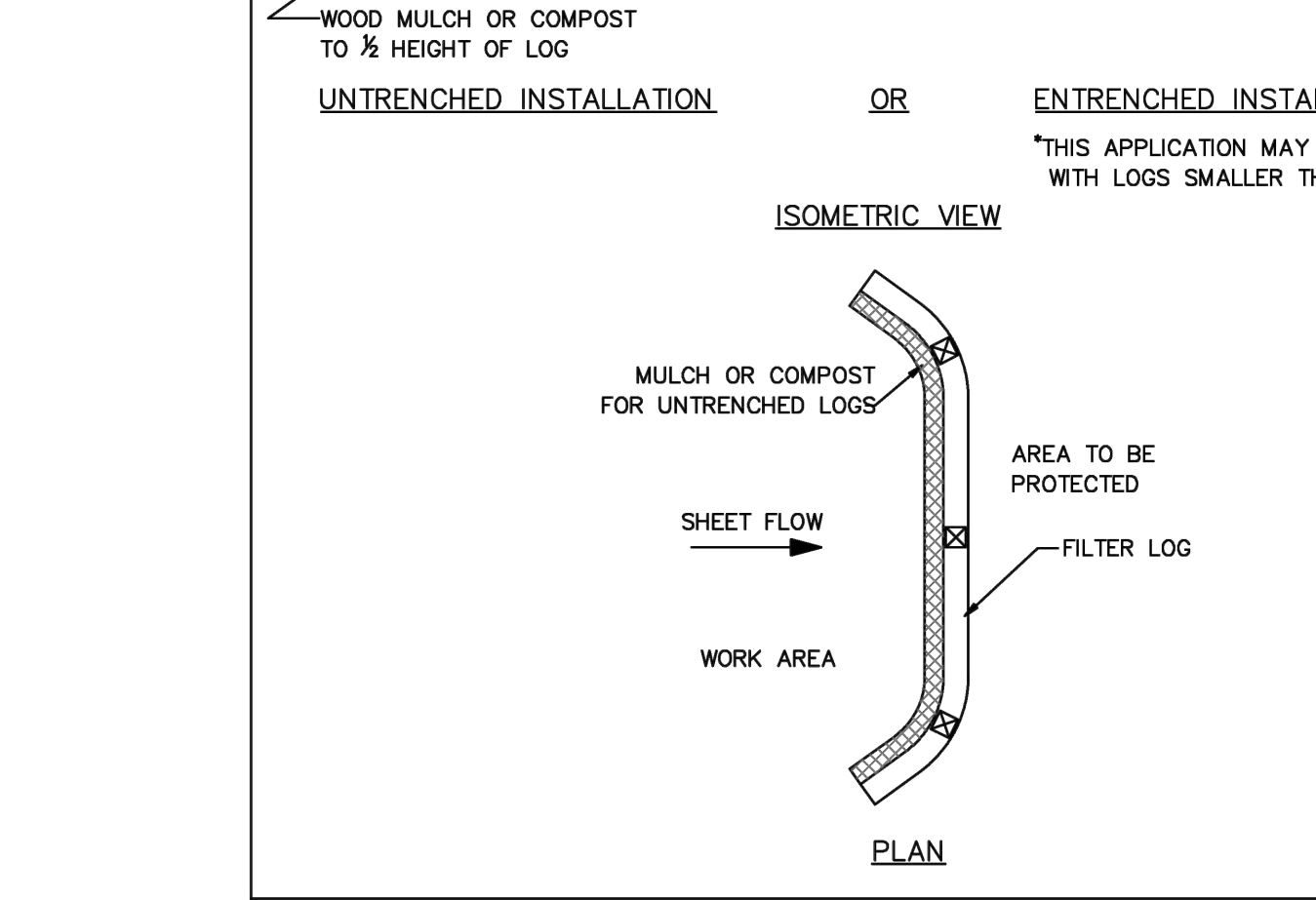
**TEMPORARY SEEDING SUMMARY**

NO.	SPECIES	SEEDING RATE			FERTILIZER (10-20-20)	LIME RATE
		(LB/AC)	(LB/5,000 SF)	(LB/1,000 SF)		
1	ANNULAR PERFORATED (LULUM PERFORATED)	40	0.5	2/15-4/30	450 lb per acre	2 tons per acre
6	FESTIVAL MALET (OCEAN PINE)	30	0.7	5/1-8/14	100 lb/1000 SF	2 tons per acre

**PERMANENT SEEDING SUMMARY**

NO.	SPECIES	SEEDING RATE			FERTILIZER RATE (10-20-20)			LIME RATE
		(LB/AC)	(LB/5,000 SF)	(LB/1,000 SF)	N	P2O5	K2O	
1	SWITCH GRASS	10	15	10	45 lb per acre	90 lb per acre	90 lb per acre	2 TONS
2	CREEPING RED FESCUE (BIRD FESCUE)	2	10	10	45 lb per acre	90 lb per acre	90 lb per acre	2 TONS
3	ORCHARD GRASS	2	10	10	45 lb per acre	90 lb per acre	90 lb per acre	2 TONS
4	CREEPING RED FESCUE (BIRD FESCUE)	2	10	10	45 lb per acre	90 lb per acre	90 lb per acre	2 TONS
5	ALBINO CLOVER	3	10	10	45 lb per acre	90 lb per acre	90 lb per acre	2 TONS

**NOTE:** PERMANENT SEEDING TO BE PROVIDED AT ALL THE PERVIOUS AREA INSIDE THE LOD.



**MAXIMUM DRAINAGE AREA = 1/4 ACRE**

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**DANIEL CONSULTANTS, INC.**  
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**Gwynns Falls Campground Restoration & Improvements**  
 4201 GWYNN'S FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**REVISIONS**

NO.	DATE	DESCRIPTION

**CITY OF BALTIMORE**  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**EROSION & SEDIMENT CONTROL - DETAILS**

SCALE: AS NOTED DATE: 02/13/2026

**BID SET**

DRAWN BY: BW  
 TRACED BY: HP  
 DESIGNED BY: BW  
 CHECKED BY: RLS

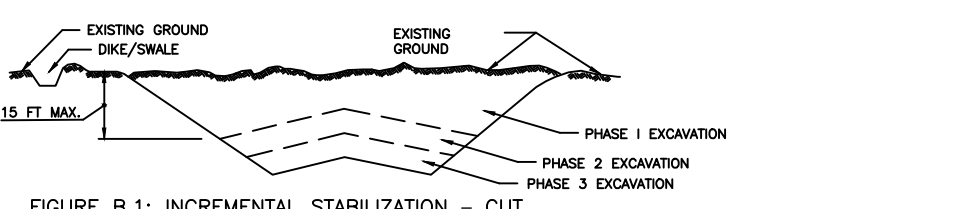
PROJECT NO. ON-CALL #1316 SHEET NO. C-23  
 SHEET: 25 OF 46  
 BCNR # 11054

**B-4-2 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION**

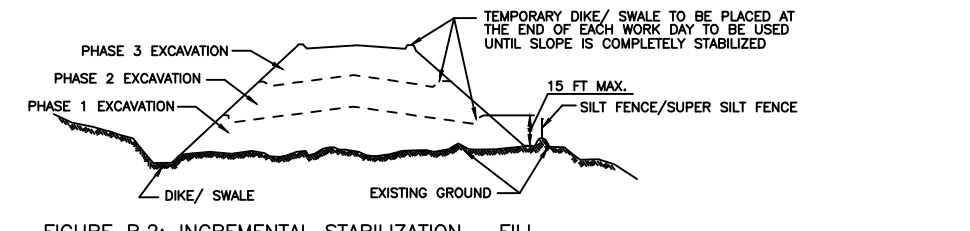
**DEFINITION**  
USING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.  
**PURPOSE**  
TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.  
**CONDITIONS WHERE PRACTICE APPLIES**  
ON ALL DISTURBED AREAS NOT STABILIZED BY OTHER METHODS; THIS SPECIFICATION IS DIVIDED INTO SECTIONS ON INCREMENTAL STABILIZATION; SOIL PREPARATION, SOIL AMENDMENTS AND TOPDRESSING; SEEDING AND MULCHING; TEMPORARY STABILIZATION; AND PERMANENT STABILIZATION.  
**EFFECTS ON WATER QUALITY AND QUANTITY**  
STABILIZATION PRACTICES ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL. WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO ERODE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS.  
**CRITERIA**  
1. PLANTING VEGETATION IN DISTURBED AREAS WILL HAVE AN EFFECT ON THE WATER BUDGET, ESPECIALLY ON VOLUMES AND RATES OF RUNOFF. INFILTRATION, EVAPORATION, TRANSPORTATION, PERCOLATION, AND GROUNDWATER RECHARGE, OVER TIME, VEGETATION WILL INCREASE ORGANIC MATTER CONTENT AND IMPROVE THE WATER HOLDING CAPACITY OF THE SOIL AND SUBSEQUENT PLANT GROWTH. VEGETATION WILL INCREASE THE MOVEMENT OF SEDIMENT, NUTRIENTS, AND OTHER CHEMICALS CARRIED BY RUNOFF TO RECEIVING WATERS. PLANTS WILL ALSO HELP PROTECT GROUNDWATER SUPPLIES BY ASSIMILATING THOSE SUBSTANCES PRESENT WITHIN THE ROOT ZONE.  
2. SEDIMENT CONTROL PRACTICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING, AND VEGETATIVE ESTABLISHMENT.  
**ADJUSTABLE VEGETATIVE ESTABLISHMENT**  
INSPECT SEEDED AREAS FOR VEGETATIVE ESTABLISHMENT AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON.  
**PURPOSE**  
1. ADEQUATE VEGETATIVE STABILIZATION REQUIRES 95 PERCENT GROUNDCOVER.  
2. IF AN AREA HAS LESS THAN 40 PERCENT GROUNDCOVER, RE-STABILIZE FOLLOWING THE ORIGINAL RECOMMENDATIONS FOR LIME, FERTILIZER, SEEDBED PREPARATION, AND SEEDING.  
3. IF AN AREA HAS BETWEEN 40 AND 94 PERCENT GROUNDCOVER, OVER-SEED AND FERTILIZE USING HALF OF THE RATES ORIGINAL SPECIFIED.  
4. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDING ARE SHOWN IN TABLE B.6.

**B-4-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION**

**DEFINITION**  
ESTABLISHMENT OF VEGETATIVE COVER ON CUT AND FILL SLOPES.  
**PURPOSE**  
TO PROVIDE TIMELY VEGETATIVE COVER ON CUT AND FILL SLOPES AS WORK PROGRESSES.  
**CONDITIONS WHERE PRACTICE APPLIES**  
ANY CUT OR FILL SLOPE GREATER THAN 15 FEET IN HEIGHT. THIS PRACTICE ALSO APPLIES TO STOCKPILE.  
**CRITERIA**  
A. INCREMENTAL STABILIZATION – CUT SLOPES  
1. EXCAVATE AND STABILIZE CUT SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL CUT SLOPES AS THE WORK PROGRESSES.  
2. CONSTRUCTION SEQUENCE EXAMPLE (REFER TO FIGURE B.1):  
A. CONSTRUCT AND STABILIZE ALL TEMPORARY SWALES OR DIKES THAT WILL BE USED TO CONVEY RUNOFF AROUND THE EXCAVATION.  
B. PERFORM PHASE 1 EXCAVATION, PREPARE SEEDBED, AND STABILIZE.  
C. PERFORM PHASE 2 EXCAVATION, OVERSEED AND STABILIZE. OVERSEED PHASE 1 AREAS AS NECESSARY.  
D. PERFORM FINAL PHASE EXCAVATION, PREPARE SEEDBED, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.  
NOTE: SOIL EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.



B. INCREMENTAL STABILIZATION – FILL SLOPES  
1. CONSTRUCT AND STABILIZE FILL SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL SLOPES AS THE WORK PROGRESSES.  
2. STABILIZE SLOPES IMMEDIATELY WHEN THE VERTICAL HEIGHT OF A LIFT REACHES 15 FEET, OR WHEN THE GRADING OPERATION CEASES AS PRESCRIBED IN THE PLANS.  
3. AT THE END OF EACH DAY, INSTALL TEMPORARY WATER CONVEYANCE PRACTICE(S), AS NECESSARY, TO INTERCEPT SURFACE RUNOFF AND CONVEY IT DOWN THE SLOPE TO AN APPROVED DRAINAGE PRACTICE.  
4. CONSTRUCTION SEQUENCE EXAMPLE (REFER TO FIGURE B.2):  
A. CONSTRUCT AND STABILIZE ALL TEMPORARY SWALES OR DIKES THAT WILL BE USED TO DIVERT RUNOFF AROUND THE FILL.  
B. CONSTRUCT CUT FENCE ON LOW SIDE OF FILL UNLESS OTHER METHODS SHOWN ON THE PLANS ADDRESS AREA.  
C. AT THE END OF EACH DAY, INSTALL TEMPORARY WATER CONVEYANCE PRACTICE(S), AS NECESSARY, TO INTERCEPT SURFACE RUNOFF CONVEY IT DOWN THE SLOPE IN A NON-EROSIVE MANNER.  
D. PLACE PHASE 1 FILL, PREPARE SEEDBED, AND STABILIZE.  
E. PLACE PHASE 2 FILL, PREPARE SEEDBED, AND STABILIZE.  
F. PLACE FINAL PHASE FILL, PREPARE SEEDBED, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.



NOTE: EXCEPT THE PLACEMENT OF FILL HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

**H-5 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL**

**DEFINITION**  
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.  
**PURPOSE**  
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND OFF-SITE DAMAGE, INCLUDING HEALTH AND TRAFFIC HAZARDS.  
**CONDITIONS WHERE PRACTICE APPLIES**  
AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.  
**SPECIFICATIONS**  
1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPDRESSING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.  
2. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.  
3. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLOUDS TO THE SURFACE, BLENDED PLAINS, SIMILAR PLOWS ARE EXAMPLES. EQUIPMENT THAT MAY FLOW SPACES APART, SPRING-TWOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES. EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.  
4. IRRIGATION: SPRINKLE SILE WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE MUST NOT BE IRRIGATED TO THE POINT THAT RUNOFF OCCURS.  
5. BARRIERS: SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.  
6. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.  
**STANDARD STABILIZATION NOTE**  
FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:  
A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER DIKES, SWALES, DITCHES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND  
B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.  
**INLET PROTECTION NOTE**  
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS AS SHOWN ON THESE PLANS. ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PAGE E.23, (OR AS MAY BE AMENDED), THE REMOVAL ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.  
**STABILIZED CONSTRUCTION ENTRANCE NOTE**  
1. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANUP OF ANY SEDIMENT. ALL SEDIMENT SPILLED OR DROPPED SPILLED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE IMMEDIATELY REMOVED BY VACUUMING SCRAPING AND/OR SWEEPING, WASHING THE ROADWAY TO REMOVE SEDIMENT TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE.  
2. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.  
**MAINTENANCE NOTE**  
CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF CONSTRUCTION ARE STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE PUBLICATION ENTITLED "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".

**OWNER:**  
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BALTIMORE 21216

**DEVELOPER/APPLICANT**

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Expires: 01/04/2027



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4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 2878-F, LOT 001, WARD 15, SECTION 03

**B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION**

**DEFINITION**  
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.  
**PURPOSE**  
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.  
**CONDITIONS WHERE PRACTICE APPLIES**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.  
**CRITERIA**  
1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.  
2. FOR SITES WHERE TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.  
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONG AS PRESCRIBED IN SECTION B-4-4.1 AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

**B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION**

**DEFINITION**  
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.  
**PURPOSE**  
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.  
**CONDITIONS WHERE PRACTICE APPLIES**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.  
**CRITERIA**  
A. SEED MIXTURES  
1. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.  
B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SITES WHERE TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. TECHNICAL FIELD OFFICE GUID. SECTION 342 – CRITICAL AREA PLANTING.  
C. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.  
D. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.  
E. TURFGRASS MIXTURES  
1. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHERE RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.  
2. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR MAINTENANCE RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.  
I. KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS INCLUDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.  
II. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE. FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.  
III. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURES: CERTIFIED CULTIVARS: 60 TO 100 PERCENT CERTIFIED KENTUCKY BLUEGRASS CULTIVARS TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS TO BE BLENDED.  
IV. KENTUCKY BLUEGRASS/FESCUE: SHADE MIXTURE. FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET.  
NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATION FOR MARYLAND" CHOOSE A CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE SOURCE OF SEEDING FOR TURF GRASS MIXTURES.  
WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 6A)  
CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 6B)  
SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)  
D. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, DISK AND RAKE THE AREA TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER, THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.  
E. IF MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR IN AREAS WHERE THE SOIL IS ABNORMALLY DRY OR HOT.  
B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).  
1. GENERAL SPECIFICATIONS  
A. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.  
B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 1/2 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND HATCH. BROKEN PADS AND TOP OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.  
C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION. D. SOD MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.  
E. SOD MUST BE DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.  
A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.  
B. LAY THE ROWS OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT OTHERS WHICH WOULD CAUSE DRYING OF THE ROOTS.  
C. EXISTERS POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOIL CONTACT BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.  
D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND UNDERLYING SOIL ARE MOIST. PREPARE A PROPER SEEDBED. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.  
3. SOD MAINTENANCE  
A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.  
B. AFTER THE FIRST WEEK, SOD FIRMLY ROOTED IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE MOWER. DURING OR SUBSEQUENT CUTTINGS, MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

TABLE B.7

SLOPE	20:1 OR FLATTER (< 5%)		< 20:1 TO 4:1 (> 5% - 25%)		< 4:1 TO 3:1 (> 25% - 33%)		< 3:1 TO 2.5:1 (> 33% - 40%)		< 2.5:1 TO 2:1** (> 40% - 50%)			
	0-30	30-60	60-120	0-30	30-60	60-120	0-30	30-60	60-120	0-30	30-60	60-120
SLOPE LENGTH (FT')	0-30	30-60	60-120	0-30	30-60	60-120	0-30	30-60	60-120	0-30	30-60	60-120
STRAW MULCHWOOD CELLULOSE FIBER	FOR R < 0.35**											
TEMPORARY MATTING WITH DESIGN SHEAR STRESS > 1.5 LB/SF	FOR R < 0.35**											
TEMPORARY MATTING WITH DESIGN SHEAR STRESS > 1.75 LB/SF	FOR R < 0.35**											
TEMPORARY MATTING WITH DESIGN SHEAR STRESS > 2.0 LB/SF	FOR R < 0.35**											
TEMPORARY MATTING WITH DESIGN SHEAR STRESS > 2.25 LB/SF	FOR R < 0.35**											

NOTE: USE SHA TYPE E BIO-DEGRADABLE MATTING UNLESS OTHERWISE NOTED.

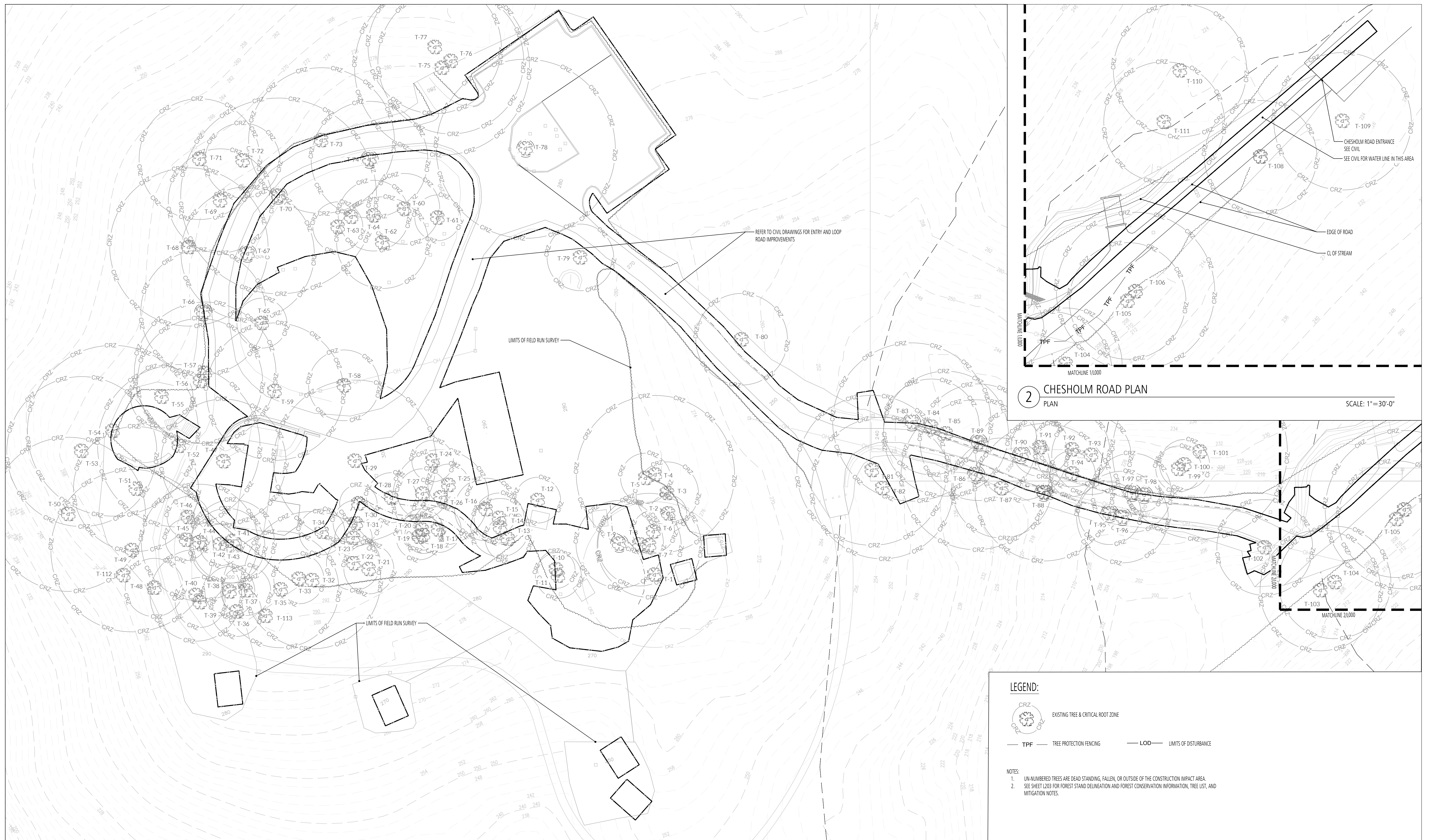
- \* SLOPE LENGTH INCLUDES CONTRIBUTING FLOW LENGTH.
- \*\* SLOPES STEEPER THAN 2:1 MUST BE ENGINEERED.
- \*\* SLOPES STEEPER THAN 2:1 MUST BE ENGINEERED. IF SLOPES ARE EQUAL TO 0.35 CAN BE STABILIZED EFFECTIVELY WITH STRAW MULCH OR WOOD CELLULOSE FIBER WHEN LOCATED ON SLOPES STEEPER THAN 5X. SOIL STABILIZATION MATTING IS REQUIRED ON ALL SLOPES STEEPER THAN 5X THAT HAVE SOIL WITH A K FACTOR GREATER THAN 0.35. K FACTOR RATINGS ARE PUBLISHED IN THE NRCS SOIL SURVEY HTTP://WWW.SURVEY.NRCS.USDA.GOV/APP. DURING CONSTRUCTION OR RECLAMATION, THE SOILERODIBILITY K VALUE SHOULD REPRESENT THE UPPER 6 INCHES OF THE FINAL FILL MATERIAL. RE-SPREAD AS THE LAST LIFT. ONLY THE EFFECTS OF ROCK FRAGMENTS WITHIN THE SOIL PROFILE ARE CONSIDERED IN THE ESTIMATION OF THE VALUE. DO NOT ADJUST K VALUES TO ACCOUNT FOR ROCKS ON THE SOIL SURFACE OR INCREASES IN SOIL ORGANIC MATTER RELATED TO MANAGEMENT ACTIVITIES.
- A. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:  
I. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.  
II. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DR WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A RATIO OF 100 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.  
III. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAC II, TERRA TAC OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AS THE DOSES WHERE WIND CATCHES MULCH, SUCH AS IN WINDY AREAS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED.  
IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

**B-4-6 STANDARDS AND SPECIFICATIONS FOR SOIL STABILIZATION MATTING**

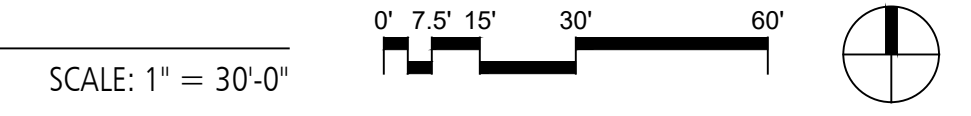
**DEFINITION**  
MATERIAL USED TO TEMPORARILY OR PERMANENTLY STABILIZE CHANNELS OR STEEP SLOPES UNTIL GROUND COVER IS ESTABLISHED.  
**PURPOSE**  
TO PROTECT THE SOILS UNTIL VEGETATION IS ESTABLISHED.  
**CONDITIONS WHERE PRACTICE APPLIES**  
ON NEWLY SEEDER SURFACES TO PREVENT THE APPLIED SEED FROM WASHING OUT; IN CHANNELS AND ON STEEP SLOPES WHERE THE FLOW HAS EROSION VELOCITIES OR CONVEYS CLEAR WATER AND TEMPER DIKE SWALES AS REQUIRED BY THE RESPECTIVE DESIGN STANDARD; AND, ON STREAM BANKS WHERE MOVING WATER IS LIKELY TO WASH OUT NEW VEGETATIVE PLANTINGS.  
**CRITERIA**  
1. THE SOIL STABILIZATION MATTING THAT IS USED MUST WITHSTAND THE FLOW VELOCITIES AND SHEAR STRESSES DETERMINED FOR THE AREA, BASED ON THE 2-YEAR, 24-HOUR FREQUENCY STORM FLOW FOR APPLICATIONS AND THE 10-YEAR, 24-HOUR FREQUENCY STORM FLOW FOR PERMANENT APPLICATIONS. DESIGNATE ON THE PLAN THE TYPE OF SOIL STABILIZATION MATTING USING THE STANDARD SYMBOL AND SHOW THE CALCULATED SHEAR STRESS FOR PROTECTIVE TREATMENT AREA.  
2. MATING IS REQUIRED ON PERMANENT CHANNELS WHERE THE RUNOFF VELOCITY EXCEEDS TWO AND HALF FEET PER SECOND (2.5 FPS) OR THE SHEAR STRESS EXCEEDS TWO POUNDS PER SQUARE FOOT (2 LB/FT<sup>2</sup>) ON TEMPORARY CHANNELS. IN CHANNELS WHERE THE RUNOFF VELOCITY EXCEEDS FOUR FEET PER SECOND (4 FPS).  
3. TEMPORARY SOIL STABILIZATION MATTING IS MADE WITH DEGRADABLE (LASTS 6 MONTHS MINIMUM), NATURAL, OR MANMADE FIBERS AND DISTRIBUTION OF FIBERS THROUGHOUT THE MATTING SHOULD BE SMOOTHER RESISTANT, THE MAXIMUM PERMISSIBLE VELOCITY FOR TEMPORARY MATING IS 6 FEET PER SECOND.  
4. PERMANENT SOIL STABILIZATION MATTING IS AN OPEN WEAVE, SYNTHETIC MATERIAL, CONSISTING OF NON-DEGRADABLE FIBERS OR ELEMENTS OF FIBER THROUGHOUT. THE MAXIMUM PERMISSIBLE VELOCITY FOR PERMANENT MATING IS 8.5 FEET PER SECOND.  
5. CALCULATE CHANNEL VELOCITY AND SHEAR STRESS USING THE FOLLOWING PROCEDURE:  
SHEAR STRESS (τ) IS A MEASURE OF THE FORCE OF MOVING WATER AGAINST THE SUBSTRATE AND IS CALCULATED AS:  
$$\tau = \rho \cdot R \cdot S_g$$
  
where:  
τ = Shear Stress (lb/ft<sup>2</sup>)  
ρ = Weight Density of Water (62.4 lb/ft<sup>3</sup>)  
R = Average Water Depth (Hydraulic Radius) (ft)  
S<sub>w</sub> = Water Surface Slope (ft/ft)

6. USE TABLE B.7 TO ASSIST IN SELECTING THE APPROPRIATE SOIL STABILIZATION MATTING FOR SLOPE APPLICATIONS BASED ON THE SLOPE, THE SLOPE LENGTH, AND THE SOIL-EROUSION K FACTOR.

**MAINTENANCE**  
VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
**CRITERIA**  
1. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
2. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
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4. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
5. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
6. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
7. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
8. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
9. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
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11. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
12. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
13. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
14. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
15. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
16. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
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19. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
20. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
21. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
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24. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
25. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
26. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
27. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
28. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
29. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
30. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
31. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
32. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
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34. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
35. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4.6 VEGETATIVE STABILIZATION.  
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55. VEGETATION MUST BE ESTABLISHED AND MAINTAINED SO THAT



1 EXISTING CONDITIONS PLAN - CAMPGROUND  
PLAN



- LEGEND:**
- CRZ EXISTING TREE & CRITICAL ROOT ZONE
  - TPF TREE PROTECTION FENCING
  - LOD LIMITS OF DISTURBANCE
- NOTES:**
1. UN-NUMBERED TREES ARE DEAD STANDING, FALLEN, OR OUTSIDE OF THE CONSTRUCTION IMPACT AREA.
  2. SEE SHEET L203 FOR FOREST STAND DELINEATION AND FOREST CONSERVATION INFORMATION, TREE LIST, AND MITIGATION NOTES.

**BID SET**

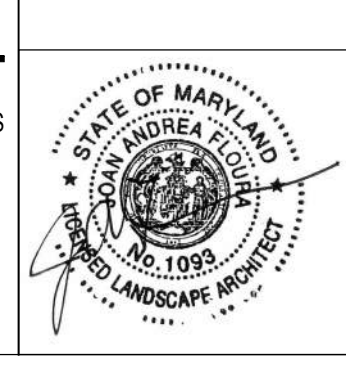
**LANDSCAPE ARCHITECT**

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Landscape Architects  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
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**PROFESSIONAL CERTIFICATION**

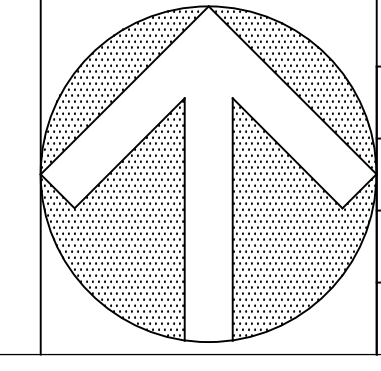
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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



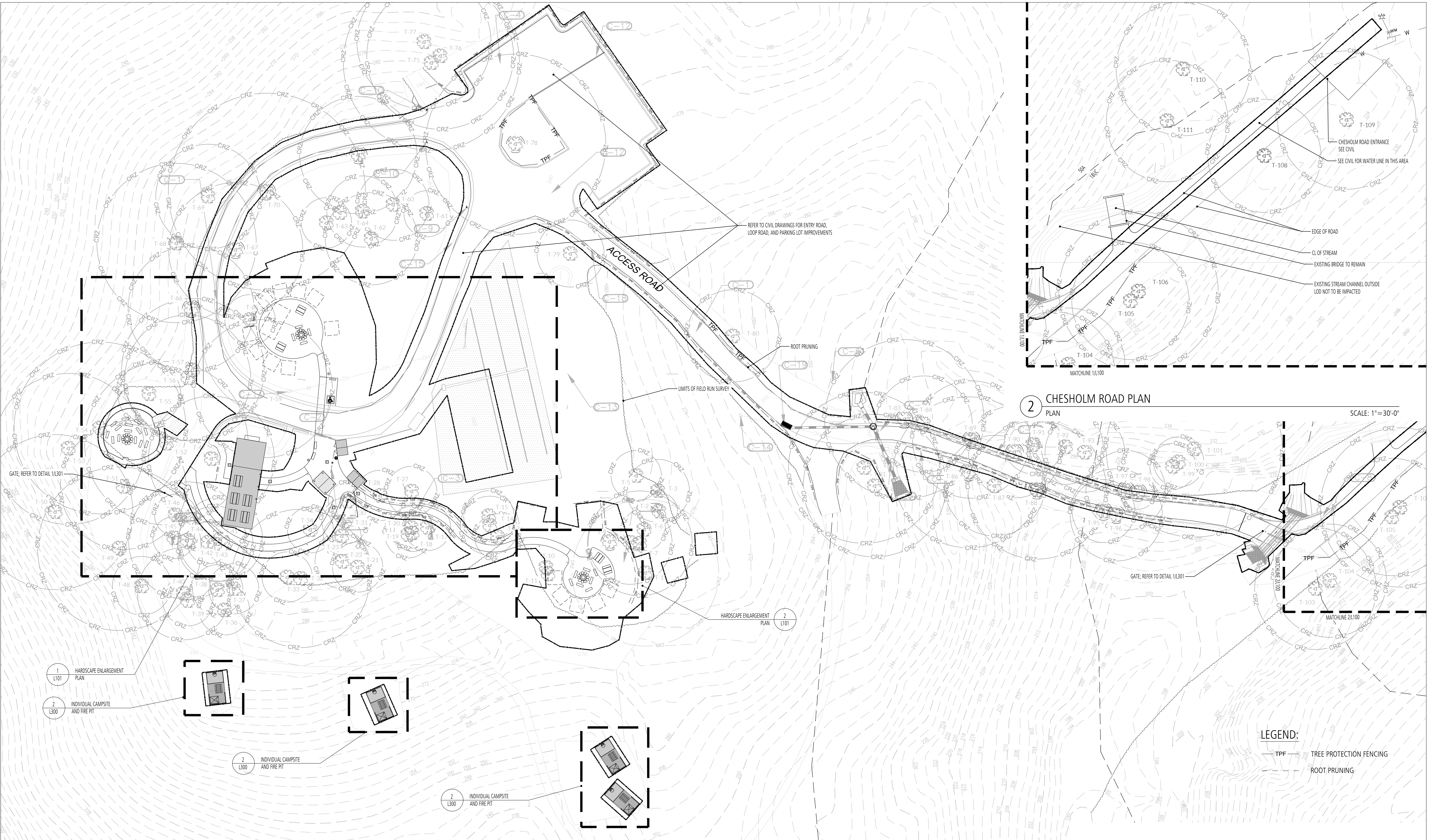
REVISIONS	

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DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**EXISTING CONDITIONS PLAN**

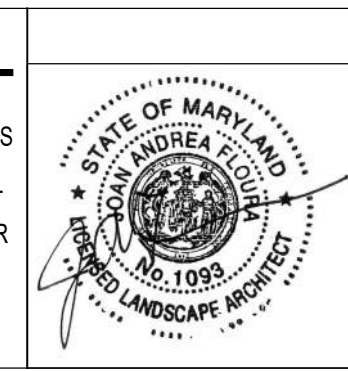
SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY SG	SHEET NO. L000
TRACED BY ZR	PROJECT NO. ON-CALL #1316
DESIGNED BY ZR	CHECKED BY ZR
CHECKED BY ZR	SHEET: 27 OF 45



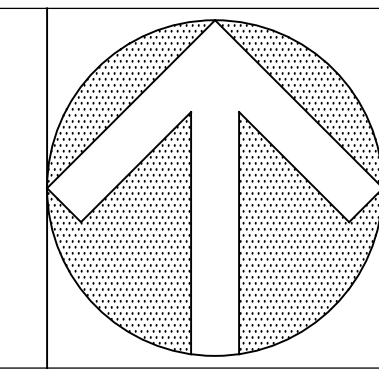
**LANDSCAPE ARCHITECT**  
**FLORA TEETER**  
 Landscape Architects  
 800 North Charles St., Ste. 300  
 Baltimore, Maryland 21201  
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 Fax: 410.528.8425

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# GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



NO.	REVISIONS

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 DEPARTMENT OF RECREATION AND PARKS  
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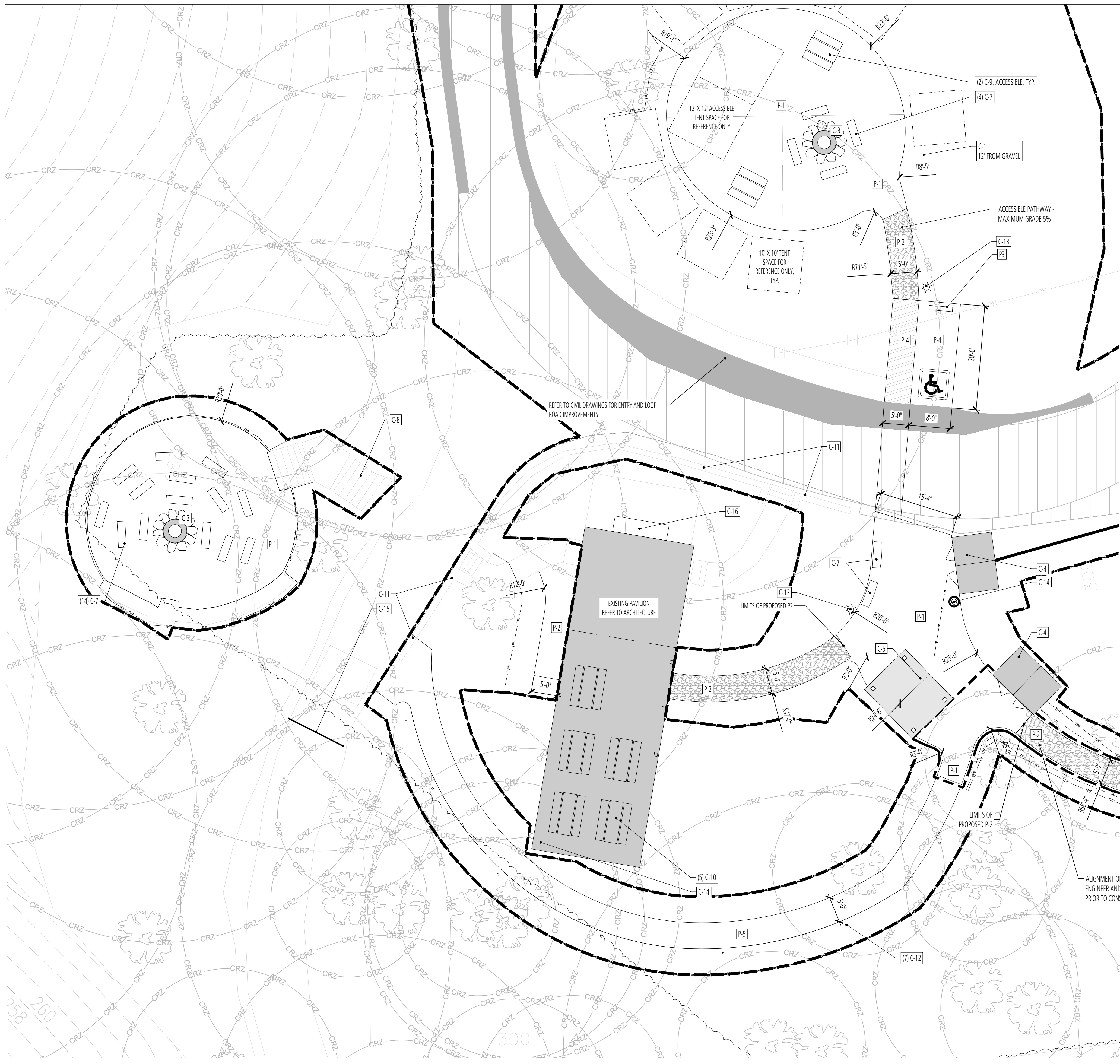
**OVERALL HARDSCAPE PLAN**

SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY SG  
 TRACED BY ZR  
 DESIGNED BY ZR  
 CHECKED BY ZR

PROJECT NO. ON-CALL #1316  
 SHEET NO. L100  
 SHEET: 28 OF 45

**BID SET**

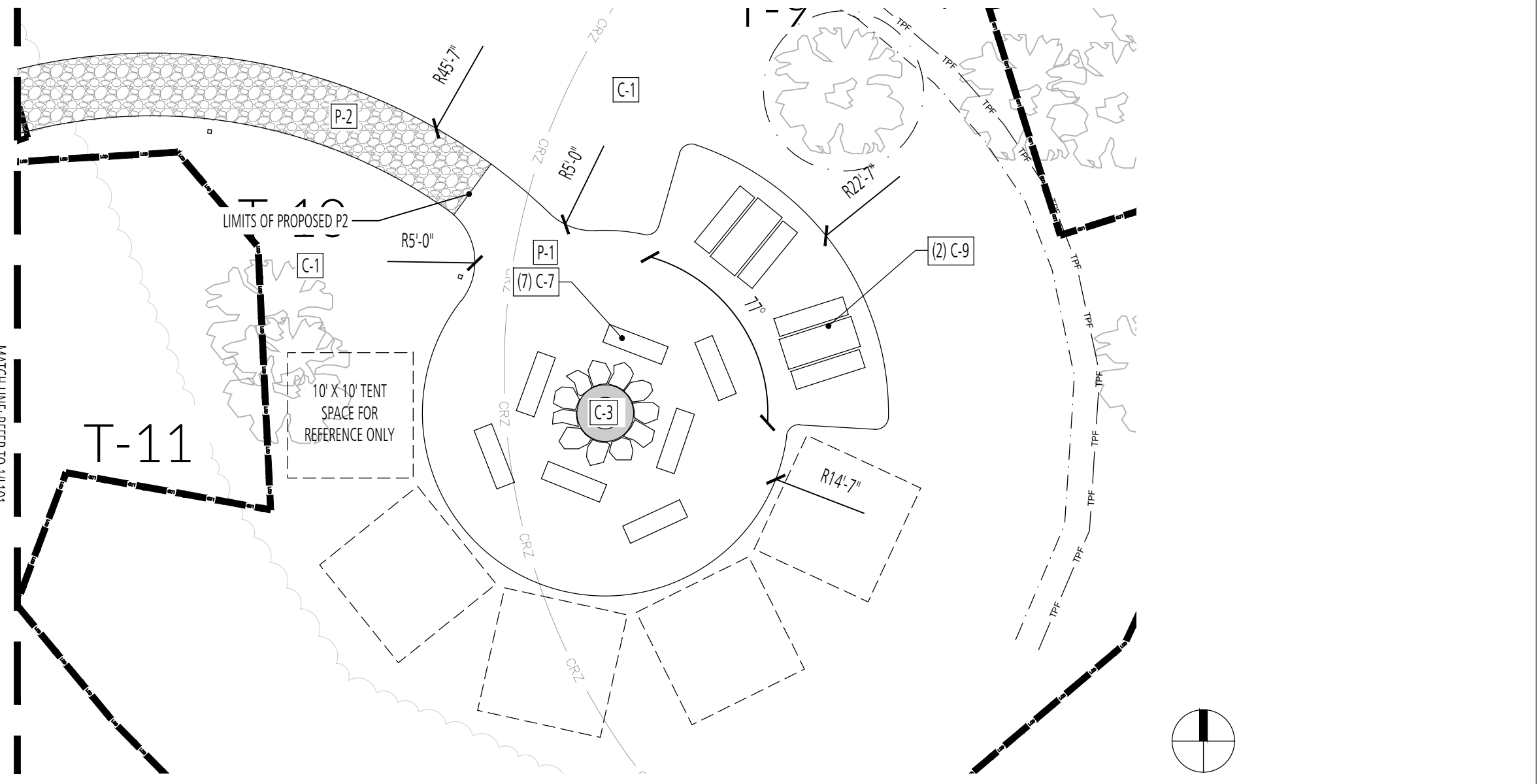


**KEYNOTES:**

CONSTRUCTION NOTES			
SYMBOL	DESCRIPTION	NOTES	REFERENCE
C-1	LAWN	REFER TO SPECIFICATIONS	
C-2	UNDERSTORY SEED MIX	ALL LOCATIONS OTHER THAN C-1	
C-3	LARGE FIRE PIT		6/L300
C-4	COMPOSTING RESTROOM	REFER TO ARCHITECTURE	2/A1.1
C-5	SINK FACILITY AND CANOPY	REFER TO ARCHITECTURE	2/A3.1
C-6	SINGLE CAMPING SITE	FIELD LOCATE	2/L300
C-7	LOG BENCH	REFER TO SPECIFICATIONS	1/L300
C-8	WOOD STAIRS REPAIRS	REPAIR OR REPLACE IN KIND	
C-9	6' PICNIC TABLE AND BENCH	REFER TO SPECIFICATIONS	8/L300
C-10	8' PICNIC TABLE AND BENCH	REFER TO SPECIFICATIONS	
C-11	STONE WALLS REPAIRS	REFER TO STRUCTURAL SPECS	
C-12	REFLECTOR POST	25' O.C. AND 1 PER INDIVIDUAL CAMP SITE	3/L300
C-13	SITE LIGHT	REFER TO ELECTRICAL	
C-14	LITTER RECEPTACLE	REFER TO SPECIFICATIONS	
C-15	VEHICULAR AND PEDESTRIAN ACCESS GATE	REFER TO ARCHITECTURE	1/L301
C-16	FIREWOOD SHED	REFER TO ARCHITECTURE	1/A1.1
PAVEMENT NOTES			
SYMBOL	DESCRIPTION	NOTES	REFERENCE
P-1	CRUSHED GRAVEL PATHWAY	REFER TO SPECIFICATIONS	5/L300
P-2	BONDED GRAVEL STONE PATHWAY	REFER TO SPECIFICATIONS	4/L300
P-3	CONCRETE WHEELSTOP	REFER TO CIVIL	
P-4	VAN ACCESSIBLE PARKING SPACE	REFER TO CIVIL	
P-5	MULCHED PATH	REFER TO CIVIL	2/L301

**LEGEND:**

- EXCAVATE TRAIL SECTION WITHIN CRITICAL ROOT ZONE WITH AIR SPADE. DO NOT CUT ROOTS GREATER THAN 2" DIAMETER WITHOUT CONSULTING BCRP FORESTRY AND THE ENGINEER. REFER TO DETAIL 4+5/L300.
- TREE PROTECTION FENCING
- ROOT PRUNING
- NOTE: REFER TO CIVIL PLAN FOR GRADING
- BONDED AGGREGATE



**2 HARDSCAPE ENLARGEMENT PLAN**

SCALE: 1" = 10'-0"

**1 HARDSCAPE ENLARGEMENT PLAN**

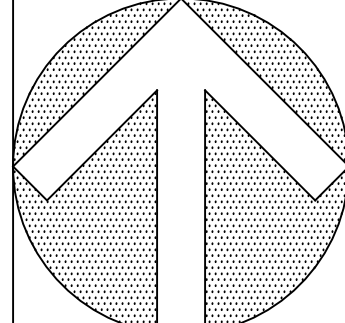
SCALE: 1" = 10'-0"

**GANT BRUNETT ARCHITECTS**  
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 Baltimore, Maryland 21201  
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 Fax: 410.528.8435

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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
 4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



**REVISIONS**

NO.	DESCRIPTION

**CITY OF BALTIMORE**  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

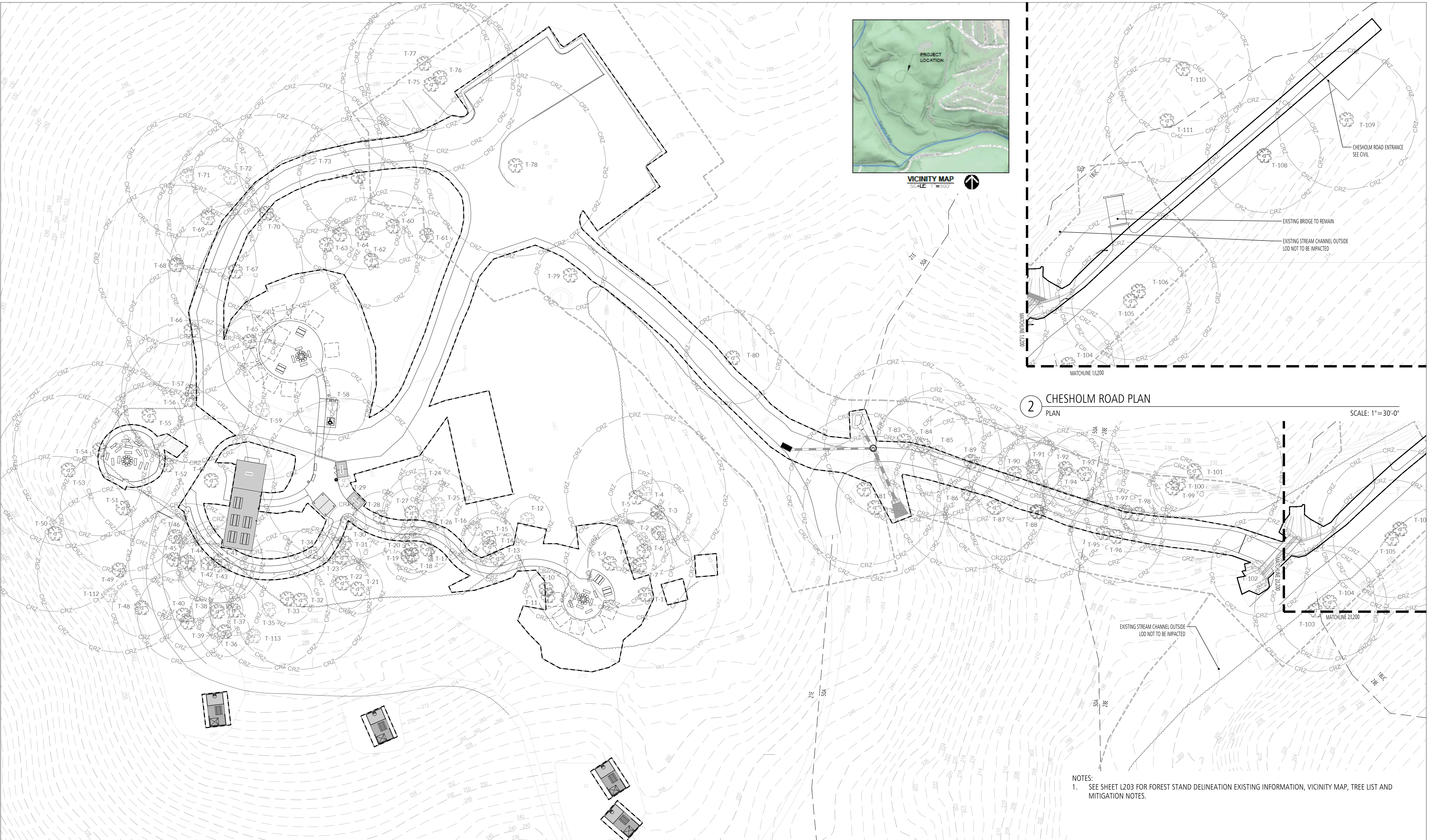
**HARDSCAPE PLAN ENLARGEMENTS**

SCALE: AS NOTED DATE: 02/13/2026

**BID SET**

DRAWN BY: SG  
 TRACED BY: ZR  
 DESIGNED BY: ZR  
 CHECKED BY: ZR

PROJECT NO. ON-CALL #1316 SHEET NO. L101  
 SHEET: 29 OF 45



1 OVERALL CAMPGROUND PLAN  
PLAN

SCALE: 1" = 30'-0"  
0' 7.5' 15' 30' 60'

2 CHESHOLM ROAD PLAN  
PLAN

SCALE: 1" = 30'-0"

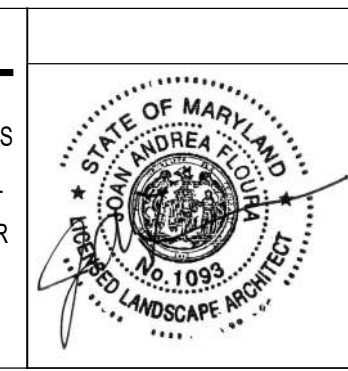
NOTES:  
1. SEE SHEET L203 FOR FOREST STAND DELINEATION EXISTING INFORMATION, VICINITY MAP, TREE LIST AND MITIGATION NOTES.

**BID SET**

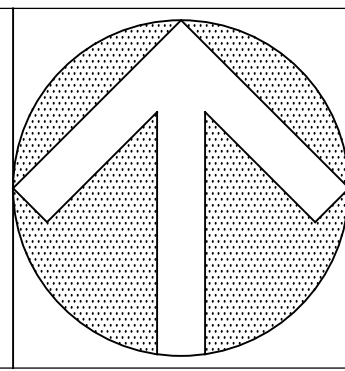
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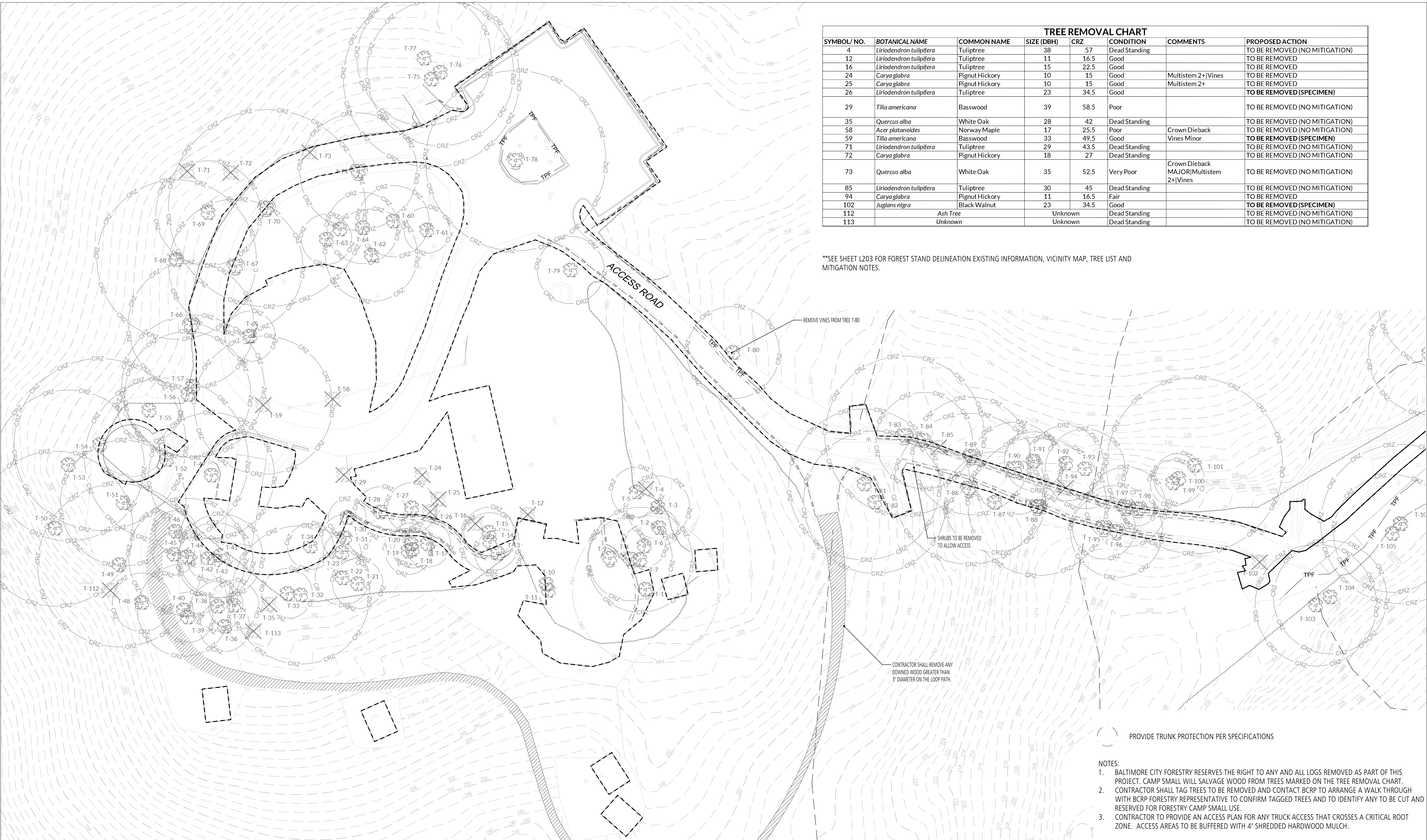
**FOREST STAND DELINEATION PLAN**

SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY	SG
TRACED BY	
DESIGNED BY	ZR
CHECKED BY	ZR
PROJECT NO.	ON-CALL #1316
SHEET NO.	L200
SHEET: 30	OF 45

TREE REMOVAL CHART							
SYMBOL/ NO.	BOTANICAL NAME	COMMON NAME	SIZE (DBH)	CRZ	CONDITION	COMMENTS	PROPOSED ACTION
4	<i>Liriodendron tulipifera</i>	Tuliptree	38	57	Dead Standing		TO BE REMOVED (NO MITIGATION)
12	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Good		TO BE REMOVED
16	<i>Liriodendron tulipifera</i>	Tuliptree	15	22.5	Good		TO BE REMOVED
24	<i>Carya glabra</i>	Pignut Hickory	10	15	Good	Multistem 2+ Vines	TO BE REMOVED
25	<i>Carya glabra</i>	Pignut Hickory	10	15	Good	Multistem 2+	TO BE REMOVED
26	<i>Liriodendron tulipifera</i>	Tuliptree	23	34.5	Good		TO BE REMOVED (SPECIMEN)
29	<i>Tilia americana</i>	Basswood	39	58.5	Poor		TO BE REMOVED (NO MITIGATION)
35	<i>Quercus alba</i>	White Oak	28	42	Dead Standing		TO BE REMOVED (NO MITIGATION)
58	<i>Acer platanoides</i>	Norway Maple	17	25.5	Poor	Crown Dieback	TO BE REMOVED (NO MITIGATION)
59	<i>Tilia americana</i>	Basswood	33	49.5	Good	Vines Minor	TO BE REMOVED (SPECIMEN)
71	<i>Liriodendron tulipifera</i>	Tuliptree	29	43.5	Dead Standing		TO BE REMOVED (NO MITIGATION)
72	<i>Carya glabra</i>	Pignut Hickory	18	27	Dead Standing		TO BE REMOVED (NO MITIGATION)
73	<i>Quercus alba</i>	White Oak	35	52.5	Very Poor	Crown Dieback MAJOR Multistem 2+ Vines	TO BE REMOVED (NO MITIGATION)
85	<i>Liriodendron tulipifera</i>	Tuliptree	30	45	Dead Standing		TO BE REMOVED (NO MITIGATION)
94	<i>Carya glabra</i>	Pignut Hickory	11	16.5	Fair		TO BE REMOVED
102	<i>Juglans nigra</i>	Black Walnut	23	34.5	Good		TO BE REMOVED (SPECIMEN)
112		Ash Tree		Unknown	Dead Standing		TO BE REMOVED (NO MITIGATION)
113		Unknown		Unknown	Dead Standing		TO BE REMOVED (NO MITIGATION)

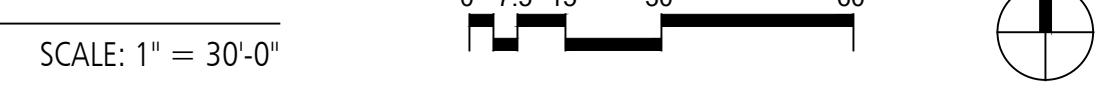
\*\*SEE SHEET L203 FOR FOREST STAND DELINEATION EXISTING INFORMATION, VICINITY MAP, TREE LIST AND MITIGATION NOTES.



PROVIDE TRUNK PROTECTION PER SPECIFICATIONS

- NOTES:
- BALTIMORE CITY FORESTRY RESERVES THE RIGHT TO ANY AND ALL LOGS REMOVED AS PART OF THIS PROJECT. CAMP SMALL WILL SALVAGE WOOD FROM TREES MARKED ON THE TREE REMOVAL CHART.
  - CONTRACTOR SHALL TAG TREES TO BE REMOVED AND CONTACT BCRP TO ARRANGE A WALK THROUGH WITH BCRP FORESTRY REPRESENTATIVE TO CONFIRM TAGGED TREES AND TO IDENTIFY ANY TO BE CUT AND RESERVED FOR FORESTRY CAMP SMALL USE.
  - CONTRACTOR TO PROVIDE AN ACCESS PLAN FOR ANY TRUCK ACCESS THAT CROSSES A CRITICAL ROOT ZONE. ACCESS AREAS TO BE BUFFERED WITH 4" SHREDDED HARDWOOD MULCH.

1 OVERALL CAMPGROUND PLAN  
PLAN



BID SET

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License: 1093 Expires: 07/26/2026

**STATE OF MARYLAND**  
LANDSCAPE ARCHITECT  
NO. 1093

**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04

NO.	DATE	REVISIONS

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**TREE REMOVAL PLAN**

SCALE: AS NOTED      DATE: 02/13/2026

DRAWN BY: SG  
TRACED BY: ZR  
DESIGNED BY: ZR  
CHECKED BY: ZR

PROJECT NO. ON-CALL #1316  
SHEET NO. L201

SHEET: 31 OF 45



**PLANT LEGEND:**

- MAJOR TREE
- MINOR TREE
- EVERGREEN TREE
- SEED MIX

PROVIDE TRUNK PROTECTION PER SPECIFICATIONS

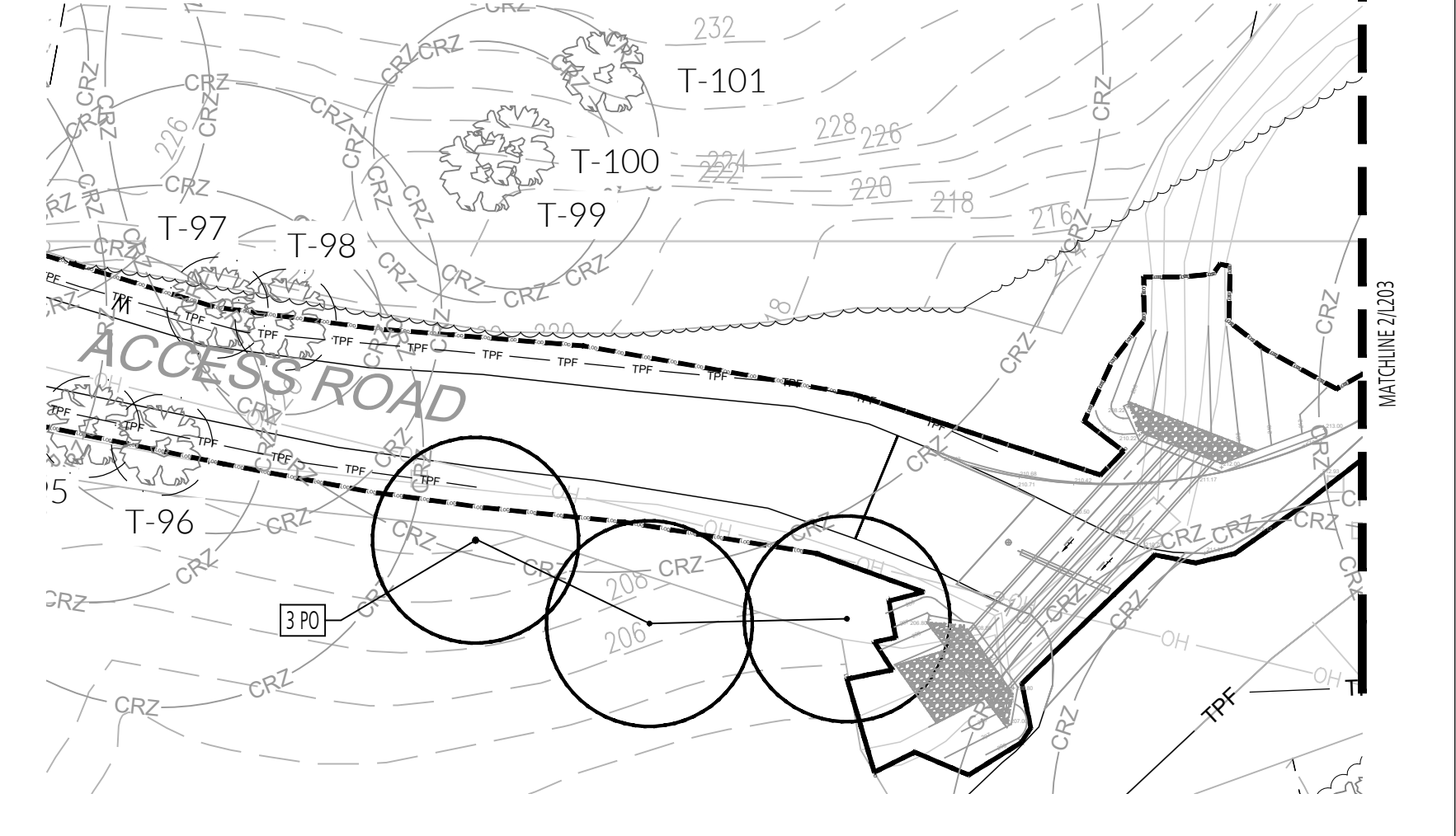
**MAINTENANCE/MONITORING NOTES:**

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND TREE CARE FOR A PERIOD OF TWO (2) YEARS. SERVICES SHALL INCLUDE, BUT NOT BE LIMITED TO: WEEDING, MULCHING, TRIMMING, PRUNING, EDGING, CULTIVATION, FERTILIZATION, WATERING, PEST CONTROL, AND ANY OTHER MAINTENANCE NECESSARY TO ENSURE HEALTHY, VIGOROUS TREE GROWTH AND WELL-KEPT PROPERTY CONDITION.
2. WATERING SHALL BE PROVIDED DURING THE GROWING SEASON AS REQUIRED.
  - 2.1. FIRST GROWING SEASON: ONCE PER WEEK.
  - 2.2. SECOND GROWING SEASON: AS NEEDED, BUT NOT LESS THAN ONCE PER MONTH DURING JULY AND AUGUST.
3. PERIODIC INSPECTIONS SHALL BE MADE FOR ANY EVIDENCE OF DISEASE OR DAMAGE.
4. REINFORCEMENT PLANTING PROVISIONS
  - 4.1. TREES, SHRUBS AND WOODY MATERIAL SHALL BE IN HEALTHY, LIVING CONDITION. ANY MATERIAL MORE THAN 25% DEAD SHALL BE CONSIDERED NON-COMPLIANT.
  - 4.2. LAWNS SHALL HAVE 90% COVERAGE WITH NO LESS THAN 5" SQUARE BARE SPOTS BEFORE FINAL ACCEPTANCE.
  - 4.3. A TWO YEAR WARRANTY ON ALL TREES SHALL BE REQUIRED PER BALTIMORE CITY REQUIREMENTS. A ONE YEAR WARRANTY ON ALL OTHER PLANTS SHALL BE REQUIRED PER BALTIMORE CITY REQUIREMENTS.
5. THERE SHALL BE AN INITIAL PLANTING APPROVAL INSPECTION AND CONTRACTOR TO SCHEDULE WALK THROUGH TREE INSPECTIONS WITH THE ENGINEER IN THE SPRING AND FALL ON THE FIRST AND SECOND YEAR ANNIVERSARIES OF THE DATE OF COMPLETION AND INITIAL ACCEPTANCE OF THE WORK.
6. SEASONAL INSPECTIONS SHALL BE MADE FOR ANY EVIDENCE OF DISEASE OR DAMAGE. ANY DEAD PLANTS OR PLANTS WHICH FAIL TO SHOW HEALTHY GROWTH MUST BE REMOVED AND REPLACED WITHIN 60 DAYS OF IDENTIFICATION OF DETERIORATED HEALTH OR DAMAGE BY THE CITY. REPLACEMENT MAY BE DELAYED UNTIL THE NEXT GROWING SEASON ONLY IF THE 60 DAY PERIOD OCCURS DURING A TIME OF YEAR NOT SUITABLE FOR PLANTING.
7. ALL REPLACEMENT PLANTS MUST MEET THE SIZE CRITERIA AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL AS REQUIRED IN THE FOREST CONSERVATION MANUAL.
8. TREES AND LARGE SHRUBS MUST BE ADEQUATELY SUPPORTED, WHEN NECESSARY TO INSURE PROPER GROWTH. TREE STAKING MUST BE REMOVED PRIOR TO FINAL INSPECTION, WITH THE EXCEPTION OF PLANTS REPLACED DURING THE WARRANTY PERIOD AND NOT YET ESTABLISHED.
9. REFER TO L200 FOR GENERAL PLANTING NOTES AND DETAILS.
10. MAINTENANCE AND MOVING OF THE SOODED TURF LAWN AREA IS REQUIRED SHALL BE PROVIDED A MINIMUM OF 30 DAYS FROM THE DATE OF SUBSTANTIAL COMPLETION PROVIDED THAT AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, WELL ROOTED, EVEN COLORED, VIABLE TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN JOINTS, BARE AREAS NOT EXCEEDING 5 BY 9 INCHES (125 BY 125 MM), AND SURFACE IRREGULARITIES.
11. REFORESTATION TREES TO BE FIELD LOCATED BY ENGINEER AND FORESTRY PRIOR TO PLANTING.

**PLANT SCHEDULE:**

Major Trees						
Symbol	Quantity	Botanical Name	Common Name	Size	Note	Native or Adapted
ASN	3	<i>Acer saccharinum</i>	Silver Maple	2.5' Cal.	B&B	Native
BN	2	<i>Betula nigra</i>	River Birch	8' Ht.	B&B/3 stems each	Native
CI	1	<i>Carya illinoensis</i>	Pecan	1' Cal.	B&B	Native
CO	2	<i>Carya ovata</i>	Shagbark Hickory	2.5' Cal.	B&B	Native
LT	1	<i>Linodendron tulipifera</i>	Tulip Poplar	2.5' Cal.	B&B	Native
PO	5	<i>Platanus occidentalis</i>	Sycamore	2.5' Cal.	B&B	Native
PDE	1	<i>Populus deltoides</i>	Eastern Cottonwood	2.5' Cal.	B&B	Native
QA	5	<i>Quercus alba</i>	White Oak	2.5' Cal.	B&B	Native
QBI	2	<i>Quercus bicolor</i>	Swamp White Oak	2.5' Cal.	B&B	Native
QR	10	<i>Quercus rubra</i>	Northern Red Oak	2.5' Cal.	B&B	Native
RP	1	<i>Robinia pseudoacacia</i>	Black Locust	2.5' Cal.	B&B	Native
TA	1	<i>Tilia americana</i>	American Basswood	2.5' Cal.	B&B	Native
Minor Trees						
Symbol	Quantity	Botanical Name	Common Name	Size	Note	Native or Adapted
AMAR	4	<i>Amelanchier arborea</i>	Downy Serviceberry	6-7' Ht.	B&B/3 stems each	Native
AC	8	<i>Amelanchier canadensis</i>	Serviceberry	6-7' Ht.	B&B/3 stems each	Native
AT	4	<i>Asimina triloba</i>	Pawpaw	8' Ht.	B&B	Native
CCA	2	<i>Cercis canadensis</i>	Eastern Redbud	8' Ht.	B&B/3 stems each	Native
CFL	5	<i>Cornus florida</i>	Flowering Dogwood	8' Ht.	B&B	Native
DV	2	<i>Diospyros virginiana</i>	Common Persimmon	1' Cal.	B&B	Native
SA	8	<i>Sassafras albidum</i>	Sassafras	1' Cal.	B&B	Native
Evergreen Trees						
Symbol	Quantity	Botanical Name	Common Name	Size	Note	Native or Adapted
JV	13	<i>Juniperus virginiana</i>	Eastern Red Cedar	8' Ht.	B&B	Native
PS	6	<i>Pinus strobus</i>	Eastern White Pine	8' Ht.	B&B	Native
PV	8	<i>Pinus virginiana</i>	Virginia Pine	8' Ht.	B&B	Native
Seeding						
Symbol	Quantity	Seed Mix	Size	Notes	Native or Adapted	
ERNMX-132-1	7,200 SF	Ernst Seed Mix/Right-of-Way Native Woods Mix w/ Annual Ryegrass		Seed at 30 lb per acre		

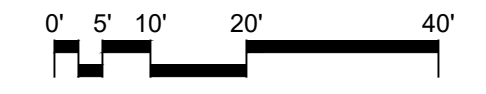
\*\*SEE SHEET L203 FOR FOREST STAND DELINEATION AND FOREST CONSERVATION INFORMATION, TREE LIST, AND MITIGATION NOTES.



**1 PLANTING PLAN**

PLAN

SCALE: 1" = 20'-0"



**2 PLANTING PLAN**

PLAN

SCALE: 1" = 20'-0"



**BID SET**

**LANDSCAPE ARCHITECT**  
**GANT BRUNETT ARCHITECTS**  
 3700 KOPPERS ST., STE 300  
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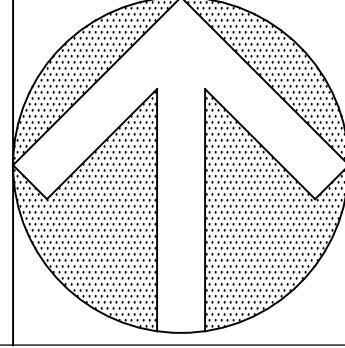
**FLORA TEETER**  
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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



**REVISIONS**

NO.	DATE	DESCRIPTION

**CITY OF BALTIMORE**  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**PLANTING & FOREST CONSERVATION PLAN**

SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY: SG  
 TRACED BY: ZR  
 DESIGNED BY: ZR  
 CHECKED BY: ZR

PROJECT NO. ON-CALL #1316 SHEET NO. L202  
 SHEET: 32 OF 45

TREE IDENTIFICATION AND ASSESSMENT CHART						
SYMBOL/NO.	BOTANICAL NAME	COMMON NAME	SIZE (DBH)	CRZ	CONDITION	COMMENTS
1	<i>Liriodendron tulipifera</i>	Tuliptree	9	25.5	Good	Multistem 2 Vines Minor
2	<i>Liriodendron tulipifera</i>	Tuliptree	9	23.5	Good	
3	<i>Liriodendron tulipifera</i>	Tuliptree	15	22.5	Good	
4	<i>Liriodendron tulipifera</i>	Tuliptree	38	57	Dead Standing	
5	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	Vine Major Damage
6	<i>Pinus strobus</i>	White Pine	18	27	Good	
7	<i>Pinus strobus</i>	White Pine	25	37.5	Good	
8	<i>Pinus strobus</i>	White Pine	20	30	Good	
9	<i>Pinus strobus</i>	White Pine	21	31.5	Good	
10	<i>Liriodendron tulipifera</i>	Tuliptree	9	13.5	Good	
11	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Good	
12	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Good	
13	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Fair	Multistem 2
14	<i>Liriodendron tulipifera</i>	Tuliptree	14	21	Good	
15	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
16	<i>Liriodendron tulipifera</i>	Tuliptree	15	22.5	Good	
17	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Good	
18	<i>Liriodendron tulipifera</i>	Tuliptree	9	13.5	Good	
19	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Good	
20	<i>Liriodendron tulipifera</i>	Tuliptree	10	15	Good	
21	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
22	<i>Liriodendron tulipifera</i>	Tuliptree	13	19.5	Good	
23	<i>Liriodendron tulipifera</i>	Tuliptree	9	13.5	Good	
24	<i>Carya glabra</i>	Pignut Hickory	10	15	Good	Multistem 2+ Vines
25	<i>Carya glabra</i>	Pignut Hickory	10	15	Good	Multistem 2+
26	<i>Liriodendron tulipifera</i>	Tuliptree	23	34.5	Good	
27	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
28	<i>Acer saccharum</i>	Sugar Maple	12	18	Good	
29	<i>Tilia americana</i>	Basswood	39	58.5	Fair	
30	<i>Liriodendron tulipifera</i>	Tuliptree	9	13.5	Good	
31	<i>Liriodendron tulipifera</i>	Tuliptree	11	16.5	Good	
32	<i>Quercus rubra</i>	Red Oak	33	49.5	Good	
33	<i>Carya glabra</i>	Pignut Hickory	12	18	Good	
34	<i>Carya glabra</i>	Pignut Hickory	11	16.5	Good	
35	<i>Quercus alba</i>	White Oak	28	42	Dead Standing	
36	<i>Quercus alba</i>	White Oak	12	18	Good	
37	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
38	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
39	<i>Carya glabra</i>	Pignut Hickory	12	18	Good	
40	<i>Quercus rubra</i>	Red Oak	22	33	Good	Crown Dieback Minor
41	<i>Quercus rubra</i>	Red Oak	20	30	Good	
42	<i>Carya glabra</i>	Pignut Hickory	10	15	Good	
43	<i>Quercus rubra</i>	Red Oak	18	27	Good	
44	<i>Quercus rubra</i>	Red Oak	28	42	Good	Crown Dieback Minor
45	<i>Tilia americana</i>	Basswood	10	15	Good	Multistem 2
46	<i>Tilia americana</i>	Basswood	10	15	Good	
47	<i>Quercus alba</i>	White Oak	30	45	Fair	Crown Dieback Minor
48	<i>Carya glabra</i>	Pignut Hickory	14	21	Good	
49	<i>Quercus alba</i>	White Oak	39	58.5	Good	Crown Dieback Minor
50	<i>Liriodendron tulipifera</i>	Tuliptree	37	55.5	Good	
51	<i>Quercus alba</i>	White Oak	30	45	Good	Crown Dieback Minor
52	<i>Quercus alba</i>	White Oak	39	58.5	Good	
53	<i>Quercus alba</i>	White Oak	36	54	Good	
54	<i>Liriodendron tulipifera</i>	Tuliptree	41	61.5	Good	
55	<i>Fagus grandifolia</i>	American Beech	15	22.5	Good	
56	<i>Fraxinus americana</i>	White Ash	30	45	Fair	Leaning Vines Minor
57	<i>Ulmus rubra</i>	Slippery Elm	34	51	Fair	Multistem 2
58	<i>Acer platanoides</i>	Norway Maple	17	25.5	Poor	Crown Dieback
59	<i>Tilia americana</i>	Basswood	33	49.5	Good	Vines Minor
60	<i>Tilia americana</i>	Basswood	17	25.5	Good	
61	<i>Morus alba</i>	White Mulberry	11	16.5	Fair	Multistem 2
62	<i>Carya glabra</i>	Pignut Hickory	22	33	Good	
63	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
64	<i>Acer saccharum</i>	Sugar Maple	17	25.5	Good	
65	<i>Liriodendron tulipifera</i>	Tuliptree	12	18	Good	
66	<i>Tilia americana</i>	Basswood	30	45	Good	
67	<i>Tilia americana</i>	Basswood	32	48	Good	
68	<i>Liriodendron tulipifera</i>	Tuliptree	38	57	Good	
69	<i>Acer saccharum</i>	Sugar Maple	25	37.5	Fair	
70	<i>Tilia americana</i>	Basswood	47	70.5	Fair	Crown Dieback  Dead wood Multistem 2+ Root Exposed Vines
71	<i>Liriodendron tulipifera</i>	Tuliptree	29	43.5	Dead Standing	
72	<i>Carya glabra</i>	Pignut Hickory	18	27	Dead Standing	
73	<i>Quercus alba</i>	White Oak	35	52.5	Very Poor	Crown Dieback MAJOR Multistem 2+ Vines
74	<i>Tilia americana</i>	Basswood	28	42	Fair	Crown Dieback Minor Vines Minor
75	<i>Liriodendron tulipifera</i>	Tuliptree	28	42	Good	Vines Minor
76	<i>Liriodendron tulipifera</i>	Tuliptree	35	52.5	Good	
77	<i>Platanus occidentalis</i>	Sycamore	32	48	Good	Scar Vines
78	<i>Tilia americana</i>	Basswood	43	64.5	Fair	Crown Dieback  Vines Minor
79	<i>Juglans nigra</i>	Black Walnut	16	24	Good	
80	<i>Ulmus rubra</i>	Slippery Elm	22	33	Poor	
81	<i>Liriodendron tulipifera</i>	Tuliptree	36	54	Good	Vines Minor
82	<i>Liriodendron tulipifera</i>	Tuliptree	34	51	Good	
83	<i>Liriodendron tulipifera</i>	Tuliptree	38	57	Good	Vines Minor
84	<i>Carya glabra</i>	Pignut Hickory	23	34.5	Good	
85	<i>Liriodendron tulipifera</i>	Tuliptree	30	45	Dead Standing	
86	<i>Liriodendron tulipifera</i>	Tuliptree	36	54	Good	Vines
87	<i>Quercus alba</i>	White Oak	24	36	Good	Leaning Poor Form
88	<i>Liriodendron tulipifera</i>	Tuliptree	33	49.5	Good	
89	<i>Carya glabra</i>	Pignut Hickory	28	42	Good	Vines
90	<i>Carya glabra</i>	Pignut Hickory	22	33	Fair	Vines
91	<i>Carya glabra</i>	Pignut Hickory	14	21	Good	
92	<i>Carya glabra</i>	Pignut Hickory	18	27	Good	
93	<i>Carya glabra</i>	Pignut Hickory	19	28.5	Good	Vines
94	<i>Carya glabra</i>	Pignut Hickory	11	16.5	Fair	
95	<i>Ailanthus altissima</i>	Ailanthus	15	22.5	Good	
96	<i>Carya glabra</i>	Pignut Hickory	22	33	Fair	Vines
97	<i>Carya glabra</i>	Pignut Hickory	19	28.5	Good	
98	<i>Acer platanoides</i>	Norway Maple	8	12	Fair	
99	<i>Carya glabra</i>	Pignut Hickory	11	16.5	Fair	Vine Major Damage
100	<i>Carya glabra</i>	Pignut Hickory	12	18	Fair	Vine Major Damage
101	<i>Liriodendron tulipifera</i>	Tuliptree	42	63	Good	
102	<i>Juglans nigra</i>	Black Walnut	23	34.5	Good	
103	<i>Liriodendron tulipifera</i>	Tuliptree	29	43.5	Good	
104	<i>Liriodendron tulipifera</i>	Tuliptree	27	40.5	Good	
105	<i>Quercus alba</i>	White Oak	28	42	Good	
106	<i>Quercus alba</i>	White Oak	38	57	Good	
108	<i>Platanus occidentalis</i>	Sycamore	27	40.5	Good	
109	<i>Liriodendron tulipifera</i>	Tuliptree	33	49.5	Fair	Vine Major Damage
110	<i>Liriodendron tulipifera</i>	Tuliptree	32	48	Poor	Vine Major Damage
111	<i>Platanus occidentalis</i>	Sycamore	29	43.5	Fair	Vines
112	Ash Tree	Unknown	Unknown	Unknown	Dead Standing	
113	Unknown	Unknown	Unknown	Unknown	Dead Standing	

FOREST CONSERVATION WORKSHEET	
<b>Net Tract Area</b>	<b>Acres</b>
A. Total Tract Area	1.86
B. Deductions	0.00
C. Net Tract Area	1.86
<b>Land Use Category</b>	
D. Afforestation Threshold	15% 0.28
E. Conservation Threshold	20% 0.37
<b>Existing Forest Cover</b>	
F. Existing Forest Cover w/in Net Tract Area	0.05
G. Area of Forest Above Conservation Threshold	0.00
<b>Breakeven Point</b>	
H. Breakeven Point	0.05
I. Forest Clearing Permitted Without Mitigation	0.00
<b>Proposed Forest Clearing</b>	
J. Total Area of Forest to be Cleared	0.00
K. Total Area of Forest to be Retained	0.05
<b>Planting Requirements</b>	
L. Reforestation for Clearing Above the Conservation Threshold	0.00
M. Reforestation for Clearing Below the Conservation Threshold	0.00
N. Credit for Retention Above the Conservation Threshold	0.00
P. Total Reforestation Required	0.00
Q. Total Afforestation Required	0.23
Ignor. formulas--for N 0 --for P 0.00	
<b>R. Total Planting Required</b>	<b>0.23</b>

SOILS PRESENT: SEE FSD PLAN FOR SOILS LINES/ LABELS

SOIL TYPE: 18UC - LEGORE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES, NOT HYDRIC, DRAINAGE CLASS: B

SOIL TYPE: 21C - MANOR LOAM, 8 TO 15 PERCENT SLOPES, NOT HYDRIC, DRAINAGE CLASS: B

SOIL TYPE: 21E - MANOR LOAM, 15 TO 50 PERCENT SLOPES, NOT HYDRIC, DRAINAGE CLASS: B

SOIL TYPE: 22UC - MANOR-URBAN LAND COMPLEX, 8 TO 15 PERCENT, NOT HYDRIC, DRAINAGE CLASS: B

SOIL TYPE: 28E - RELAY SILT LOAM, 15 TO 60 PERCENT SLOPES, VERY STONY, NOT HYDRIC, DRAINAGE CLASS: B

SOIL TYPE: 50A - HATBORO-CODORUS COMPLEX, 0 TO 3 PERCENT SLOPES, FREQUENTLY FLOODED, NOT HYDRIC, DRAINAGE CLASS: B/D



VICINITY MAP  
SCALE 1"=500'

SUMMARY TABLE (FOR PROJECT LIMITS)	
EXISTING FOREST	0.05 ACRES
WETLANDS	0 ACRES
FORESTED WETLAND	0 ACRES
STREAM BUFFER	0 ACRES
FORESTED STREAM BUFFER	0 ACRES
100 YEAR FLOODPLAIN	0 ACRES
FORESTED 100 YEAR FLOODPLAIN	0 ACRES
LINEAR EXTENTS OF STREAMS	0 L.F.
AVERAGE WIDTH OF STREAM BUFFER	0 FEET
M	N/A
CRITICAL AREA	N/A

**FOREST CONSERVATION CALCULATIONS\*** (include forest conservation worksheet for reference)

PER THE FOREST CONSERVATION WORKSHEET, THIS SITE QUALIFIES AS REFORESTATION / AFFORESTATION. THE PLANTING MITIGATION REQUIREMENTS ARE CALCULATED AS FOLLOWS:

- THE TOTAL NET TRACT AREA = 1.86 ACRES
- THE REQUIRED REFORESTATION (20% OF THE NET TRACT AREA) = 0.37 ACRES  
OR  
THE REQUIRED AFFORESTATION (15% OF THE NET TRACT AREA) = 0.28 ACRES
- THE TREE PLANTING REQUIREMENT IS 0.28 ACRES X 100 TREES (2.5' CALIPER OR GREATER) PER ACRE. 0.28 ACRES X 100 = 28 TREES.
- THE TREE CONVERSION RATIOS ARE AS FOLLOWS:
  - MAJOR TREES (2.5' CAL. MIN.) @ 1:1
  - MINOR TREES (1.5' CAL. MIN.) AND EVERGREEN TREES (6'-0" HT. MIN.) @ 2:1
  - SHRUBS (UP TO 20% OF TOTAL REQUIREMENT) @ 10:1
- PLANTING PROVIDED:
  - 2 MAJOR TREES = 2
  - 52 MINOR TREES = 26
- FOREST CONSERVATION MITIGATION IS BEING PROVIDED FULLY BY ON SITE PLANTING.

**SPECIMEN TREE MITIGATION\*** (include tree inventory for reference)

ACCORDING TO A VARIANCE FOR SPECIMEN TREE REMOVAL IN BALTIMORE CITY, SPECIMEN TREES HAVE A MITIGATION REQUIREMENT. THESE MITIGATION REQUIREMENTS ARE IN ADDITION TO THE FOREST CONSERVATION REQUIREMENTS. MITIGATION IS ONLY REQUIRED FOR THOSE TREES THAT ARE NOT SPECIFIED AS INVASIVE OR HAZARDOUS PER THE FOREST STAND DELINEATION AND FOREST CONSERVATION PLAN. SPECIMEN TREE MITIGATION IS AS FOLLOWS:

- 1:1 FOR THE FIRST 60 CALIPER INCHES REMOVED
- 1:2 FOR THE NEXT 40 CALIPER INCHES REMOVED
- 1:4 FOR THE REMAINING CALIPER INCHES REMOVED

- TOTAL SPECIMEN INCHES FOR REMOVAL ON SITE = 100'
- MITIGATION PLANTING REQUIRED:
  - 60 INCHES REPLACED AT 1:1 = 60
  - 40 INCHES REPLACED AT 1:2 = 20
- THE TOTAL MITIGATION REQUIRED IS 80 INCHES.
- THE MITIGATION PLANTING WILL BE SATISFIED BY PLANTING 32 TREES AT 2.5 CALIPER INCHES ON SITE.

1 FOREST STAND DELINEATION AND FOREST CONSERVATION NOTES SCALE: NTS

2 CHESHOLM ROAD PLAN SCALE: 1"=20'-0"

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STATE OF MARYLAND  
LANDSCAPE ARCHITECT  
NO. 1093

**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04

NO.	REVISIONS

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**FOREST STAND DELINEATION AND FOREST CONSERVATION NOTES**

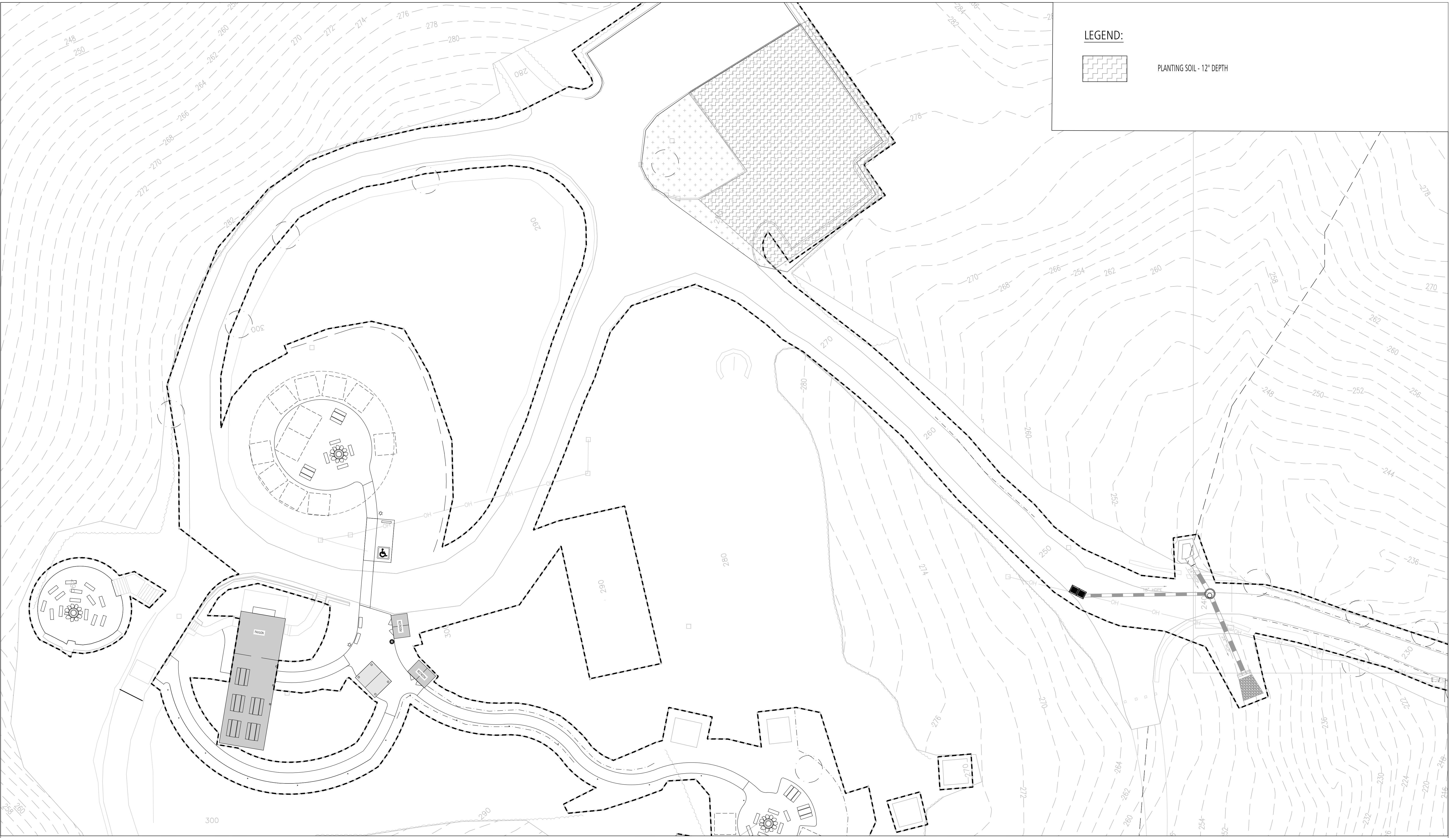
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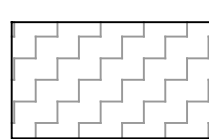
DRAWN BY: SG  
TRACED BY: ZR  
DESIGNED BY: ZR  
CHECKED BY: ZR

PROJECT NO. ON-CALL #1316 SHEET NO. L203

SHEET: 33 OF 45

**BID SET**



**LEGEND:**  
 PLANTING SOIL - 12" DEPTH

**1** SOIL PLACEMENT PLAN  
 PLAN

SCALE: 1" = 20'-0"

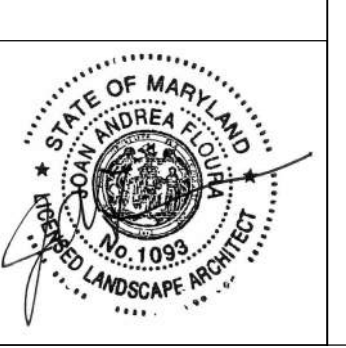


**BID SET**

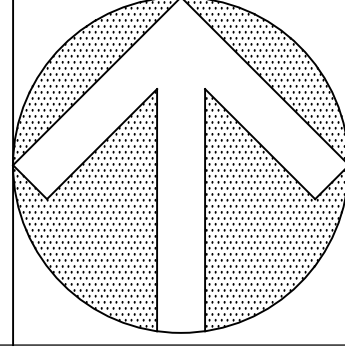
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 Fax: 410.528.8425

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 License: 1093 Expires: 07/26/2026



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 4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
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REVISIONS	

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**SOIL PLACEMENT PLAN**

SCALE: AS NOTED      DATE: 02/13/2026

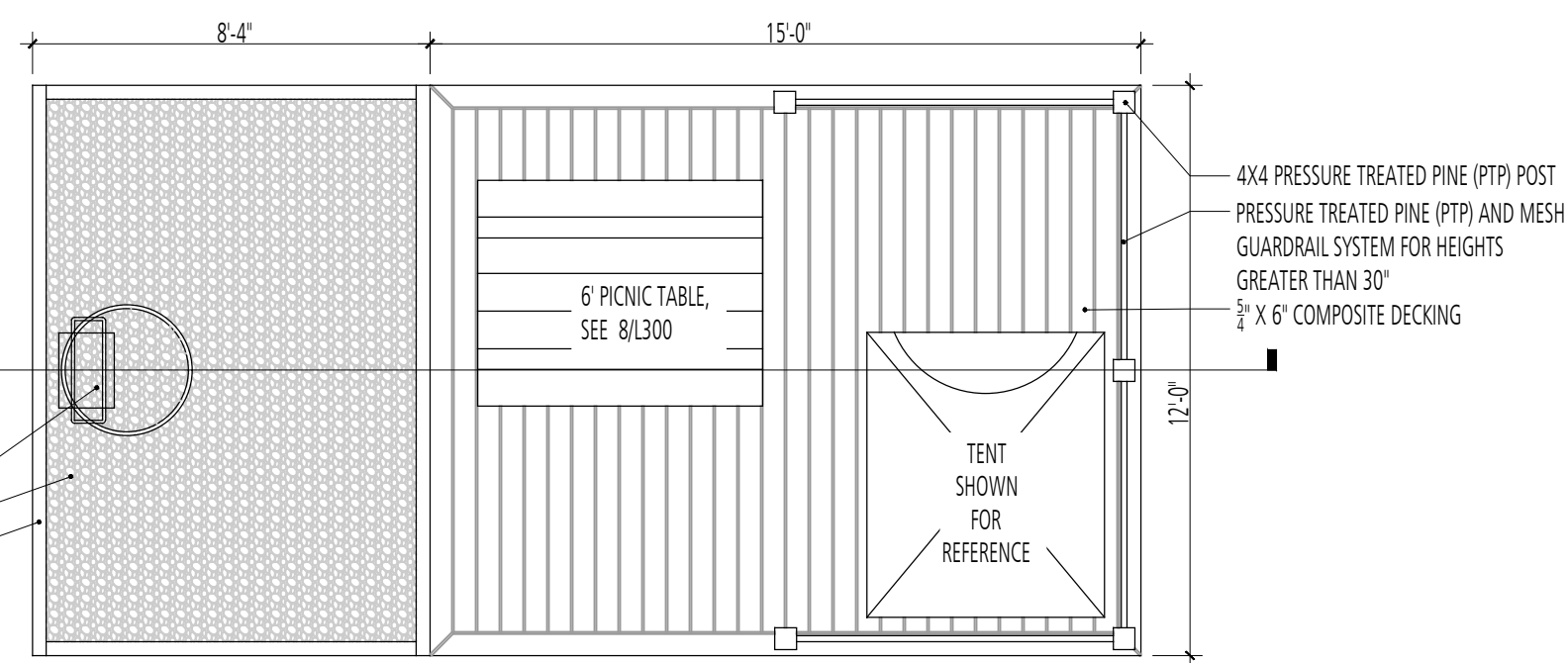
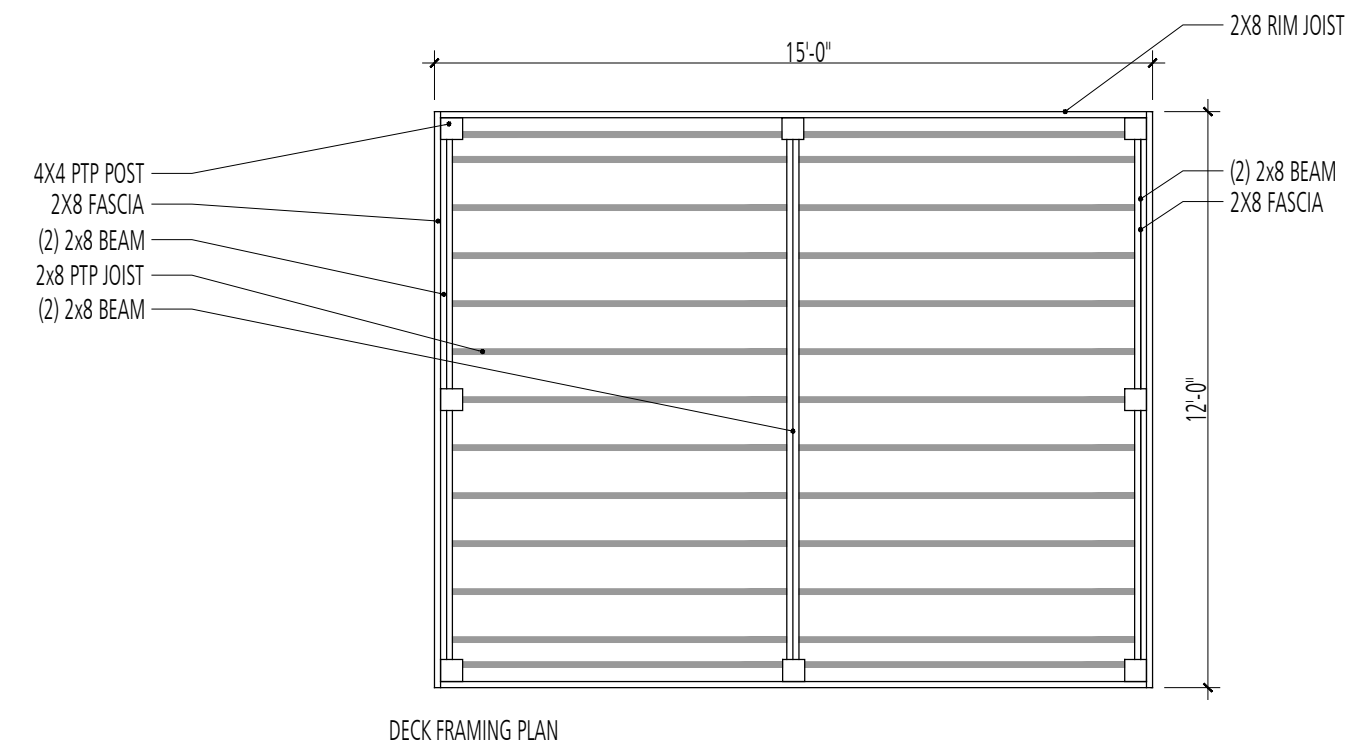
DRAWN BY	SG
TRACED BY	ZR
DESIGNED BY	ZR
CHECKED BY	ZR
PROJECT NO.	ON-CALL #1316
SHEET NO.	<b>L204</b>
SHEET: 34	OF 45



NOTES:  
 1. TAPER LEG BENCH BY CAMP SMALL  
 2. 5' LENGTH  
 3. BENCHES TO BE PROVIDED BY CAMP SMALL. CONTRACTOR TO CARRY AN ALLOWANCE FOR BENCHES.  
<https://www.treebaltimore.org/camp-small>

1 LOG BENCH

NTS



NOTES:  
 1. ALL FASTENERS AND HARDWARE TO BE GALVANIZED.  
 2. PROVIDE SHOP DRAWINGS INDICATING LAYOUT OF FRAMING AND ALL COMPONENTS.  
 3. THE EXISTING CONDITIONS AT EACH INDIVIDUAL CAMPSITE VARY. CONTRACTOR TO PROVIDE SHOP DRAWINGS INDICATING PROPOSED SITE PLANS, THE EXTENTS OF WALLS AND RAILING REQUIRED FOR EACH SITE.  
 4. FINAL LOCATIONS OF EACH CAMPSITE WILL BE FIELD LOCATED BY BCRP AND LANDSCAPE ARCHITECTS.  
 5. IT IS INTENDED THAT NO TREES WILL BE REMOVED AS PART OF INDIVIDUAL CAMPSITE CONSTRUCTION.

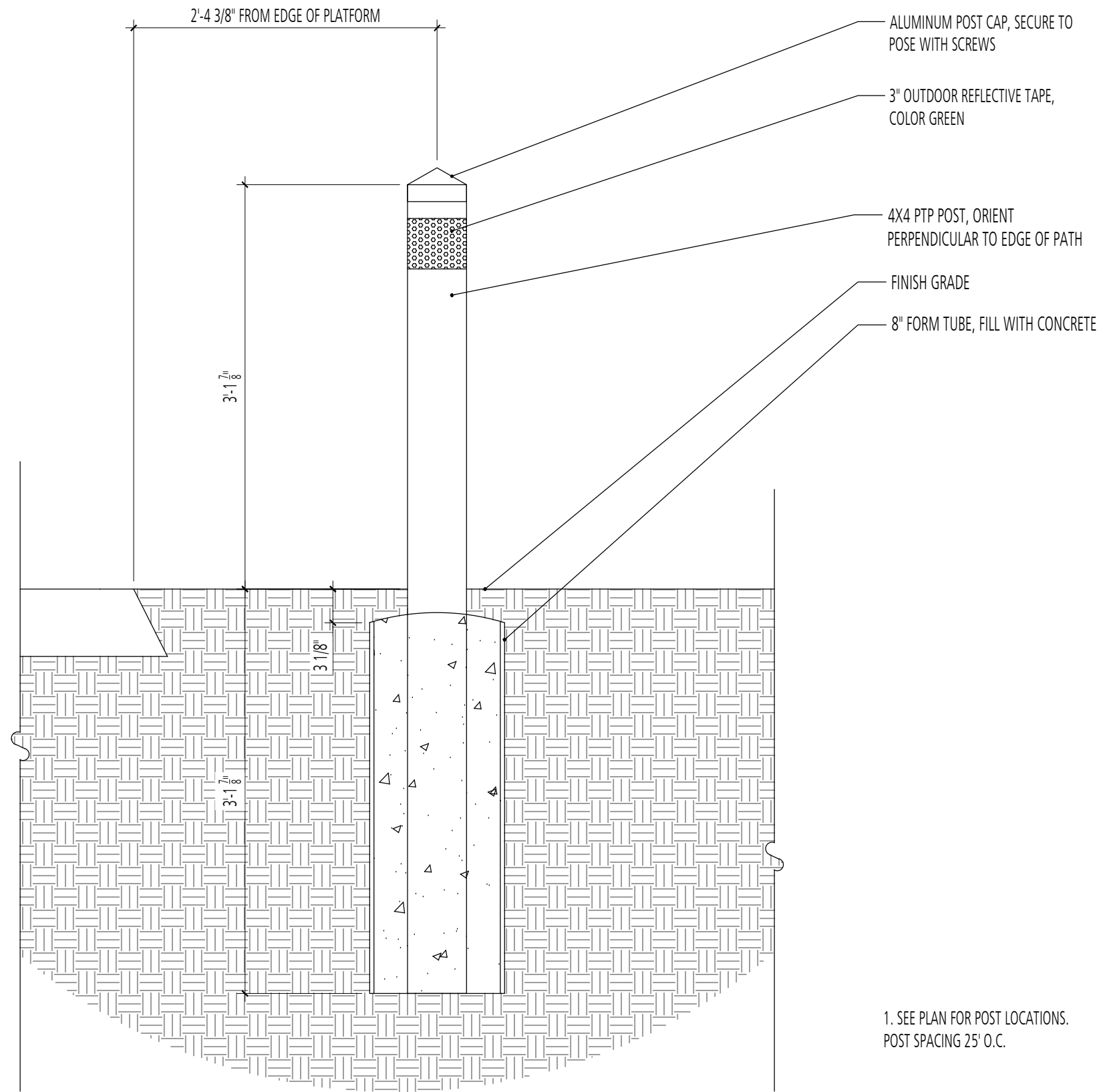
2 INDIVIDUAL CAMPING SITE AND FIRE PIT

SCALE: 1/4" = 1'-0"

3 REFLECTOR POST

SECTION

NTS

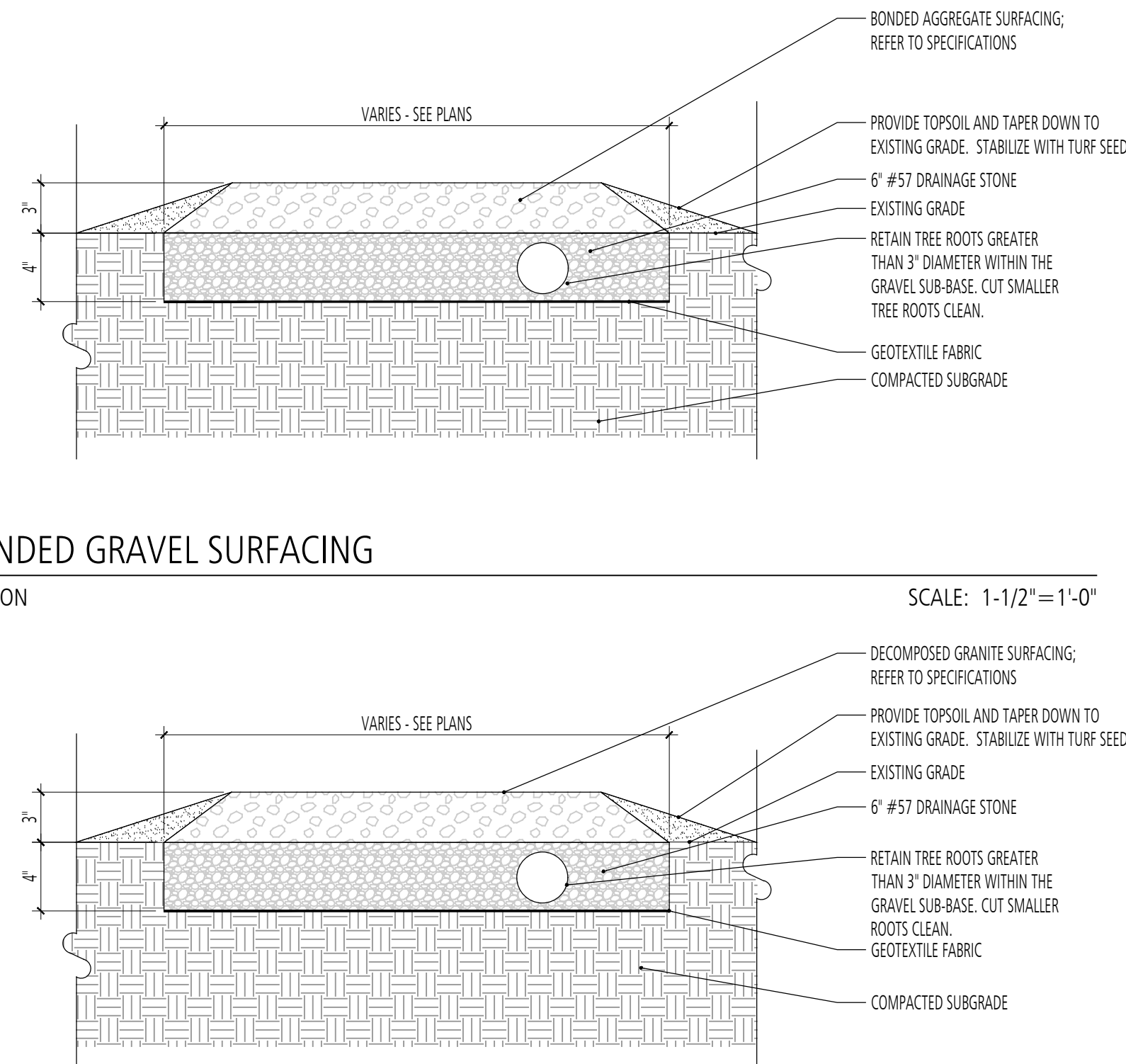


1. SEE PLAN FOR POST LOCATIONS. POST SPACING 2'5" O.C.

4 BONDED GRAVEL SURFACING

SECTION

SCALE: 1-1/2" = 1'-0"



5 CRUSHED GRAVEL SURFACING

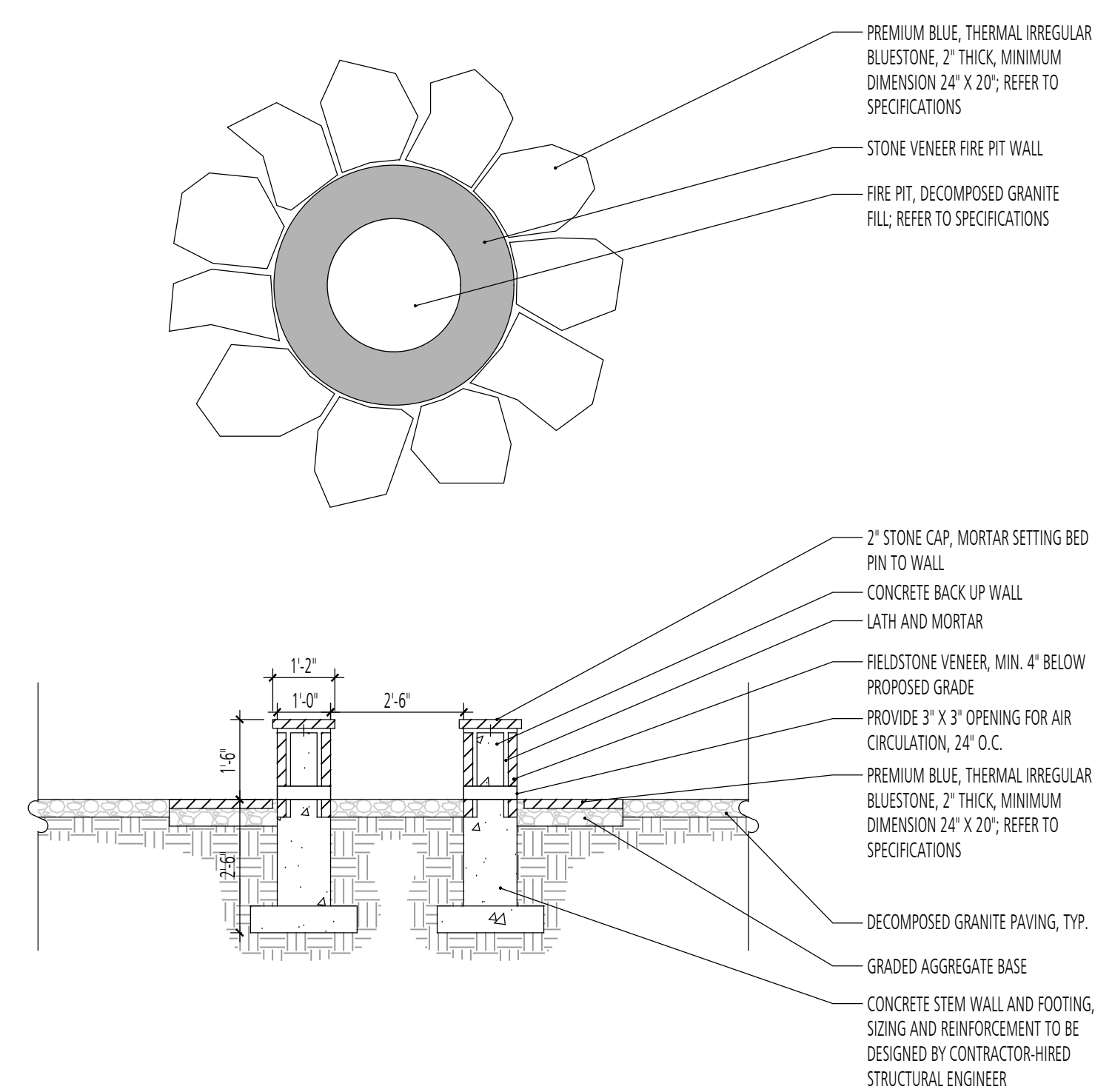
SECTION

SCALE: 1-1/2" = 1'-0"

6 LARGE FIRE PIT AT GROUP CAMP SITES AND AMPHITHEATER

PLAN - SECTION

SCALE: 3/8" = 1'-0"

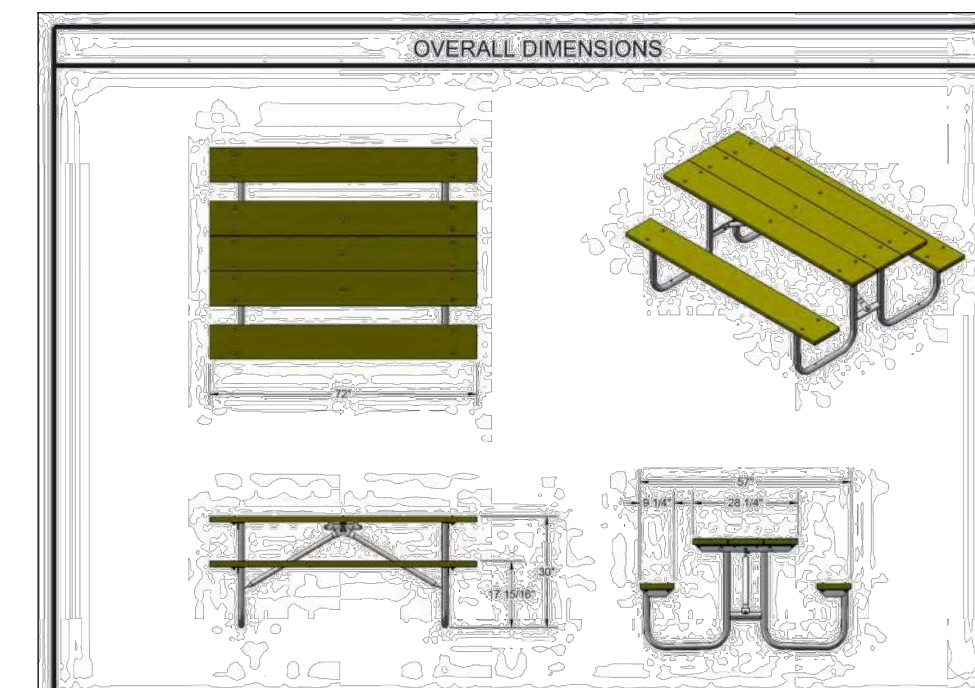
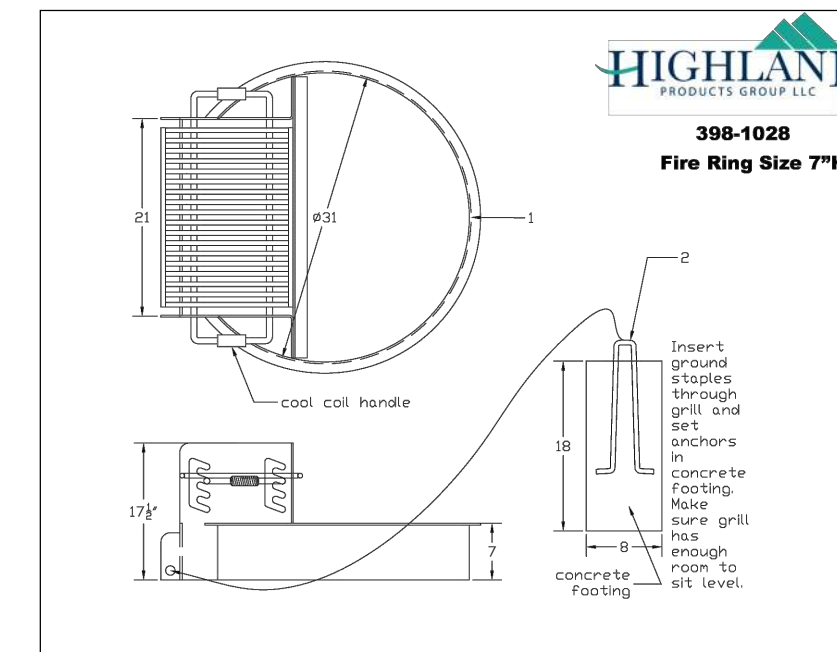


NOTES:  
 1. FIRE PIT TO BE PA FIELDSTONE VENEER. PROVIDE SAMPLES FOR APPROVAL.

7 FIRE PIT AT INDIVIDUAL CAMP SITES

SECTION

SCALE: 1" = 1'-0"



NOTE:  
 1. PROVIDE BOTH 6' & 8' VERSIONS. REFER TO PLANS AND KEYNOTES FOR SIZES AND LOCATIONS.  
 2. PROVIDE ACCESSIBLE PICNIC TABLES AT ACCESSIBLE CAMPGROUND.  
 3. PICNIC TABLES TO BE PROVIDED BY CAMP SMALL. CONTRACTOR TO CARRY AN ALLOWANCE FOR TABLES.  
<https://www.treebaltimore.org/camp-small>

8 PICNIC TABLE

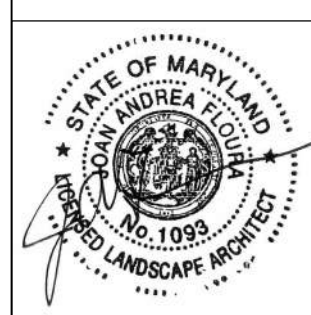
SECTION

SCALE: 1" = 1'-0"

GANT BRUNNETT ARCHITECTS  
 3700 KOPPERS ST., STE 300  
 BALTIMORE, MD 21227  
 P: 410-234-8444  
 INFO@GBA-ARCHITECTS.COM  
 WWW.GBA-ARCHITECTS.COM

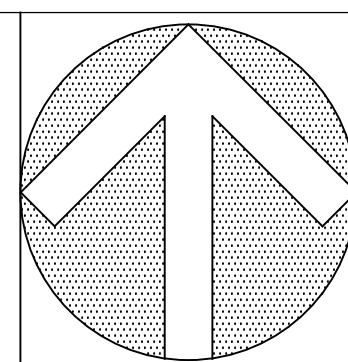
LANDSCAPE ARCHITECT  
  
**FLOURA TEETER**  
 Landscape Architects  
 800 North Charles St. Ste. 300  
 Baltimore, Maryland 21201  
 Phone: 410.528.8395  
 Fax: 410.528.8425

PROFESSIONAL CERTIFICATION  
 THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.  
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**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



REVISIONS	

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

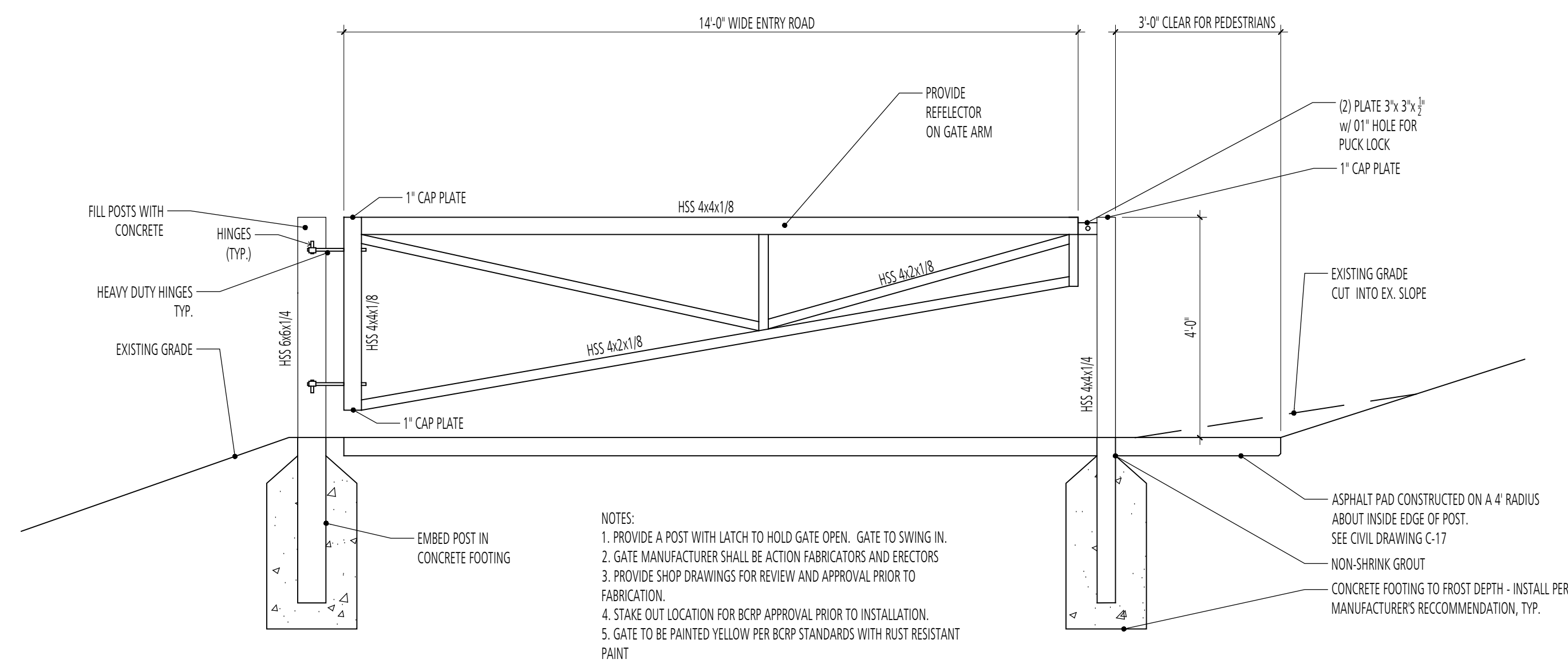
HARDSCAPE DETAILS

SCALE: AS NOTED

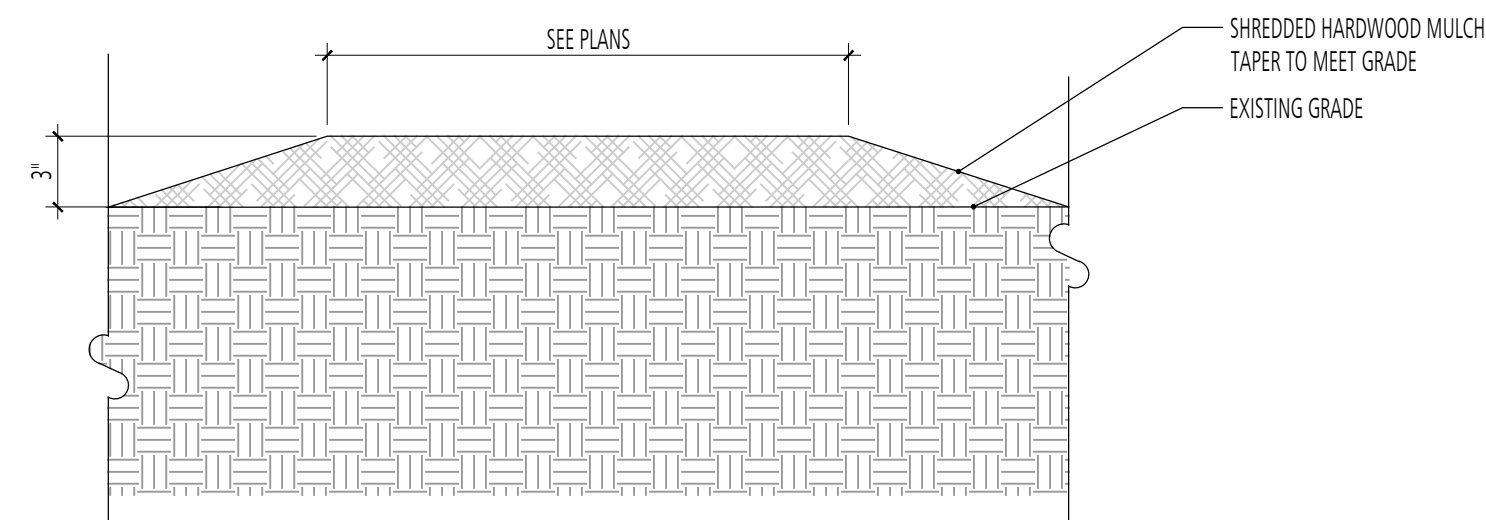
DATE: 02/13/2026

DRAWN BY	SG
TRACED BY	
DESIGNED BY	ZR
CHECKED BY	ZR
PROJECT NO.	ON-CALL #1316
SHEET NO.	L300
SHEET: 35	OF 45

**BID SET**

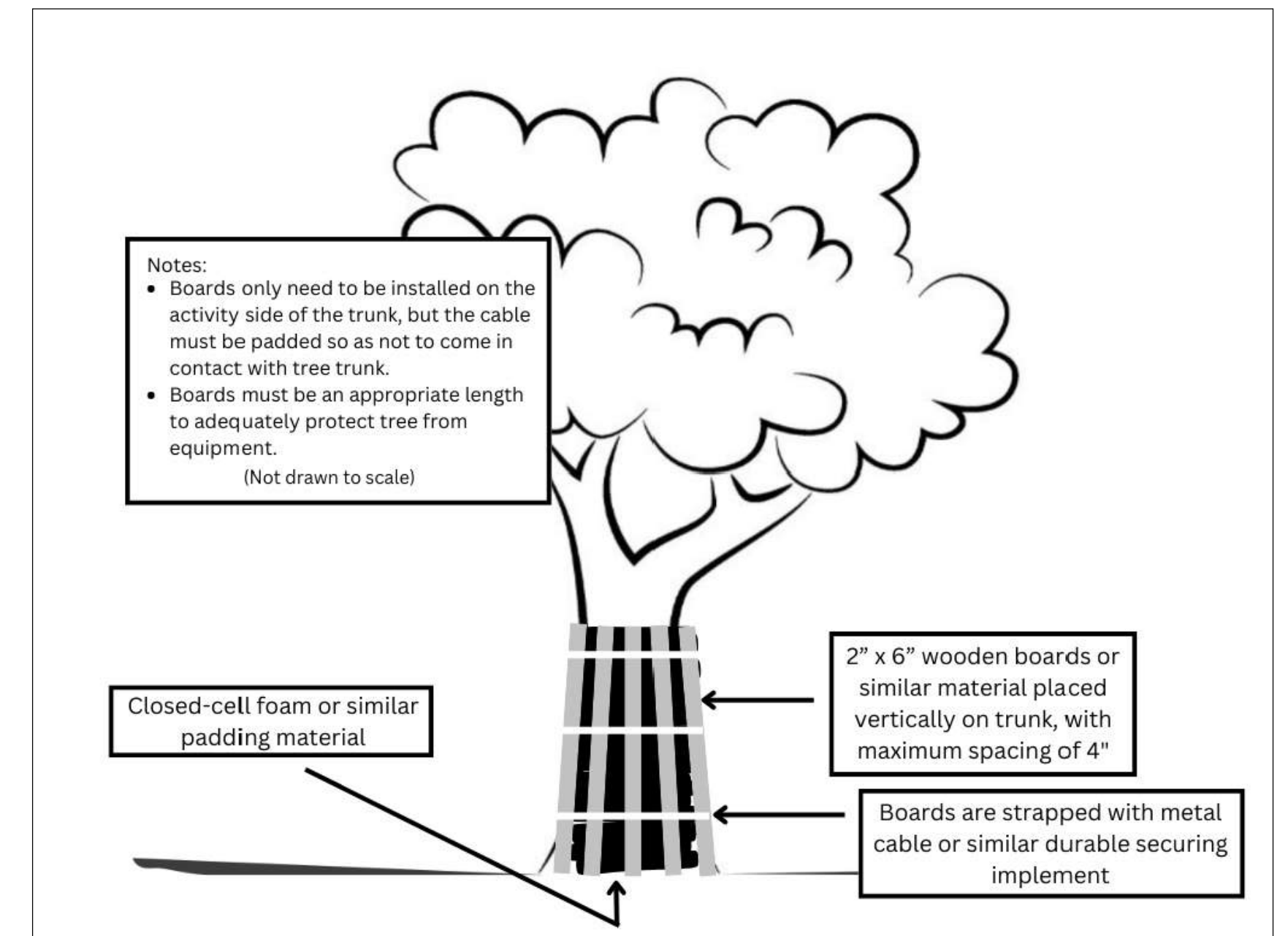


1 VEHICLE AND PEDESTRIAN ACCESS GATE - LOOKING NORTH (UPHILL)



2 MULCHED PATH SECTION

SCALE: 1-1/2" = 1'-0"



NOTE: IN ADDITION, WRAP TRUNK WITH ORANGE FENCING FOR ADDED VISIBILITY.

3 TRUNK PROTECTION SECTION

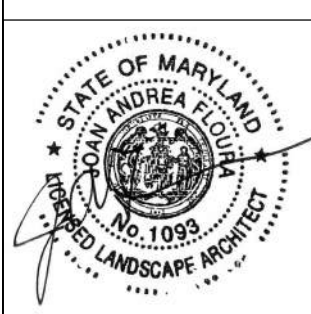
SCALE: NTS

BID SET

GANT BRUNETT ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
INFO@GBA-ARCHITECTS.COM  
WWW.GBA-ARCHITECTS.COM

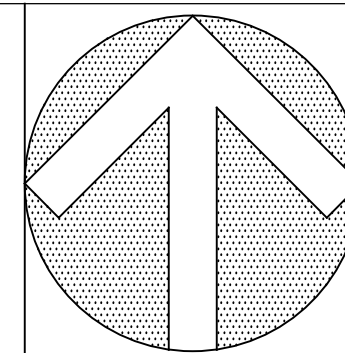
LANDSCAPE ARCHITECT  
**FLOURA TEETER**  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

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# GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



## REVISIONS

NO.	DATE	DESCRIPTION

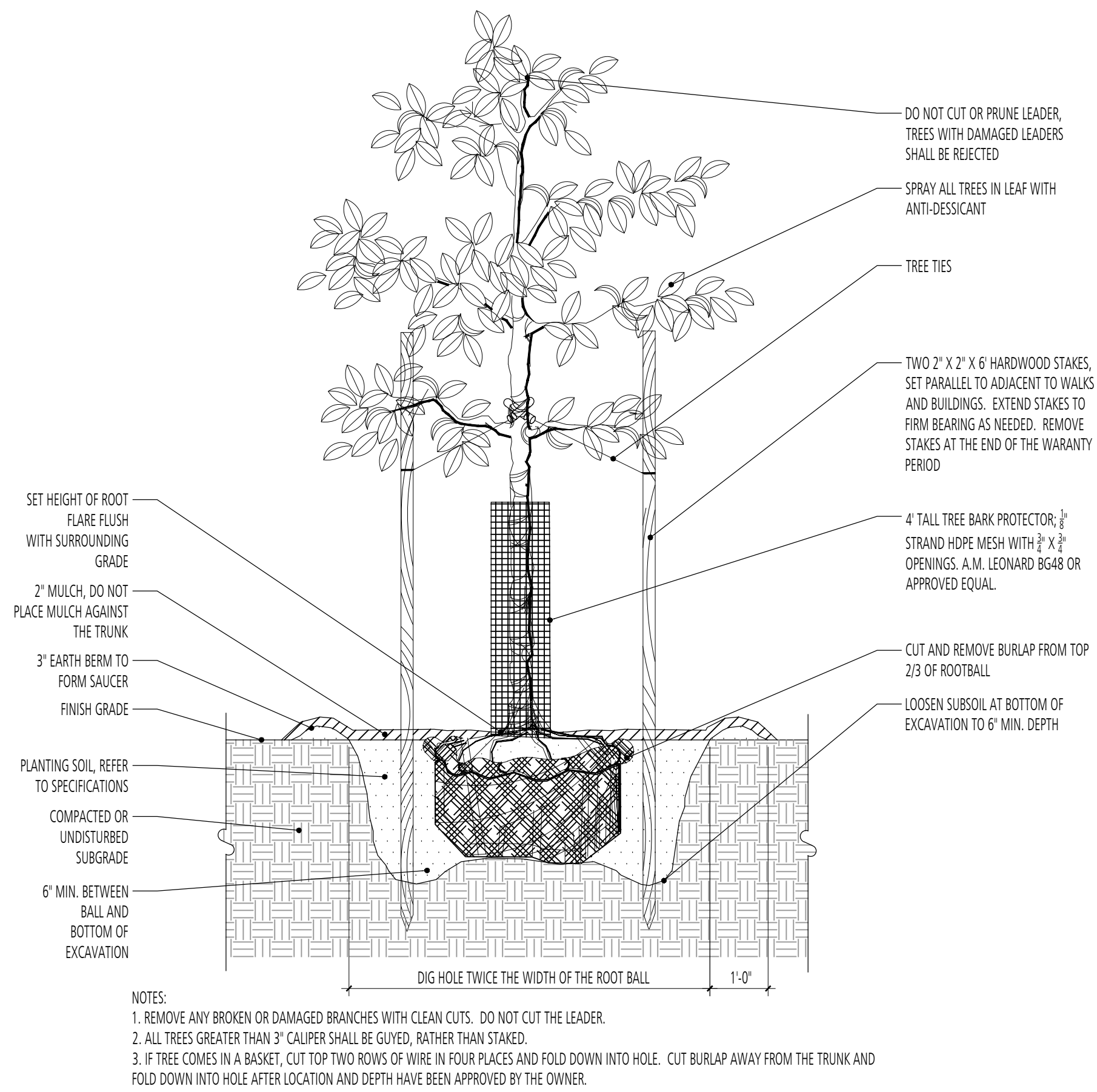
CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

## HARDSCAPE DETAILS

SCALE: AS NOTED

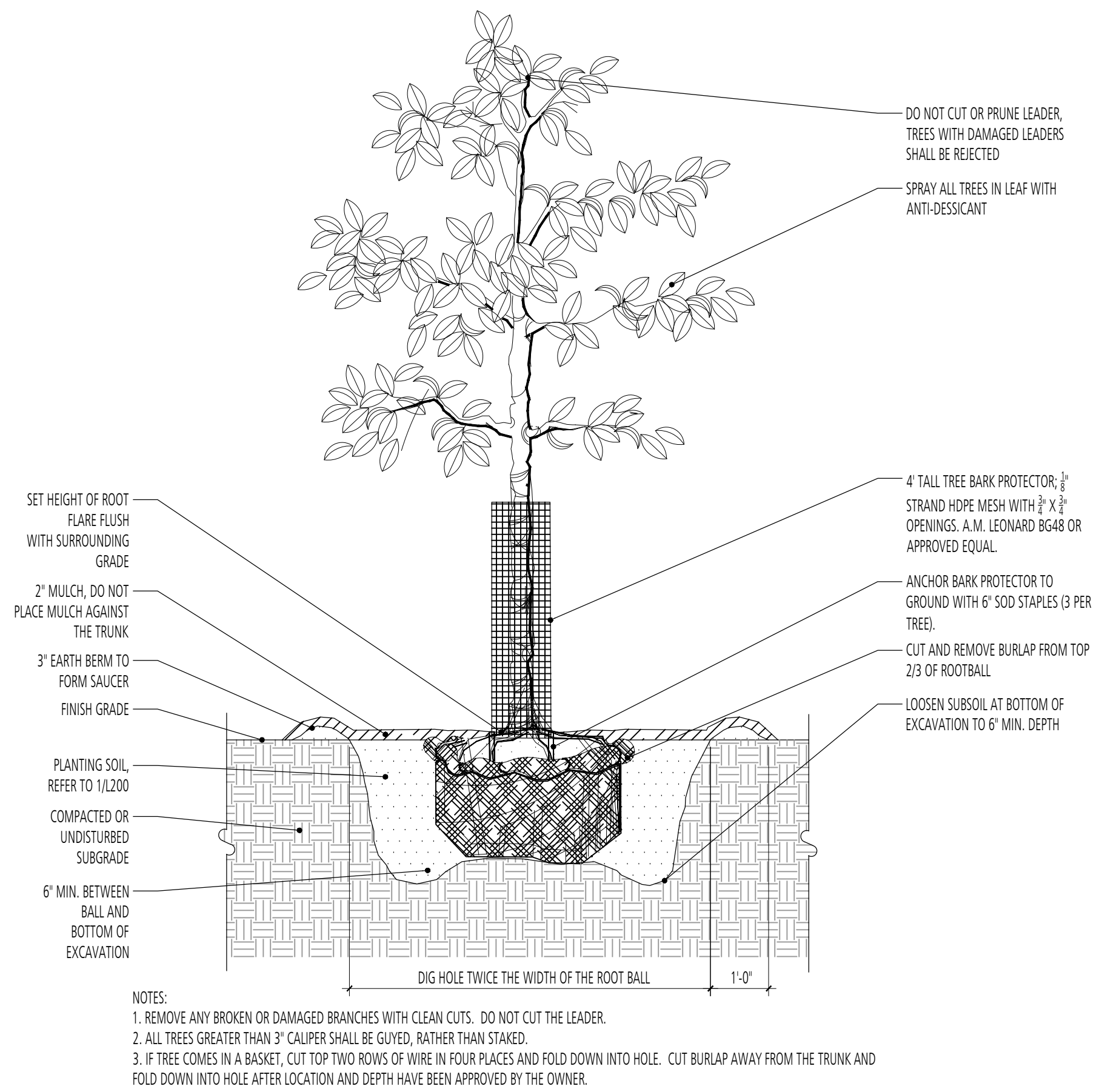
DATE: 02/13/2026

DRAWN BY	SG
TRACED BY	ZR
DESIGNED BY	ZR
CHECKED BY	ZR
PROJECT NO. ON-CALL # 1316	SHEET NO. L301
SHEET: 36	OF 45



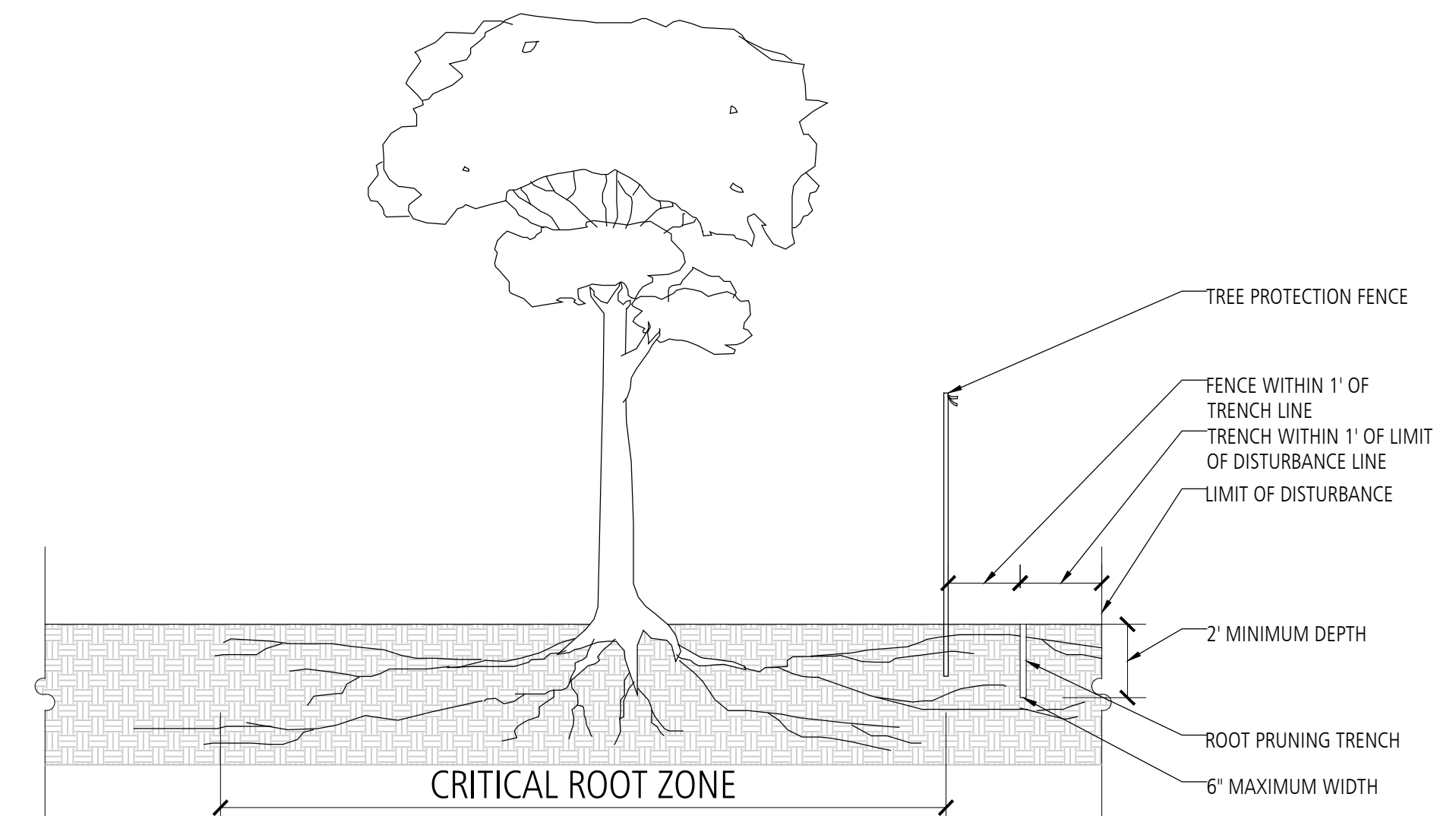
1 TREE PLANTING 2" CAL. AND ABOVE SECTION

d-tree\_planting.dwg  
SCALE: 1/2" = 1'-0"



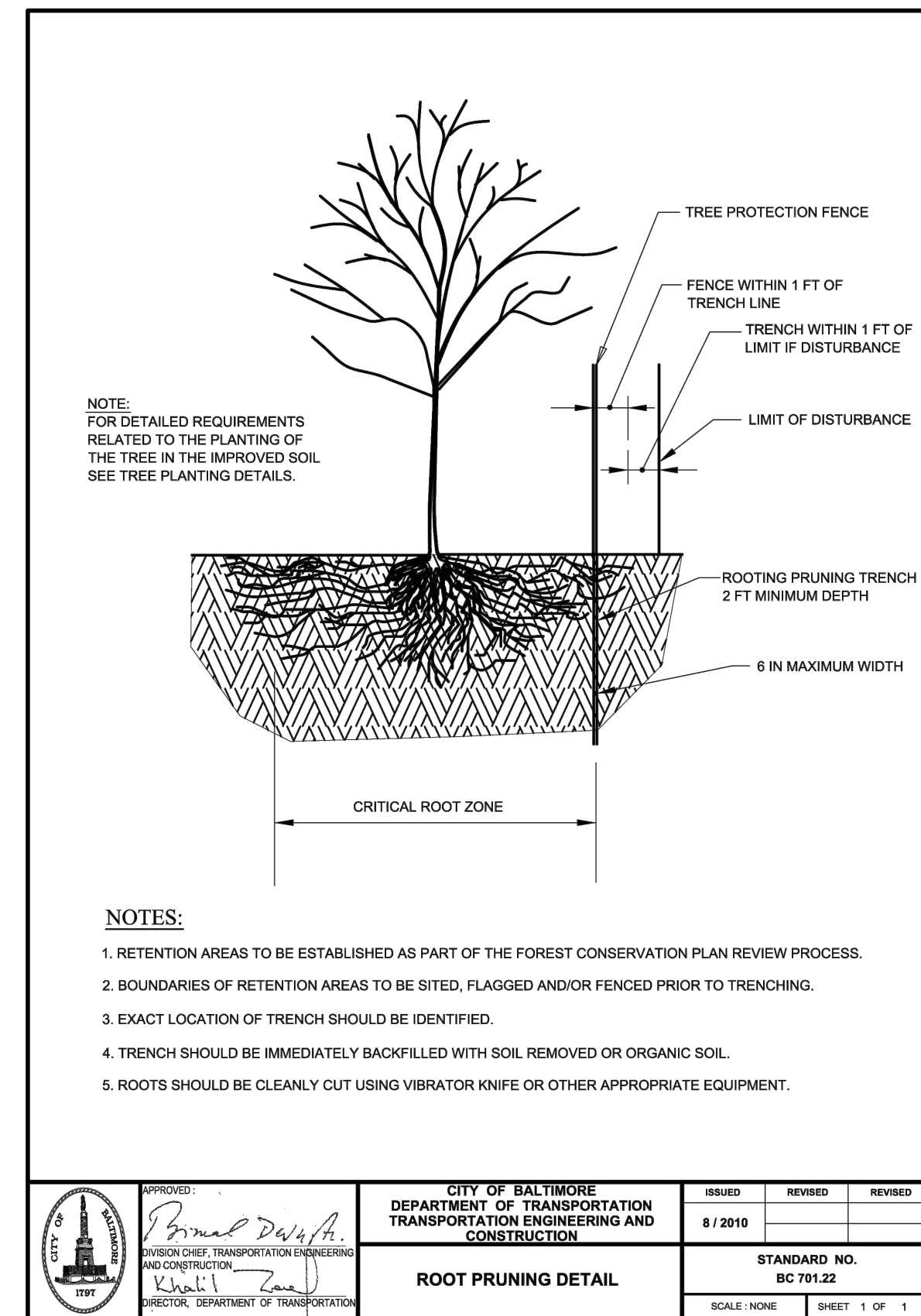
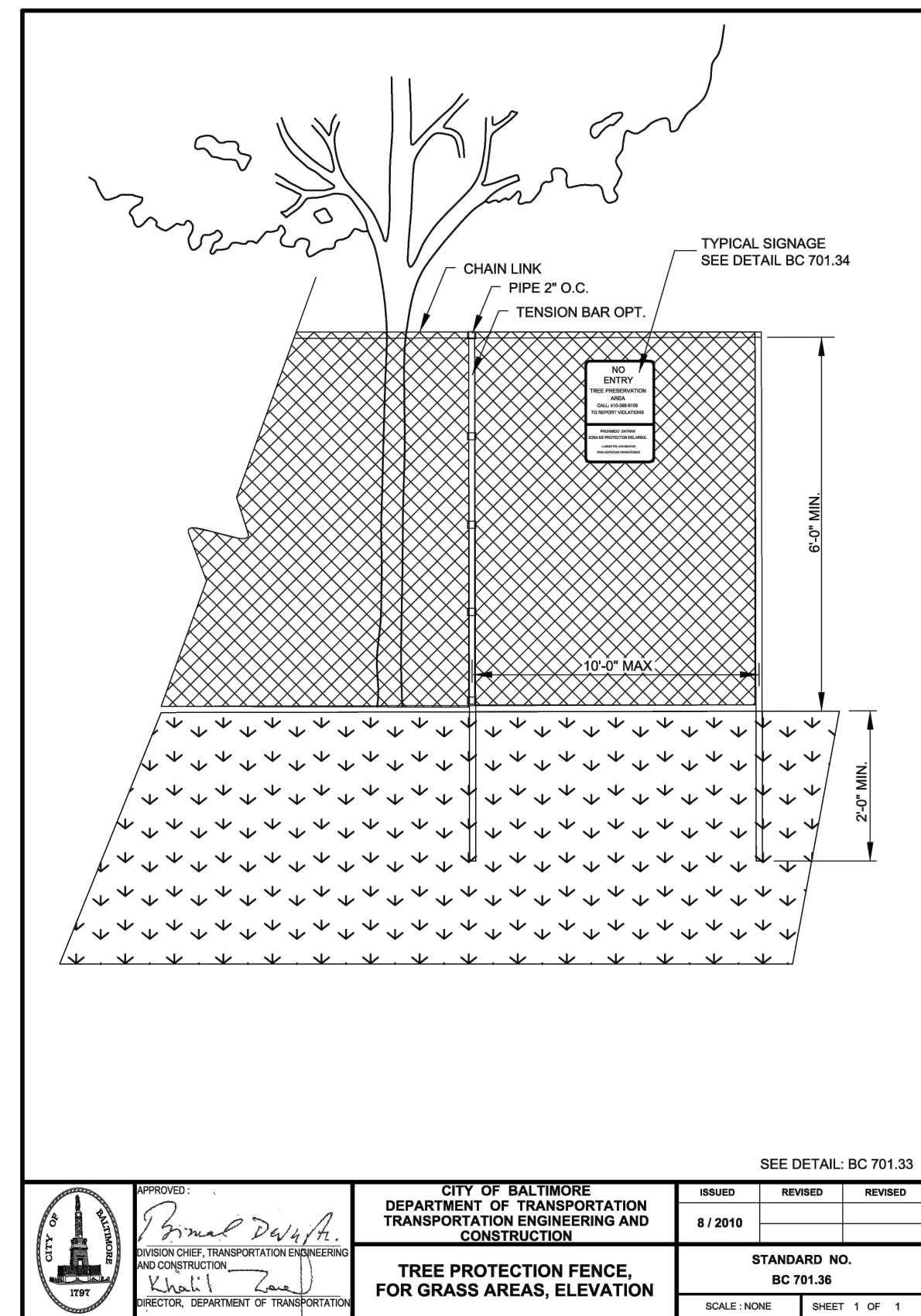
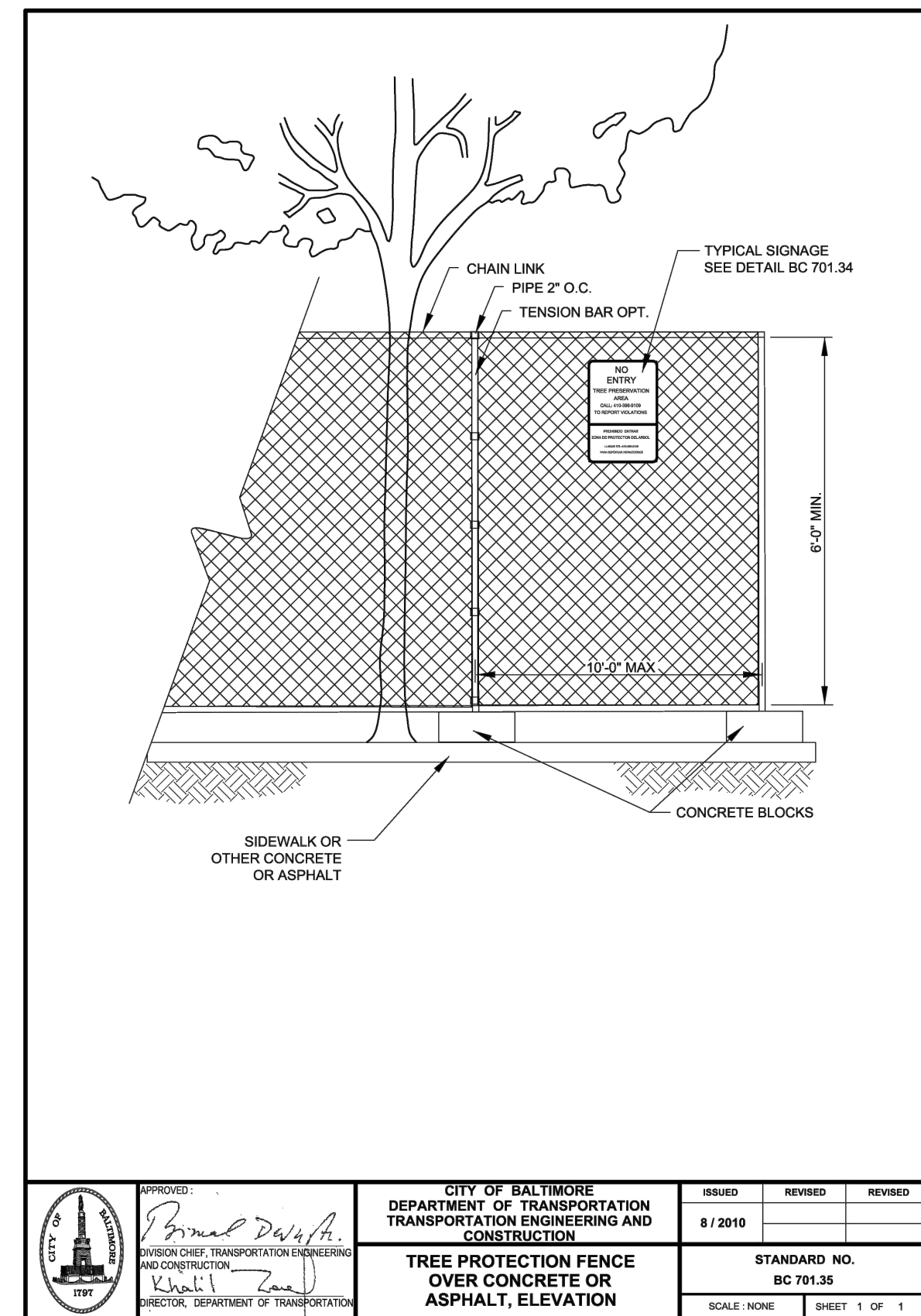
2 TREE PLANTING 1" CAL. SECTION

d-tree\_planting\_1in.dwg  
SCALE: 1/2" = 1'-0"



3 TREE PROTECTION SECTION

d-root\_pruning.dwg  
SCALE: 1/2" = 1'-0"



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 3700 KOPPERS ST., STE 300  
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 P: 410-234-8444  
 INFO@GBA-ARCHITECTS.COM  
 WWW.GBA-ARCHITECTS.COM

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STATE OF MARYLAND  
 LANDSCAPE ARCHITECT  
 NO. 1093

**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**

4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
 BLOCK 3390-F, LOT 001, WARD 13, SECTION 04

NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
 DEPARTMENT OF RECREATION AND PARKS  
 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

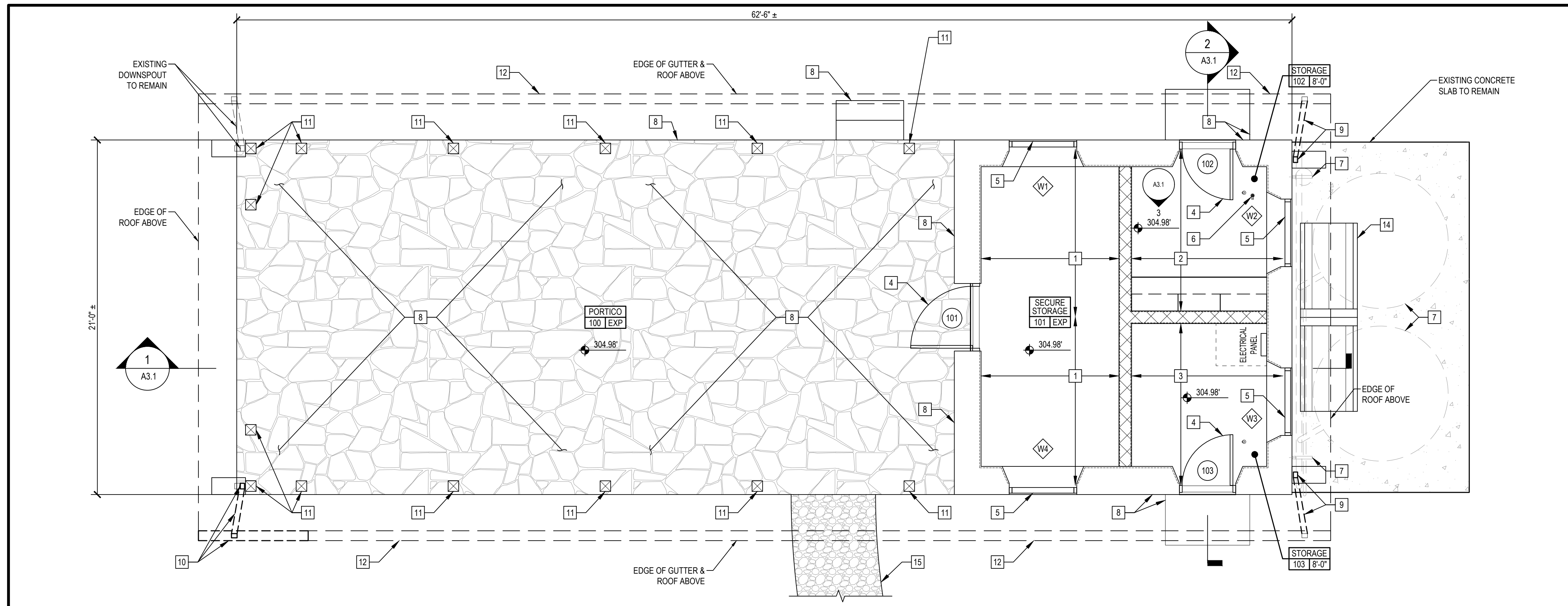
**PLANTING AND TREE PROTECTION DETAILS**

SCALE: AS NOTED DATE: 02/13/2026

DRAWN BY SG  
 TRACED BY ZR  
 DESIGNED BY ZR  
 CHECKED BY ZR

PROJECT NO. ON-CALL #1316 SHEET NO. L400

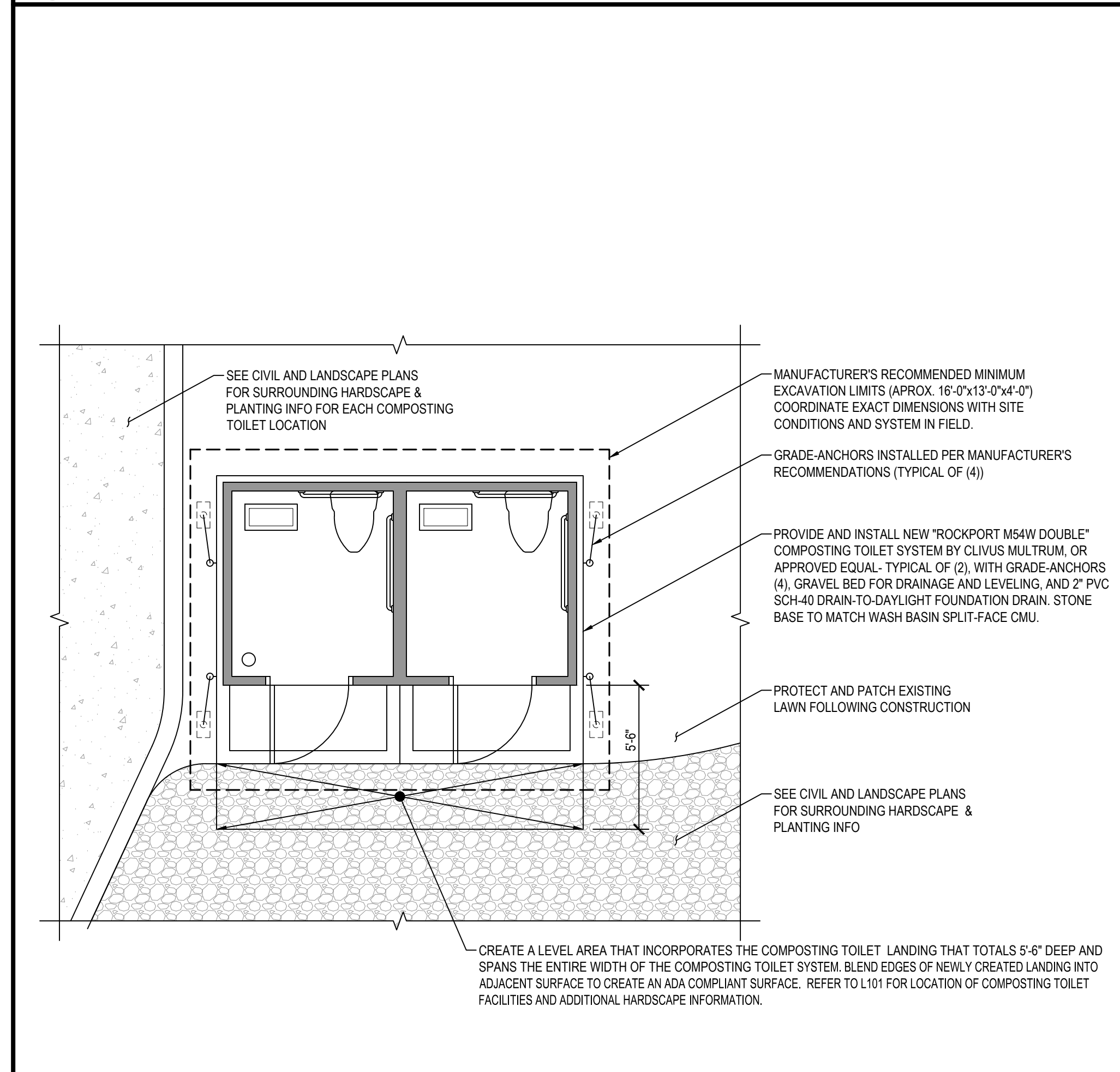
SCALE: AS NOTED DATE: 02/13/2026 SHEET: 37 OF 45



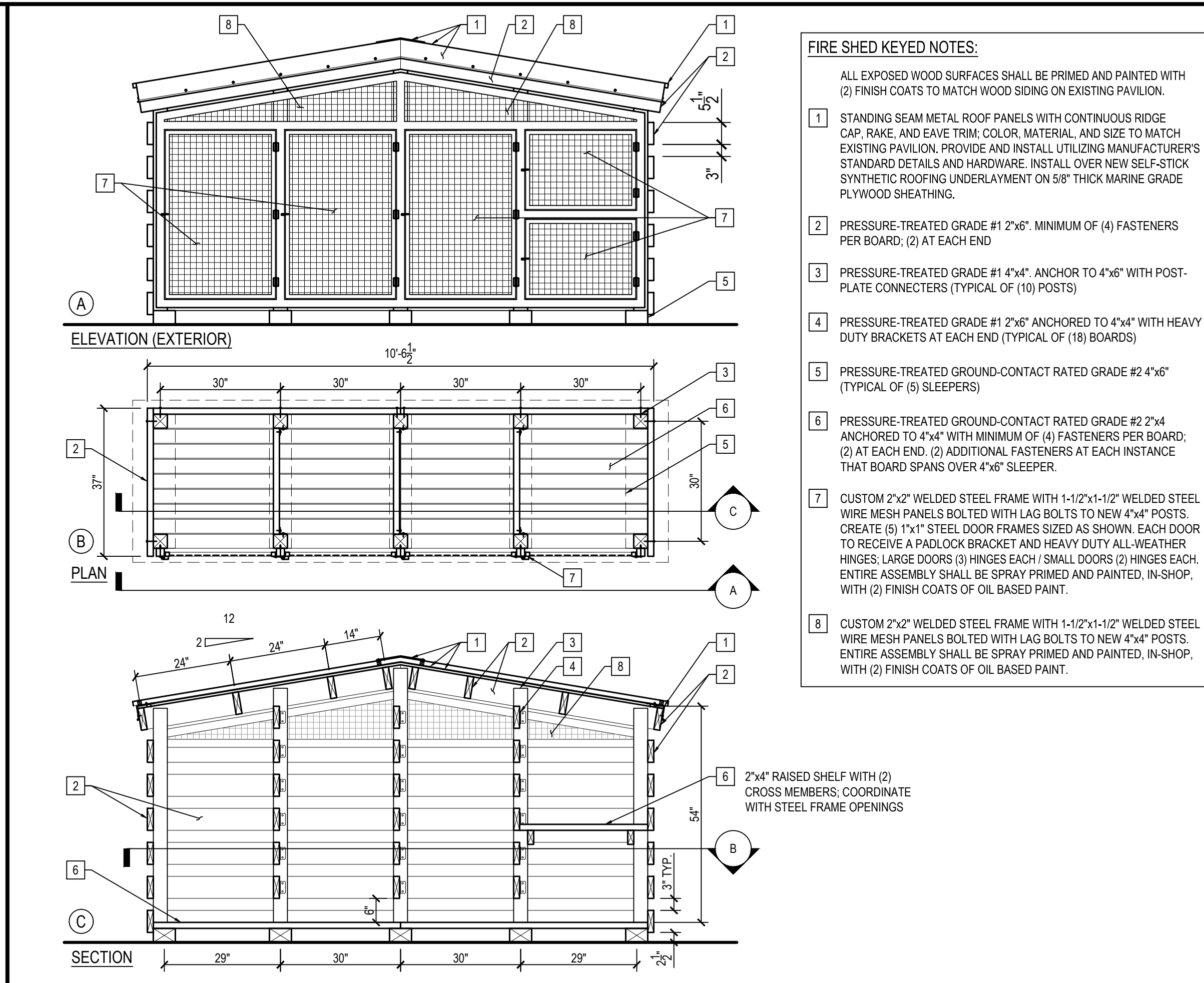
1  
A-1.1 PAVILION FLOOR PLAN SCALE: 1/4" = 1'-0"

PAVILION KEYED NOTES:

- 1 DEMOLITION:  
REMOVE AND DELIVER PICNIC TABLE TO OWNER FOR RE-USE. REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER ELECTRICAL PLANS. DEMOLISH EXISTING WOOD DISPLAY BOARD. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF DISPLAY BOARD AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN HORIZONTAL WOOD SIDING AND BUILDING PAPER ABOVE DAMAGED FROM BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. DEMOLISH PLYWOOD SHEATHING BENEATH HORIZONTAL WOOD SIDING TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL WOOD WALL BASE. PROTECT EXISTING FINISH TO REMAIN.  
NEW WORK:  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. INFILL NEW BUILDING PAPER AND HORIZONTAL WOOD SIDING TO MATCH EXISTING - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR AREA.
- 2 DEMOLITION:  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES AND CONTROLS PER ELECTRICAL PLANS. DEMOLISH EXISTING CASEWORK. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF CASEWORK AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 102 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.  
NEW WORK:  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 102 AND STORAGE 101 - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. PROVIDE AND INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR. INSTALL NEW 5/8" FIRE-RATED PLYWOOD CEILING W/ 1/4" PERIMETER TRIM ON EXISTING RAFTER TIES - PRIMED AND PAINTED WITH (2) FINISH COATS OF PAINT. PROVIDE 20"x30" VANDAL RESISTANT ACCESS PANEL FOR ATTIC ACCESS.
- 3 DEMOLITION:  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND ELECTRICAL PANEL PER ELECTRICAL PLANS. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 103 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.  
NEW WORK:  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 102 AND STORAGE 101 - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. PROVIDE AND INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR. INSTALL NEW 5/8" FIRE-RATED PLYWOOD CEILING W/ 1/4" PERIMETER TRIM ON EXISTING RAFTER TIES - PRIMED AND PAINTED WITH (2) FINISH COATS OF PAINT. PROVIDE 20"x30" VANDAL RESISTANT ACCESS PANEL FOR ATTIC ACCESS.
- 4 DEMOLITION:  
REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. EXISTING STEEL LINTELS TO REMAIN - WIRE BRUSH LINTELS TO REMOVE ALL SURFACE RUST / SCALE. PROTECT EXISTING MASONRY OPENING, EXISTING STUCCO FINISH AND CONCRETE SLAB TO REMAIN.  
NEW WORK:  
INSTALL NEW DOOR, FRAME AND HARDWARE INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW DOOR HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITIVE PAINT.
- 5 DEMOLITION:  
REMOVE EXISTING WINDOW AND SECURITY GRATE IN ITS ENTIRETY. EXISTING STEEL LINTELS TO REMAIN - WIRE BRUSH LINTELS TO REMOVE ALL SURFACE RUST / SCALE. PROTECT EXISTING MASONRY OPENING AND EXISTING STUCCO FINISH TO REMAIN.  
NEW WORK:  
INSTALL NEW METAL LOUVER INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW LOUVER HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITIVE PAINT. SEE DETAILS H3, J3, AND S3 ON SHEET A6.1.
- 6 DEMOLITION:  
REMOVE EXISTING STAND-ALONE FAUCET AND ASSOCIATED PLUMBING IN ITS ENTIRETY. CUT & CAP LINES BELOW SLAB.  
NEW WORK:  
PATCH CONCRETE FLOOR SLAB WHERE STAND-ALONE FAUCET AND PIPING WAS DEMOLISHED.
- 7 DEMOLITION:  
REMOVE EXISTING RAIN-WATER CISTERNS, FILTER CANISTERS, AND ASSOCIATED PVC PIPING AND DELIVER TO OWNER FOR RE-USE. CONTRACTOR SHALL COORDINATE DELIVERY TO OWNERS REQUESTED SITE FOLLOWING REMOVAL. REMOVE EXISTING STEEL SUPPORTS AND ANCHORS LOCATED ON THE NORTH FACE OF THE BUILDING - TYPICAL OF (2) SETS. PROTECT EXISTING STONE WALLS AND CONCRETE SLAB TO REMAIN.  
NEW WORK:  
PATCH EXISTING STONE WALLS WHERE STEEL SUPPORTS HAVE BEEN REMOVED. INFILL HOLES WITH NEW MORTAR TO MATCH ADJACENT MORTAR.
- 8 PROTECT EXISTING STONE WALLS, STEPS, PATHS AND PORTICO PLATFORM TO REMAIN. SOFT WASH EXISTING STONE WITH NON-ABRASIVE, NATURAL STONE CLEANER TO REMOVE DIRT AND ALGAE.
- 9 INSTALL NEW CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO EXISTING STONE WALL USING CONCEALED ANCHOR STRAPS. PROVIDE 12" x 24" CONCRETE SPLASH BLOCK POSITIONED TO PROMOTE DRAINAGE AWAY FROM STRUCTURE. CONNECT NEW DOWNSPOUT TO EXISTING GUTTER AT DOWNSPOUT HEAD.
- 10 DEMOLITION:  
REMOVE ALL DAMAGED SECTIONS OF GUTTER, DRIP EDGE AND METAL ROOF PANELS. REMOVE DAMAGED RAFTERS AND SECTIONS OF WOOD DECKING. CAREFULLY REMOVE EXISTING RIDGE CAP TO BE RE-USED.  
NEW WORK:  
INSTALL NEW PRESSURE TREATED WOOD RAFTERS AND ROOF DECKING OF THE SAME SIZE AS EXISTING. INSTALL NEW METAL ROOF PANELS AND BUILDING PAPER TO INFILL EXPOSED ROOF DECKING. INSTALL NEW DRIP EDGE ALONG EXPOSED GABLE RAFTER. INSTALL NEW GUTTER WITH CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO WOOD COLUMN USING CONCEALED ANCHOR STRAPS. PROVIDE 12" x 24" CONCRETE SPLASH BLOCK.
- 11 PATCH, SAND AND STAIN ALL EXISTING AND NEW WOOD COLUMNS, RAFTERS, RAFTER TIES, BEAMS, T&G ROOF DECKING, SIDING AND EXPOSED WOOD FRAMING. ALL EXISTING UNFINISHED WOOD TO BE STAINED TO MATCH SURROUNDING WOOD ELEMENTS.
- 12 RE-SECURE EXISTING GUTTER TO ROOF RAFTERS - ENSURE GUTTERS HAVE ADEQUATE SLOPE TO PROMOTE PROPER DRAINAGE. REPLACE GUTTER HANGERS WITH NEW HARDWARE. INSTALL NEW CONTINUOUS ALUMINUM DRIP EDGE ALONG ENTIRE LENGTH OF ROOF EDGE. COLOR TO MATCH EXISTING.
- 13 REMOVE ALL EXISTING BETWEEN-RAFTER-SCREENS AND FRAMES; EXISTING WOOD NAILER TO REMAIN. INSTALL NEW VANDAL-PROOF STAINLESS STEEL INSECT SCREEN & STAINLESS STEEL FRAME, CONTINUOUS BETWEEN ALL RAFTERS.
- 14 NEW FIRE WOOD STORAGE SHED, SEE DRAWING 4 ON SHEET A1.1
- 15 CONSTRUCT NEW BONDED AGGREGATE SURFACING; SEE CIVIL AND LANDSCAPE PLANS.
- 16 CAREFULLY INSPECT INSECT DAMAGE AT SOUTH END GABLE TIE BEAM TO DETERMINE EXTENT OF TUNNELING. THE TIE BEAM SHALL BE TREATED BY A PROFESSIONAL EXTERMINATOR TO ELIMINATE ANY INSECTS LIVING IN THE BEAMS. HOLES TO BE REPAIRED WITH WOOD PUTTY AND FINISHED TO MATCH THE SURROUNDING WOOD ELEMENTS.



2  
A-1.1 COMPOSTING TOILET PLAN SCALE: 1/4" = 1'-0"



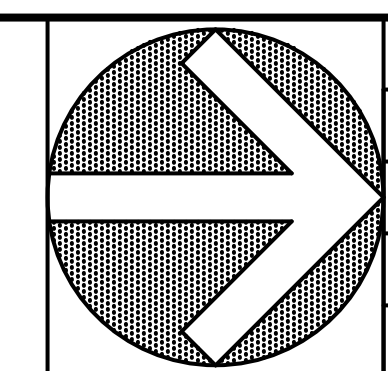
4  
A-1.1 FIREWOOD SHED PLANS & DETAILS SCALE: 1/2" = 1'-0"

KEYED NOTES

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
WWW.RRMM.COM

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License: 21386 Expires: 01/11/2027

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4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



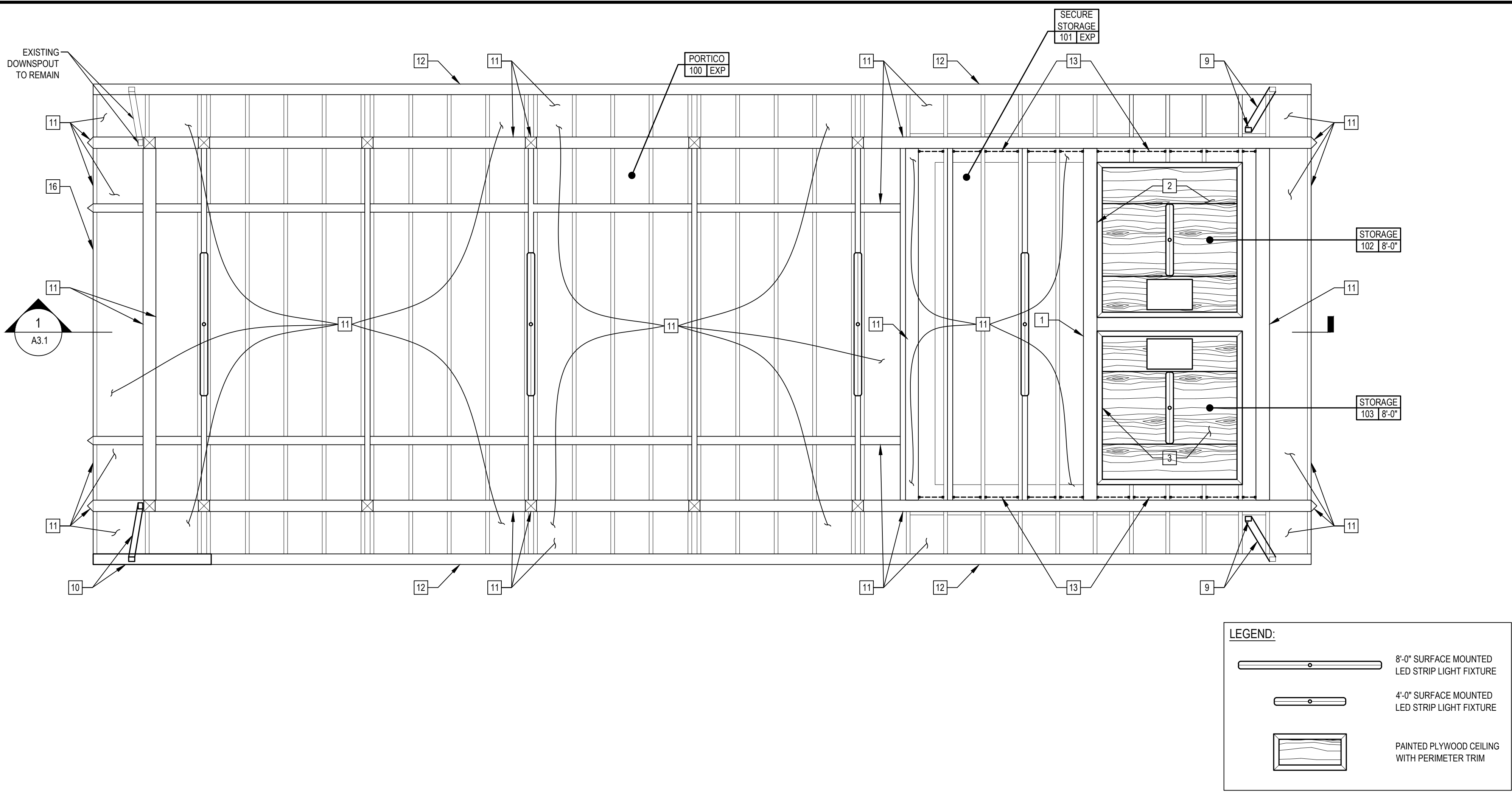
REVISIONS	

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

**PAVILION, COMPOSTING TOILET, & FIREWOOD SHED FLOOR PLANS**

SCALE: AS NOTED DATE: FEB. 13, 2026

DRAWN BY: JWM	SHEET NO. A-1.1
TRACED BY: CLK	PROJECT NO. RP22805
DESIGNED BY: CLK	CHECKED BY: JAG
CHECKED BY: JAG	SHEET: 38 OF 46



- PAVILION KEYED NOTES:**
- DEMOLITION:**  
REMOVE AND DELIVER PICNIC TABLE TO OWNER FOR RE-USE. REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER ELECTRICAL PLANS. DEMOLISH EXISTING WOOD DISPLAY BOARD. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF DISPLAY BOARD AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN HORIZONTAL WOOD SIDING AND BUILDING PAPER ABOVE CMU DIVIDING WALL BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. DEMOLISH PLYWOOD SHEATHING BENEATH HORIZONTAL WOOD SIDING TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL WOOD WALL BASE. PROTECT EXISTING FINISH TO REMAIN.

**NEW WORK:**  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. INFILL NEW BUILDING PAPER AND HORIZONTAL WOOD SIDING TO MATCH EXISTING - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR AREA.
  - DEMOLITION:**  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES AND CONTROLS PER ELECTRICAL PLANS. DEMOLISH EXISTING CASEWORK. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF CASEWORK AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 102 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.

**NEW WORK:**  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 102 AND STORAGE 101 - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. PROVIDE AND INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR. INSTALL NEW 5/8" FIRE-RATED PLYWOOD CEILING W/ 1/4" PERIMETER TRIM ON EXISTING RAFTER TIES - PRIMED AND PAINTED WITH (2) FINISH COATS OF PAINT. PROVIDE 20"x30" VANDAL RESISTANT ACCESS PANEL FOR ATTIC ACCESS.
  - DEMOLITION:**  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND ELECTRICAL PANEL PER ELECTRICAL PLANS. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 103 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.

**NEW WORK:**  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 102 AND STORAGE 101 - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. PROVIDE AND INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR. INSTALL NEW 5/8" FIRE-RATED PLYWOOD CEILING W/ 1/4" PERIMETER TRIM ON EXISTING RAFTER TIES - PRIMED AND PAINTED WITH (2) FINISH COATS OF PAINT. PROVIDE 20"x30" VANDAL RESISTANT ACCESS PANEL FOR ATTIC ACCESS.
  - DEMOLITION:**  
REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. EXISTING STEEL LINTELS TO REMAIN - WIRE BRUSH LINTELS TO REMOVE ALL SURFACE RUST / SCALE. PROTECT EXISTING MASONRY OPENING, EXISTING STUCCO FINISH AND CONCRETE SLAB TO REMAIN.

**NEW WORK:**  
INSTALL NEW DOOR, FRAME AND HARDWARE INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW DOOR HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITIVE PAINT.
  - DEMOLITION:**  
REMOVE EXISTING WINDOW AND SECURITY GRATE IN ITS ENTIRETY. EXISTING STEEL LINTELS TO REMAIN - WIRE BRUSH LINTELS TO REMOVE ALL SURFACE RUST / SCALE. PROTECT EXISTING MASONRY OPENING AND EXISTING STUCCO FINISH TO REMAIN.

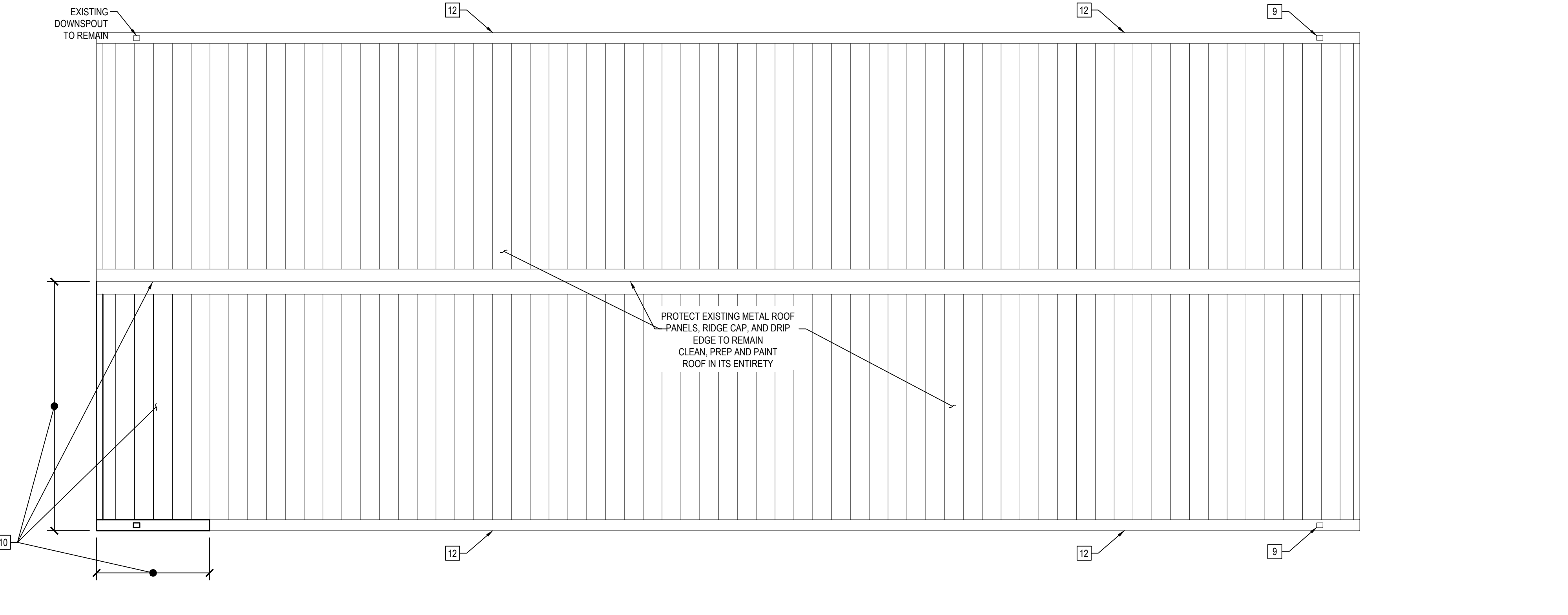
**NEW WORK:**  
INSTALL NEW METAL LOUVER INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW LOUVER HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITIVE PAINT. SEE DETAILS H3, J3, AND S3 ON SHEET A6.1.
  - DEMOLITION:**  
REMOVE EXISTING STAND-ALONE FAUCET AND ASSOCIATED PLUMBING IN ITS ENTIRETY. CUT & CAP LINES BELOW SLAB.

**NEW WORK:**  
PATCH CONCRETE FLOOR SLAB WHERE STAND-ALONE FAUCET AND PIPING WAS DEMOLISHED.
  - DEMOLITION:**  
REMOVE EXISTING RAIN-WATER CISTERNS, FILTER CANISTERS, AND ASSOCIATED PVC PIPING AND DELIVER TO OWNER FOR RE-USE. CONTRACTOR SHALL COORDINATE DELIVERY TO OWNERS REQUESTED SITE FOLLOWING REMOVAL. REMOVE EXISTING STEEL SUPPORTS AND ANCHORS LOCATED ON THE NORTH FACE OF THE BUILDING - TYPICAL OF (2) SETS). PROTECT EXISTING STONE WALLS AND CONCRETE SLAB TO REMAIN.

**NEW WORK:**  
PATCH EXISTING STONE WALLS WHERE STEEL SUPPORTS HAVE BEEN REMOVED. INFILL HOLES WITH NEW MORTAR TO MATCH ADJACENT MORTAR.
  - PROTECT EXISTING STONE WALLS, STEPS, PATHS AND PORTICO PLATFORM TO REMAIN. SOFT WASH EXISTING STONE WITH NON-ABRASIVE, NATURAL STONE CLEANER TO REMOVE DIRT AND ALGAE.
  - INSTALL NEW CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO EXISTING STONE WALL USING CONCEALED ANCHOR STRAPS. PROVIDE 12" x 24" CONCRETE SPLASH BLOCK POSITIONED TO PROMOTE DRAINAGE AWAY FROM STRUCTURE. CONNECT NEW DOWNSPOUT TO EXISTING GUTTER AT DOWNSPOUT HEAD.
  - DEMOLITION:**  
REMOVE ALL DAMAGED SECTIONS OF GUTTER, DRIP EDGE AND METAL ROOF PANELS. REMOVE DAMAGED RAFTERS AND SECTIONS OF WOOD DECKING. CAREFULLY REMOVE EXISTING RIDGE CAP TO BE RE-USED.

**NEW WORK:**  
INSTALL NEW PRESSURE TREATED WOOD RAFTERS AND ROOF DECKING OF THE SAME SIZE AS EXISTING. INSTALL NEW METAL ROOF PANELS AND BUILDING PAPER TO INFILL EXPOSED ROOF DECKING. INSTALL NEW DRIP EDGE ALONG EXPOSED GABLE RAFTER. INSTALL NEW GUTTER WITH CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO WOOD COLUMN USING CONCEALED ANCHOR STRAPS. PROVIDE 12" x 24" CONCRETE SPLASH BLOCK.
  - PATCH, SAND AND STAIN ALL EXISTING AND NEW WOOD COLUMNS, RAFTERS, RAFTER TIES, BEAMS, T&G ROOF DECKING, SIDING AND EXPOSED WOOD FRAMING. ALL EXISTING UNFINISHED WOOD TO BE STAINED TO MATCH SURROUNDING WOOD ELEMENTS.
  - RE-SECURE EXISTING GUTTER TO ROOF RAFTERS - ENSURE GUTTERS HAVE ADEQUATE SLOPE TO PROMOTE PROPER DRAINAGE. REPLACE GUTTER HANGERS WITH NEW HARDWARE. INSTALL NEW CONTINUOUS ALUMINUM DRIP EDGE ALONG ENTIRE LENGTH OF ROOF EDGE. COLOR TO MATCH EXISTING.
  - REMOVE ALL EXISTING BETWEEN-RAFTER-SCREENS AND FRAMES; EXISTING WOOD NAILER TO REMAIN. INSTALL NEW VANDAL-PROOF STAINLESS STEEL INSECT SCREEN & STAINLESS STEEL FRAME, CONTINUOUS BETWEEN ALL RAFTERS.
  - NEW FIRE WOOD STORAGE SHED, SEE DRAWING 4 ON SHEET A1.1
  - CONSTRUCT NEW BONDED AGGREGATE SURFACING, SEE CIVIL AND LANDSCAPE PLANS.
  - CAREFULLY INSPECT INSECT DAMAGE AT SOUTH END GABLE TIE BEAM TO DETERMINE EXTENT OF TUNNELING. THE TIE BEAM SHALL BE TREATED BY A PROFESSIONAL EXTERMINATOR TO ELIMINATE ANY INSECTS LIVING IN THE BEAMS. HOLES TO BE REPAIRED WITH WOOD PUTTY AND FINISHED TO MATCH THE SURROUNDING WOOD ELEMENTS.
- GENERAL NOTE:**  
SEE GENERAL NOTES AND GENERAL DEMO NOTES ON SHEET CS-1.1

1 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"



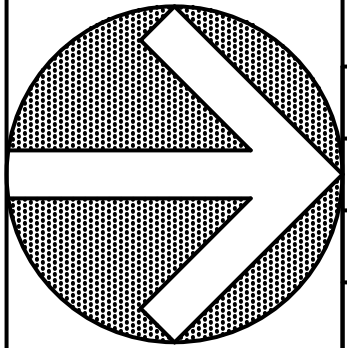
- KEYED NOTES**

2 ROOF PLAN SCALE: 1/4" = 1'-0"

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
WWW.RRMM.COM

**PROFESSIONAL CERTIFICATION**  
THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THAT THIS WORK COMPLIES WITH THE REQUIREMENTS OF THE BALTIMORE CITY BUILDING CODE, AND THAT I HEREBY ASSUME THE RESPONSIBILITY FOR ITS DESIGN AND PERIODIC OBSERVATION OF ITS CONSTRUCTION.  
License: 21386 Expires: 01/11/2027

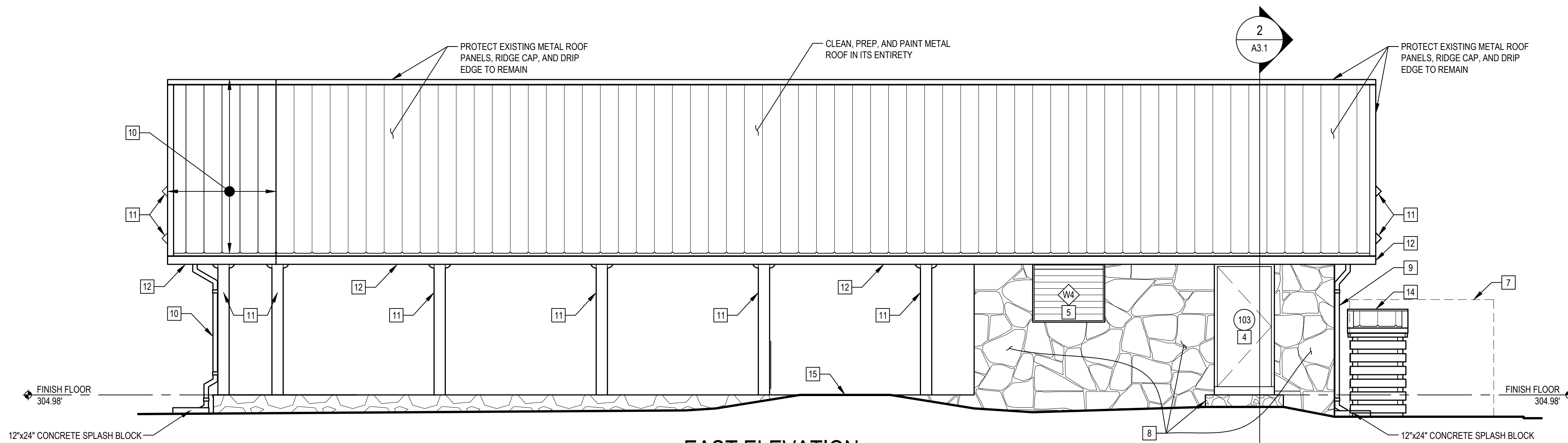
**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04



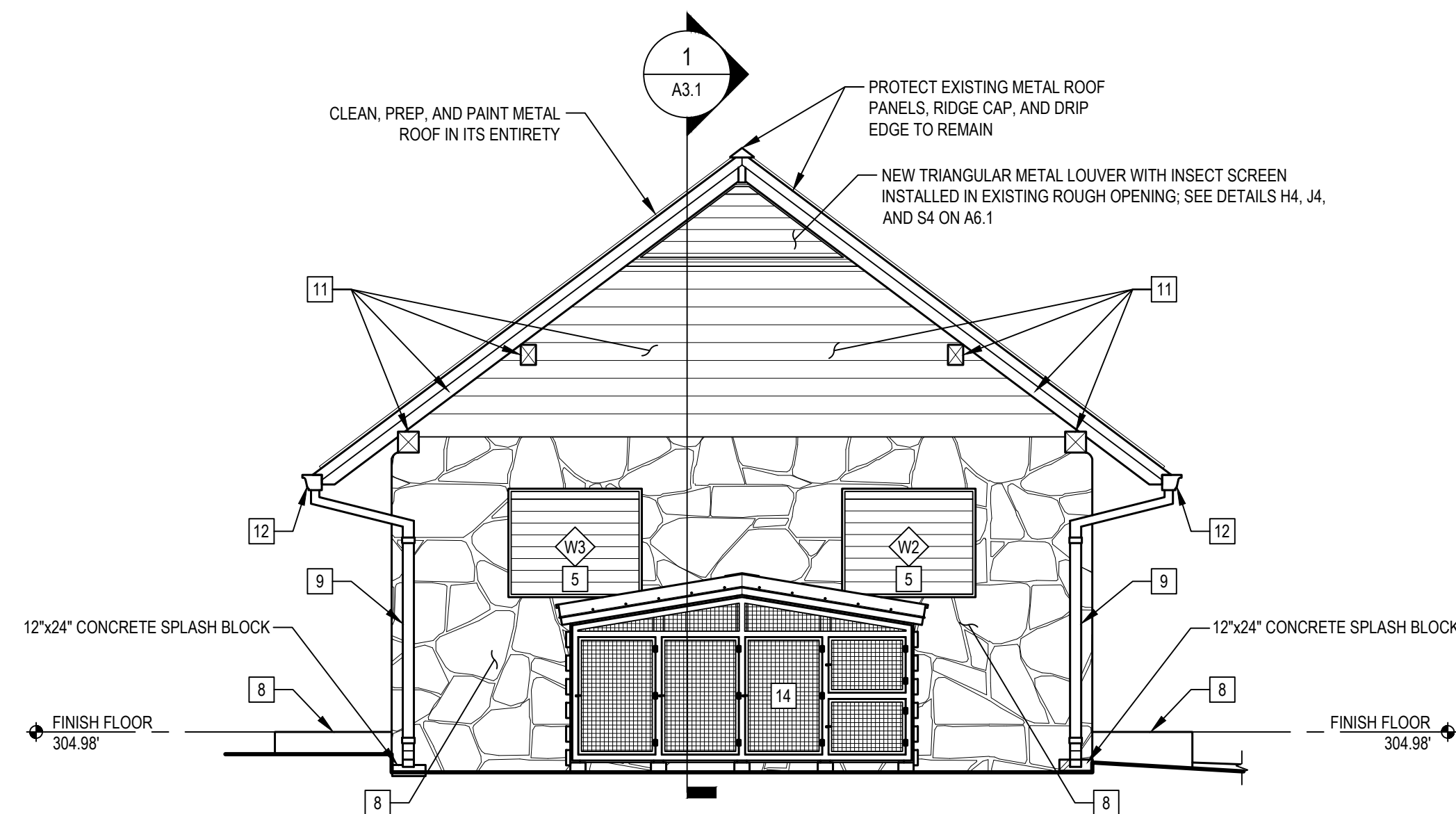
REVISIONS	

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948  
**PAVILION REFLECTED CEILING & ROOF PLAN**

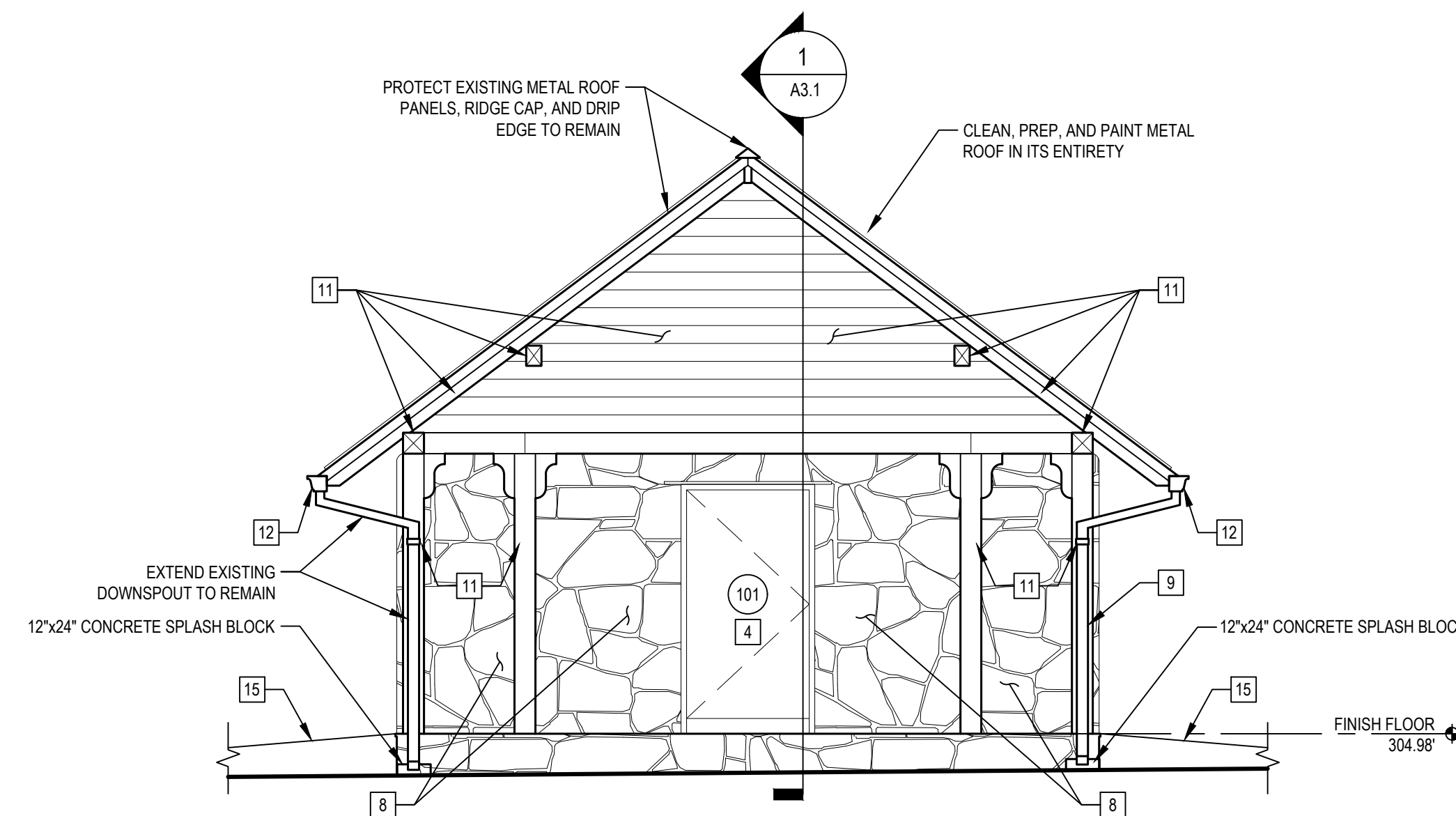
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TRACED BY: CLK	PROJECT NO. RP22805
DESIGNED BY: CLK	SHEET: 39 OF 46
CHECKED BY: JAG	SCALE: AS NOTED
DATE: FEB. 13, 2026	



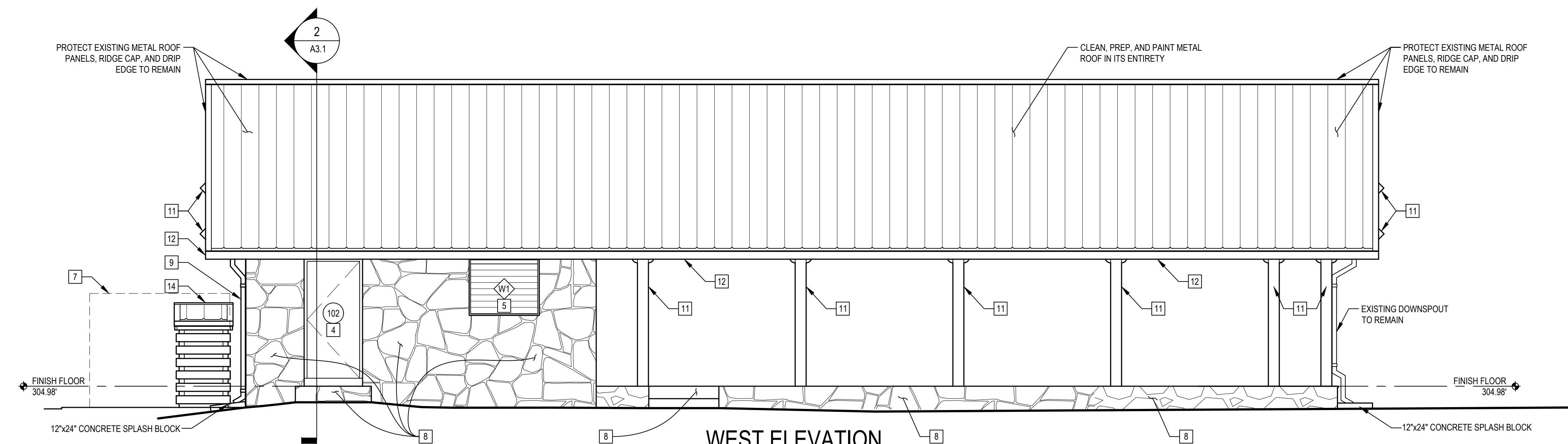
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

PAVILION KEYED NOTES:

- 1 DEMOLITION:  
REMOVE AND DELIVER PICNIC TABLE TO OWNER FOR RE-USE. REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER ELECTRICAL PLANS. DEMOLISH EXISTING WOOD DISPLAY BOARD. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF DISPLAY BOARD AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN HORIZONTAL WOOD SIDING AND BUILDING PAPER ABOVE CMU DIVIDING WALL BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. DEMOLISH PLYWOOD SHEATHING BENEATH HORIZONTAL WOOD SIDING TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL WOOD WALL BASE. PROTECT EXISTING FINISH TO REMAIN.  
NEW WORK:  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. INFILL NEW BUILDING PAPER AND HORIZONTAL WOOD SIDING TO MATCH EXISTING - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR AREA.
- 2 DEMOLITION:  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES AND CONTROLS PER ELECTRICAL PLANS. DEMOLISH EXISTING CASEWORK. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF CASEWORK AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 102 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.  
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- 3 DEMOLITION:  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND ELECTRICAL PANEL PER ELECTRICAL PLANS. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 103 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.  
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- 4 DEMOLITION:  
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NEW WORK:  
INSTALL NEW DOOR, FRAME AND HARDWARE INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW DOOR HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITIVE PAINT.
- 5 DEMOLITION:  
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NEW WORK:  
INSTALL NEW METAL LOUVER INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW LOUVER HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITIVE PAINT. SEE DETAILS H3, J3, AND S3 ON SHEET A6.1.
- 6 DEMOLITION:  
REMOVE EXISTING STAND-ALONE FAUCET AND ASSOCIATED PLUMBING IN ITS ENTIRETY. CUT & CAP LINES BELOW SLAB.  
NEW WORK:  
PATCH CONCRETE FLOOR SLAB WHERE STAND-ALONE FAUCET AND PIPING WAS DEMOLISHED.
- 7 DEMOLITION:  
REMOVE EXISTING RAIN-WATER CISTERNS, FILTER CANISTERS, AND ASSOCIATED PVC PIPING AND DELIVER TO OWNER FOR RE-USE. CONTRACTOR SHALL COORDINATE DELIVERY TO OWNER'S REQUESTED SITE FOLLOWING REMOVAL. REMOVE EXISTING STEEL SUPPORTS AND ANCHORS LOCATED ON THE NORTH FACE OF THE BUILDING - TYPICAL OF (2 SETS). PROTECT EXISTING STONE WALLS AND CONCRETE SLAB TO REMAIN.  
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PATCH EXISTING STONE WALLS WHERE STEEL SUPPORTS HAVE BEEN REMOVED. INFILL HOLES WITH NEW MORTAR TO MATCH ADJACENT MORTAR.
- 8 PROTECT EXISTING STONE WALLS, STEPS, PATHS AND PORTICO PLATFORM TO REMAIN. SOFT WASH EXISTING STONE WITH NON-ABRASIVE, NATURAL STONE CLEANER TO REMOVE DIRT AND ALGAE.
- 9 INSTALL NEW CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO EXISTING STONE WALL USING CONCEALED ANCHOR STRAPS. PROVIDE 12' x 24\"/>
- 10 DEMOLITION:  
REMOVE ALL DAMAGED SECTIONS OF GUTTER, DRIP EDGE AND METAL ROOF PANELS. REMOVE DAMAGED RAFTERS AND SECTIONS OF WOOD DECKING. CAREFULLY REMOVE EXISTING RIDGE CAP TO BE RE-USED.  
NEW WORK:  
INSTALL NEW PRESSURE TREATED WOOD RAFTERS AND ROOF DECKING OF THE SAME SIZE AS EXISTING. INSTALL NEW METAL ROOF PANELS AND BUILDING PAPER TO INFILL EXPOSED ROOF DECKING. INSTALL NEW DRIP EDGE ALONG EXPOSED GABLE RAFTER. INSTALL NEW GUTTER WITH CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO WOOD COLUMN USING CONCEALED ANCHOR STRAPS. PROVIDE 12' x 24\"/>
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- 12 RE-SECURE EXISTING GUTTER TO ROOF RAFTERS - ENSURE GUTTERS HAVE ADEQUATE SLOPE TO PROMOTE PROPER DRAINAGE. REPLACE GUTTER HANGERS WITH NEW HARDWARE. INSTALL NEW CONTINUOUS ALUMINUM DRIP EDGE ALONG ENTIRE LENGTH OF ROOF EDGE. COLOR TO MATCH EXISTING.
- 13 REMOVE ALL EXISTING BETWEEN-RAFTER-SCREENS AND FRAMES; EXISTING WOOD NAILER TO REMAIN. INSTALL NEW VANDAL-PROOF STAINLESS STEEL INSECT SCREEN & STAINLESS STEEL FRAME, CONTINUOUS BETWEEN ALL RAFTERS.
- 14 NEW FIRE WOOD STORAGE SHED, SEE DRAWING 4 ON SHEET A1.1
- 15 CONSTRUCT NEW BONDED AGGREGATE SURFACING, SEE CIVIL AND LANDSCAPE PLANS.
- 16 CAREFULLY INSPECT INSECT DAMAGE AT SOUTH END GABLE TIE BEAM TO DETERMINE EXTENT OF TUNNELING. THE TIE BEAM SHALL BE TREATED BY A PROFESSIONAL EXTERMINATOR TO ELIMINATE ANY INSECTS LIVING IN THE BEAMS. HOLES TO BE REPAIRED WITH WOOD PUTTY AND FINISHED TO MATCH THE SURROUNDING WOOD ELEMENTS.

GENERAL NOTE:  
SEE GENERAL NOTES AND GENERAL DEMO NOTES ON SHEET CS-1.1

1  
A-2.1 ELEVATIONS SCALE: 1/4" = 1'-0"

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
BALTIMORE, MD 21227  
P: 410-234-8444  
WWW.RRMM.COM

PROFESSIONAL CERTIFICATION  
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License: 21386 Expires: 01/11/2027

**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
4201 GWYNNS FALLS PARKWAY, BALTIMORE, MD 21216  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04

REVISIONS	

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

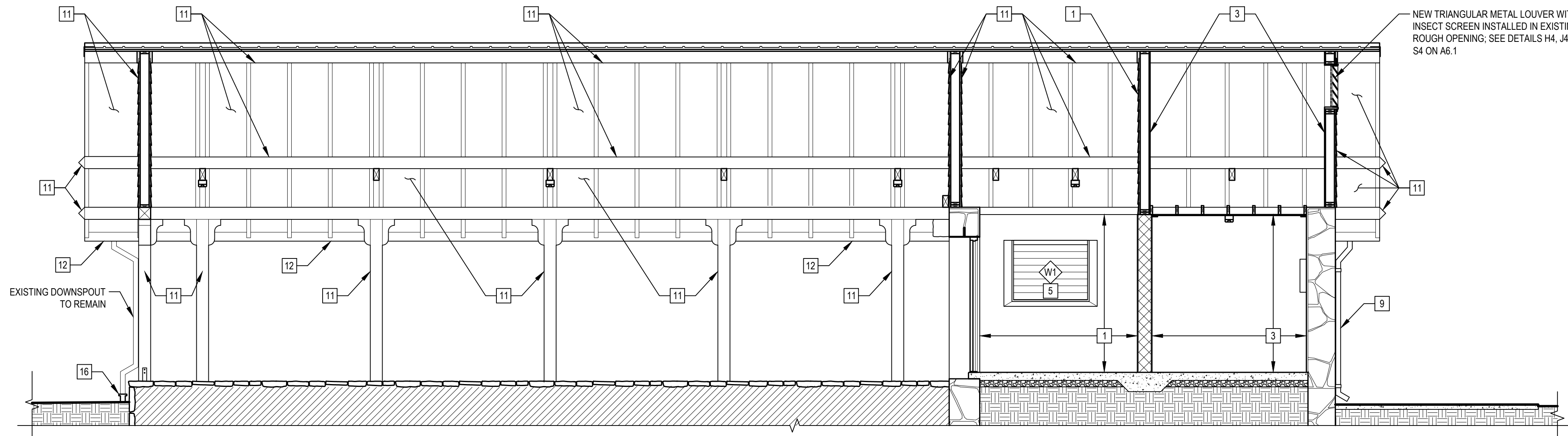
**PAVILION ELEVATIONS**

PROJECT NO. RP22805 SHEET NO. A-2.1  
SCALE: AS NOTED DATE: FEB. 13, 2026

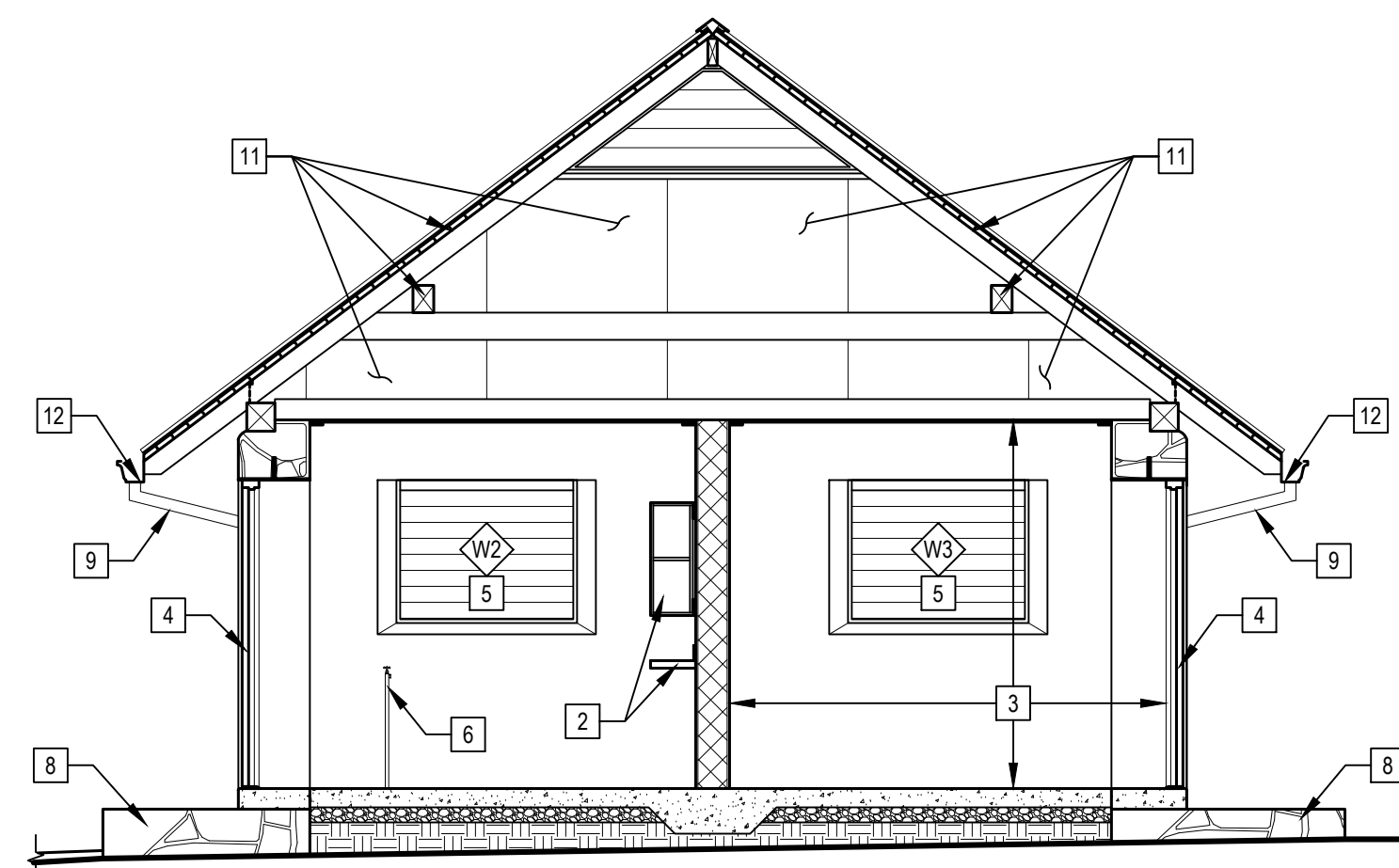
DRAWN BY JWM  
TRACED BY  
DESIGNED BY CLK  
CHECKED BY JAG

SHEET: 40 OF 46

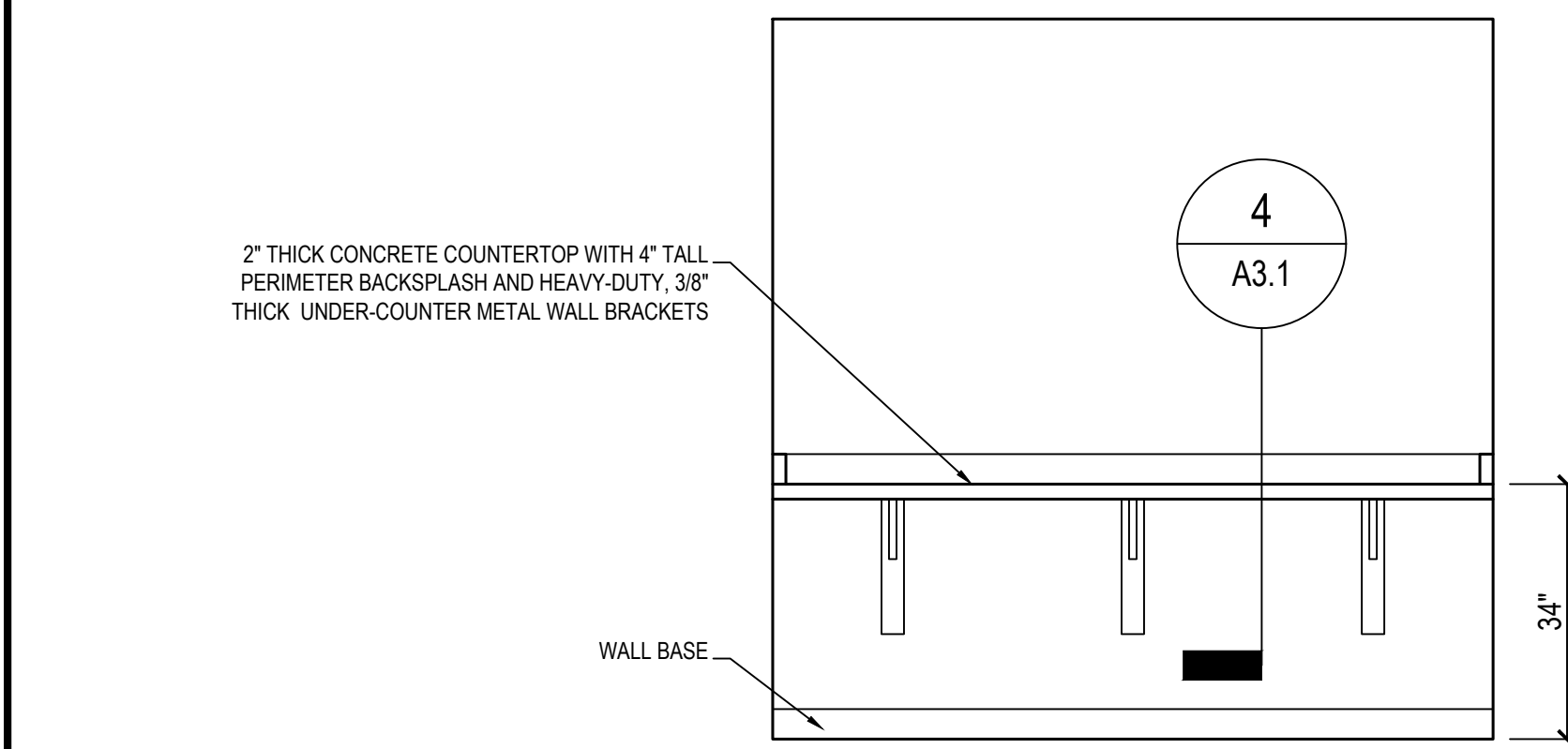
KEYED NOTES



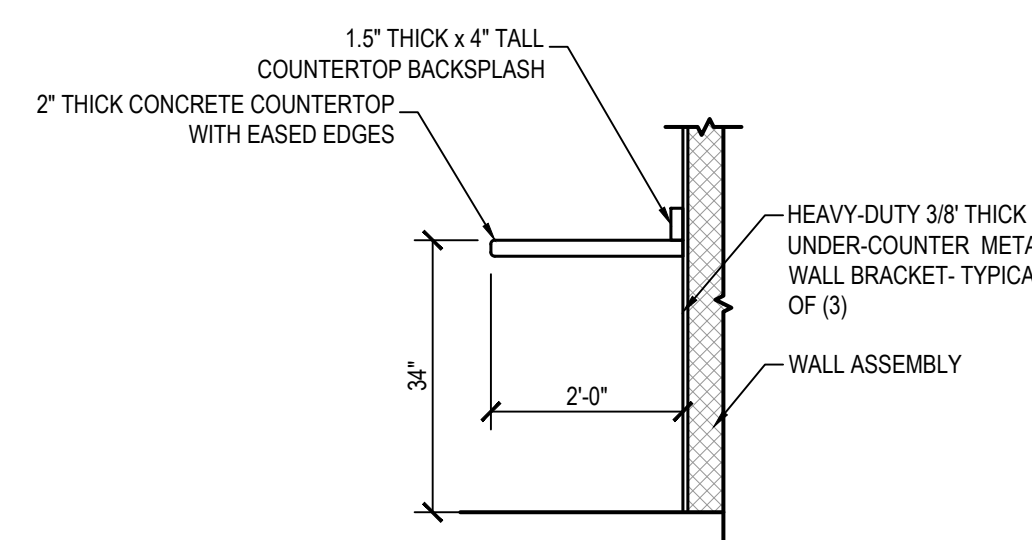
**1** BUILDING SECTION SCALE: 1/4" = 1'-0"



**2** BUILDING SECTION SCALE: 1" = 1'-0"



**3** ROOM 102 ELEVATION SCALE: 1/2" = 1'-0"



**4** COUNTERTOP SECTION SCALE: 1/2" = 1'-0"

**PAVILION KEYED NOTES:**

- 1** DEMOLITION:  
REMOVE AND DELIVER PICNIC TABLE TO OWNER FOR RE-USE. REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER ELECTRICAL PLANS. DEMOLISH EXISTING WOOD DISPLAY BOARD. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF DISPLAY BOARD AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN HORIZONTAL WOOD SIDING AND BUILDING PAPER ABOVE CMU DIVIDING WALL BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. DEMOLISH PLYWOOD SHEATHING BENEATH HORIZONTAL WOOD SIDING TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL WOOD WALL BASE. PROTECT EXISTING FINISH TO REMAIN.  
**NEW WORK:**  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 101 AND STORAGE 102 / STORAGE 103. INFILL NEW BUILDING PAPER AND HORIZONTAL WOOD SIDING TO MATCH EXISTING - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR AREA.
- 2** DEMOLITION:  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES AND CONTROLS PER ELECTRICAL PLANS. DEMOLISH EXISTING CASEWORK. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF CASEWORK AND ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 102 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.  
**NEW WORK:**  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 102 AND STORAGE 101 - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. PROVIDE AND INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR. INSTALL NEW 5/8" FIRE-RATED PLYWOOD CEILING W/ 1/4" PERIMETER TRIM ON EXISTING RAFTER TIES - PRIMED AND PAINTED WITH (2) FINISH COATS OF PAINT. PROVIDE 20"x30" VANDAL RESISTANT ACCESS PANEL FOR ATTIC ACCESS.
- 3** DEMOLITION:  
REMOVE EXISTING SURFACE MOUNTED ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND ELECTRICAL PANEL PER ELECTRICAL PLANS. PATCH AND REPAIR EXISTING STUCCO FINISH WHERE DAMAGED FROM DEMOLITION OF ELECTRICAL COMPONENTS. REMOVE ALL SEGMENTS OF BROKEN PLYWOOD SHEATHING ABOVE CMU DIVIDING WALL BETWEEN STORAGE 103 AND STORAGE 101 TO THE EXTENT REQUIRED TO INSTALL NEW SHEATHING TO INFILL HOLE IN PARTITION. REMOVE ALL REMNANTS OF EXISTING GYPSUM WALLBOARD CEILING - PROTECT EXISTING RAFTER TIES TO REMAIN. DEMOLISH EXISTING WOOD WALL BASE. PROTECT EXISTING STUCCO FINISH TO REMAIN. PROTECT EXISTING FLOOR MOUNTED DOOR STOP TO REMAIN.  
**NEW WORK:**  
INSTALL NEW PLYWOOD SHEATHING TO INFILL HOLE IN PARTITION BETWEEN STORAGE 102 AND STORAGE 101 - FROM TOP OF CMU WALL TO UNDERSIDE OF WOOD PLANK DECKING. INSTALL NEW ELECTRICAL CONDUITS, JUNCTION BOXES, CONTROLS AND LIGHT FIXTURES PER NEW ELECTRICAL PLANS. SAND, PREP AND PAINT ALL EXISTING PAINTED STUCCO SURFACES WITH PRIMER AND (2) FINISH COATS OF PAINT. PROVIDE AND INSTALL NEW WOOD WALL BASE TO MATCH EXISTING PROFILE. SAND, PREP AND PAINT ALL WOOD BASE WITH PRIMER AND (2) FINISH COATS OF PAINT. SAND AND PREP EXISTING CONCRETE FLOOR SLAB AND APPLY NEW EPOXY FINISH OVER ENTIRE FLOOR. INSTALL NEW 5/8" FIRE-RATED PLYWOOD CEILING W/ 1/4" PERIMETER TRIM ON EXISTING RAFTER TIES - PRIMED AND PAINTED WITH (2) FINISH COATS OF PAINT. PROVIDE 20"x30" VANDAL RESISTANT ACCESS PANEL FOR ATTIC ACCESS.
- 4** DEMOLITION:  
REMOVE EXISTING DOOR, FRAME AND HARDWARE IN ITS ENTIRETY. EXISTING STEEL LINTELS TO REMAIN - WIRE BRUSH LINTELS TO REMOVE ALL SURFACE RUST / SCALE. PROTECT EXISTING MASONRY OPENING, EXISTING STUCCO FINISH AND CONCRETE SLAB TO REMAIN.  
**NEW WORK:**  
INSTALL NEW DOOR, FRAME AND HARDWARE INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW DOOR HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITING PAINT.
- 5** DEMOLITION:  
REMOVE EXISTING WINDOW AND SECURITY GRATE IN ITS ENTIRETY. EXISTING STEEL LINTELS TO REMAIN - WIRE BRUSH LINTELS TO REMOVE ALL SURFACE RUST / SCALE. PROTECT EXISTING MASONRY OPENING AND EXISTING STUCCO FINISH TO REMAIN.  
**NEW WORK:**  
INSTALL NEW METAL LOUVER INTO EXISTING MASONRY OPENING. PATCH AND REPAIR ALL EXISTING STUCCO AND NATURAL STONE ONCE NEW LOUVER HAS BEEN INSTALLED. SAND, PREP AND PAINT EXISTING STEEL LINTEL WITH PRIMER AND (2) COATS OF RUST INHIBITING PAINT. SEE DETAILS H3, J3, AND S3 ON SHEET A6.1.
- 6** DEMOLITION:  
REMOVE EXISTING STAND-ALONE FAUCET AND ASSOCIATED PLUMBING IN ITS ENTIRETY. CUT & CAP LINES BELOW SLAB.  
**NEW WORK:**  
PATCH CONCRETE FLOOR SLAB WHERE STAND-ALONE FAUCET AND PIPING WAS DEMOLISHED.
- 7** DEMOLITION:  
REMOVE EXISTING RAIN-WATER CISTERNS, FILTER CANISTERS, AND ASSOCIATED PVC PIPING AND DELIVER TO OWNER FOR RE-USE. CONTRACTOR SHALL COORDINATE DELIVERY TO OWNERS REQUESTED SITE FOLLOWING REMOVAL. REMOVE EXISTING STEEL SUPPORTS AND ANCHORS LOCATED ON THE NORTH FACE OF THE BUILDING - TYPICAL OF (2 SETS). PROTECT EXISTING STONE WALLS AND CONCRETE SLAB TO REMAIN.  
**NEW WORK:**  
PATCH EXISTING STONE WALLS WHERE STEEL SUPPORTS HAVE BEEN REMOVED. INFILL HOLES WITH NEW MORTAR TO MATCH ADJACENT MORTAR.
- 8** PROTECT EXISTING STONE WALLS, STEPS, PATHS AND PORTICO PLATFORM TO REMAIN. SOFT WASH EXISTING STONE WITH NON-ABRASIVE, NATURAL STONE CLEANER TO REMOVE DIRT AND ALGAE.
- 9** INSTALL NEW CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO EXISTING STONE WALL USING CONCEALED ANCHOR STRAPS. PROVIDE 12" x 24" CONCRETE SPLASH BLOCK POSITIONED TO PROMOTE DRAINAGE AWAY FROM STRUCTURE. CONNECT NEW DOWNSPOUT TO EXISTING GUTTER AT DOWNSPOUT HEAD.
- 10** DEMOLITION:  
REMOVE ALL DAMAGED SECTIONS OF GUTTER, DRIP EDGE AND METAL ROOF PANELS. REMOVE DAMAGED RAFTERS AND SECTIONS OF WOOD DECKING. CAREFULLY REMOVE EXISTING RIDGE CAP TO BE RE-USED.  
**NEW WORK:**  
INSTALL NEW PRESSURE TREATED WOOD RAFTERS AND ROOF DECKING OF THE SAME SIZE AS EXISTING. INSTALL NEW METAL ROOF PANELS AND BUILDING PAPER TO INFILL EXPOSED ROOF DECKING. INSTALL NEW DRIP EDGE ALONG EXPOSED GABLE RAFTER. INSTALL NEW GUTTER WITH CORRUGATED METAL DOWNSPOUT (TO MATCH EXISTING) DOWN TO GRADE - ANCHORED TO WOOD COLUMN USING CONCEALED ANCHOR STRAPS. PROVIDE 12" x 24" CONCRETE SPLASH BLOCK.
- 11** PATCH, SAND AND STAIN ALL EXISTING AND NEW WOOD COLUMNS, RAFTERS, RAFTER TIES, BEAMS, T&G ROOF DECKING, SIDING AND EXPOSED WOOD FRAMING. ALL EXISTING UNFINISHED WOOD TO BE STAINED TO MATCH SURROUNDING WOOD ELEMENTS.
- 12** RE-SECURE EXISTING GUTTER TO ROOF RAFTERS - ENSURE GUTTERS HAVE ADEQUATE SLOPE TO PROMOTE PROPER DRAINAGE. REPLACE GUTTER HANGERS WITH NEW HARDWARE. INSTALL NEW CONTINUOUS ALUMINUM DRIP EDGE ALONG ENTIRE LENGTH OF ROOF EDGE. COLOR TO MATCH EXISTING.
- 13** REMOVE ALL EXISTING BETWEEN-RAFTER-SCREENS AND FRAMES; EXISTING WOOD NAILER TO REMAIN. INSTALL NEW VANDAL-PROOF STAINLESS STEEL INSECT SCREEN & STAINLESS STEEL FRAME, CONTINUOUS BETWEEN ALL RAFTERS.
- 14** NEW FIRE WOOD STORAGE SHED, SEE DRAWING 4 ON SHEET A1.1
- 15** CONSTRUCT NEW BONDED AGGREGATE SURFACING; SEE CIVIL AND LANDSCAPE PLANS.
- 16** CAREFULLY INSPECT INSECT DAMAGE AT SOUTH END GABLE TIE BEAM TO DETERMINE EXTENT OF TUNNELING. THE TIE BEAM SHALL BE TREATED BY A PROFESSIONAL EXTERMINATOR TO ELIMINATE ANY INSECTS LIVING IN THE BEAMS. HOLES TO BE REPAIRED WITH WOOD PUTTY AND FINISHED TO MATCH THE SURROUNDING WOOD ELEMENTS.

**GENERAL NOTE:**  
SEE GENERAL NOTES AND GENERAL DEMO NOTES ON SHEET CS-1.1

**KEYED NOTES**

RRMM ARCHITECTS  
3700 KOPPERS ST., STE 300  
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BLOCK 3390-F, LOT 001, WARD 13, SECTION 04

**REVISIONS**

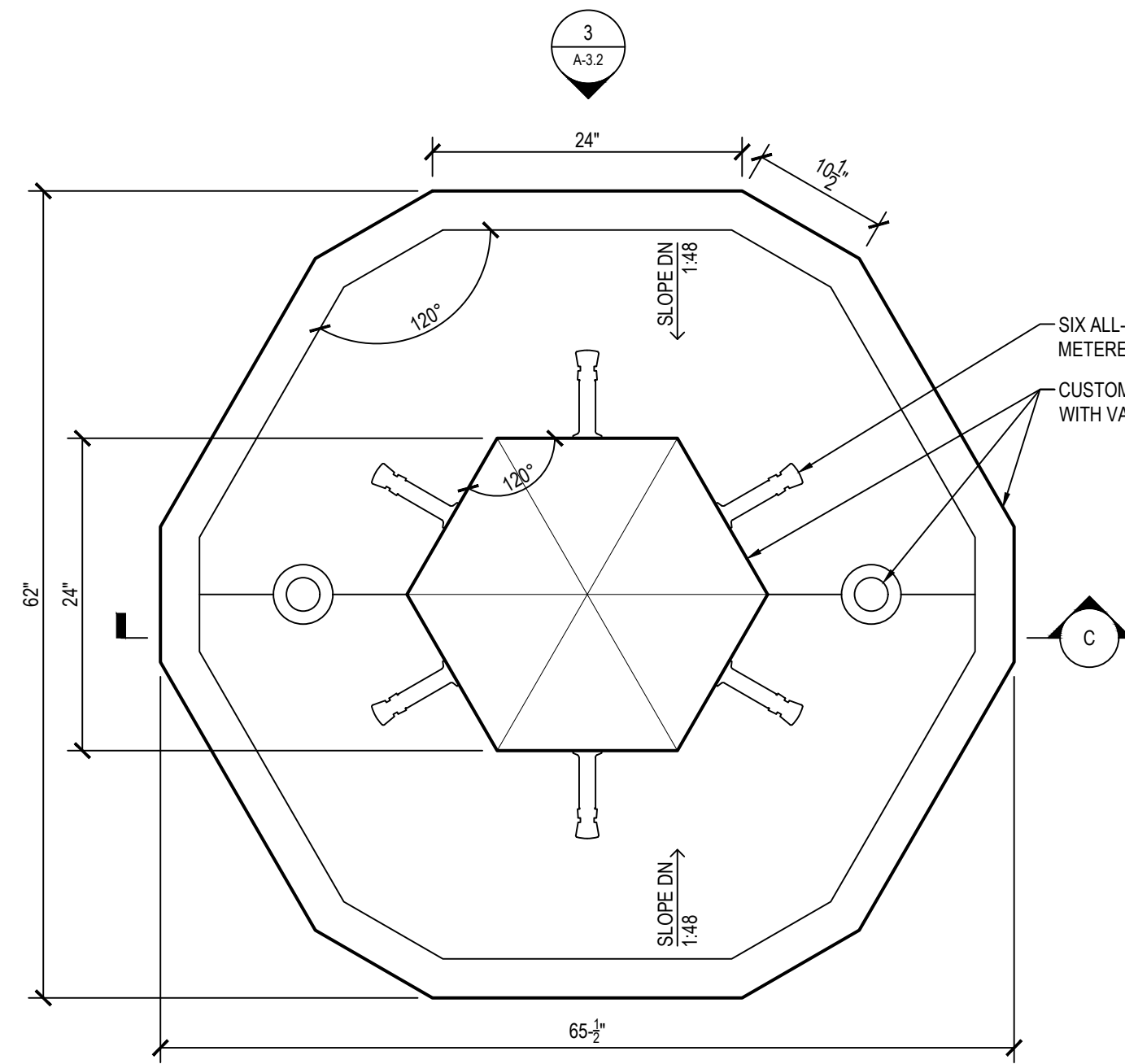
NO.	DATE	DESCRIPTION

CITY OF BALTIMORE  
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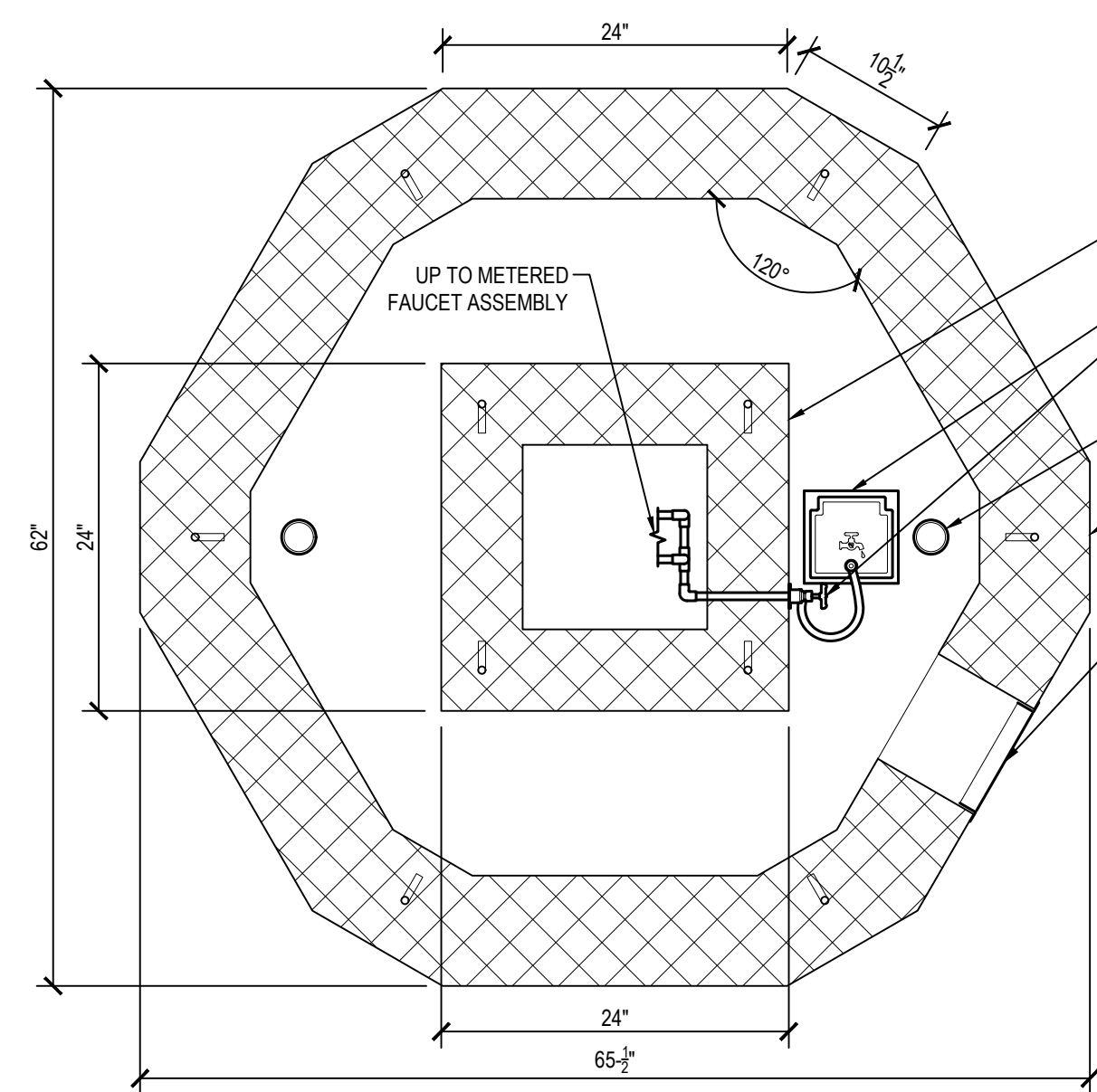
**PAVILION SECTIONS & DETAILS**

PROJECT NO. RP22805 SHEET NO. A-3.1  
SCALE: AS NOTED DATE: FEB. 13, 2026

**DRAWN BY** JWM  
**TRACED BY** CLK  
**DESIGNED BY** CLK  
**CHECKED BY** JAG  
PROJECT NO. RP22805 SHEET NO. A-3.1  
SCALE: AS NOTED DATE: FEB. 13, 2026  
SHEET: 41 OF 46

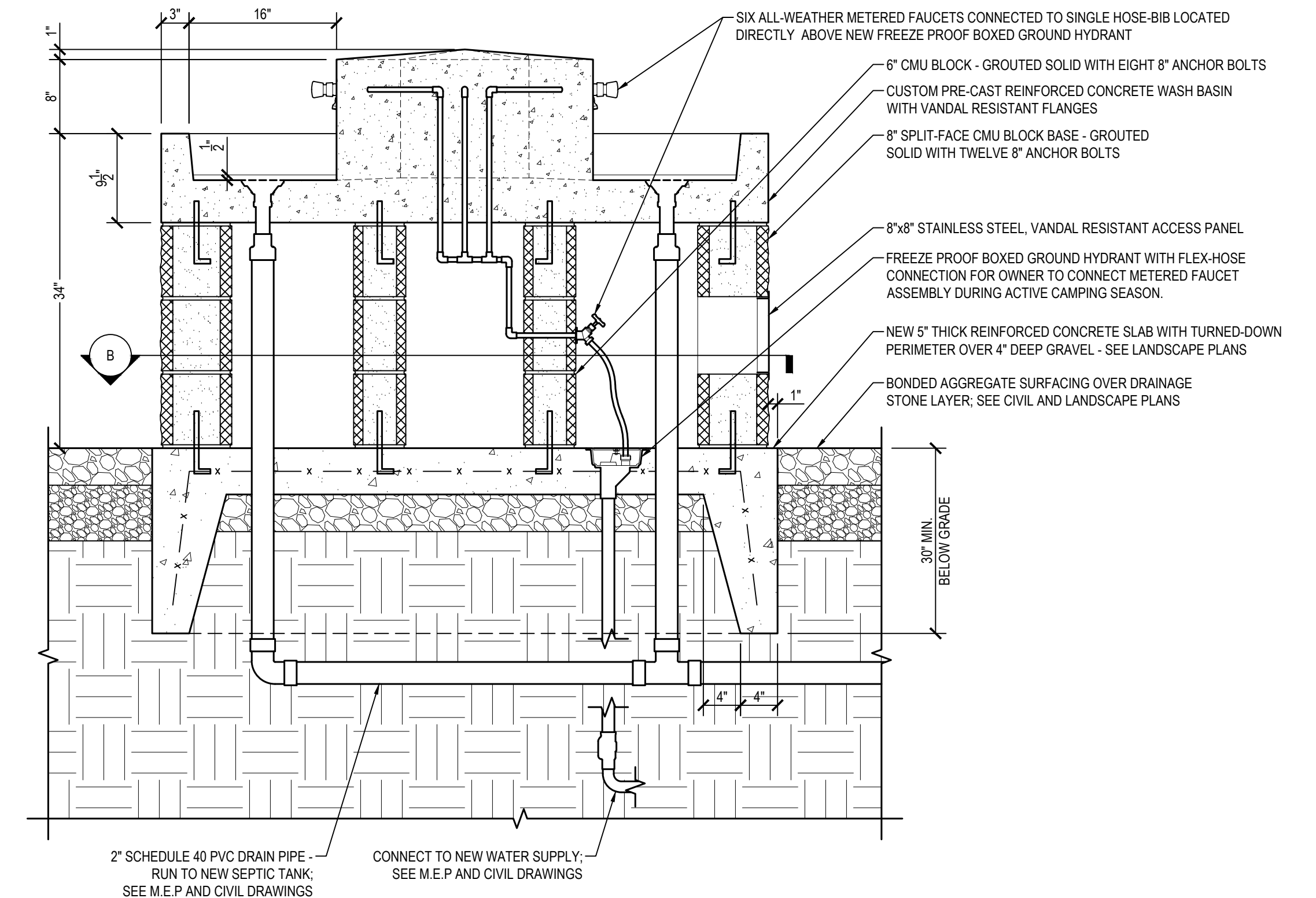


A PLAN HIGH



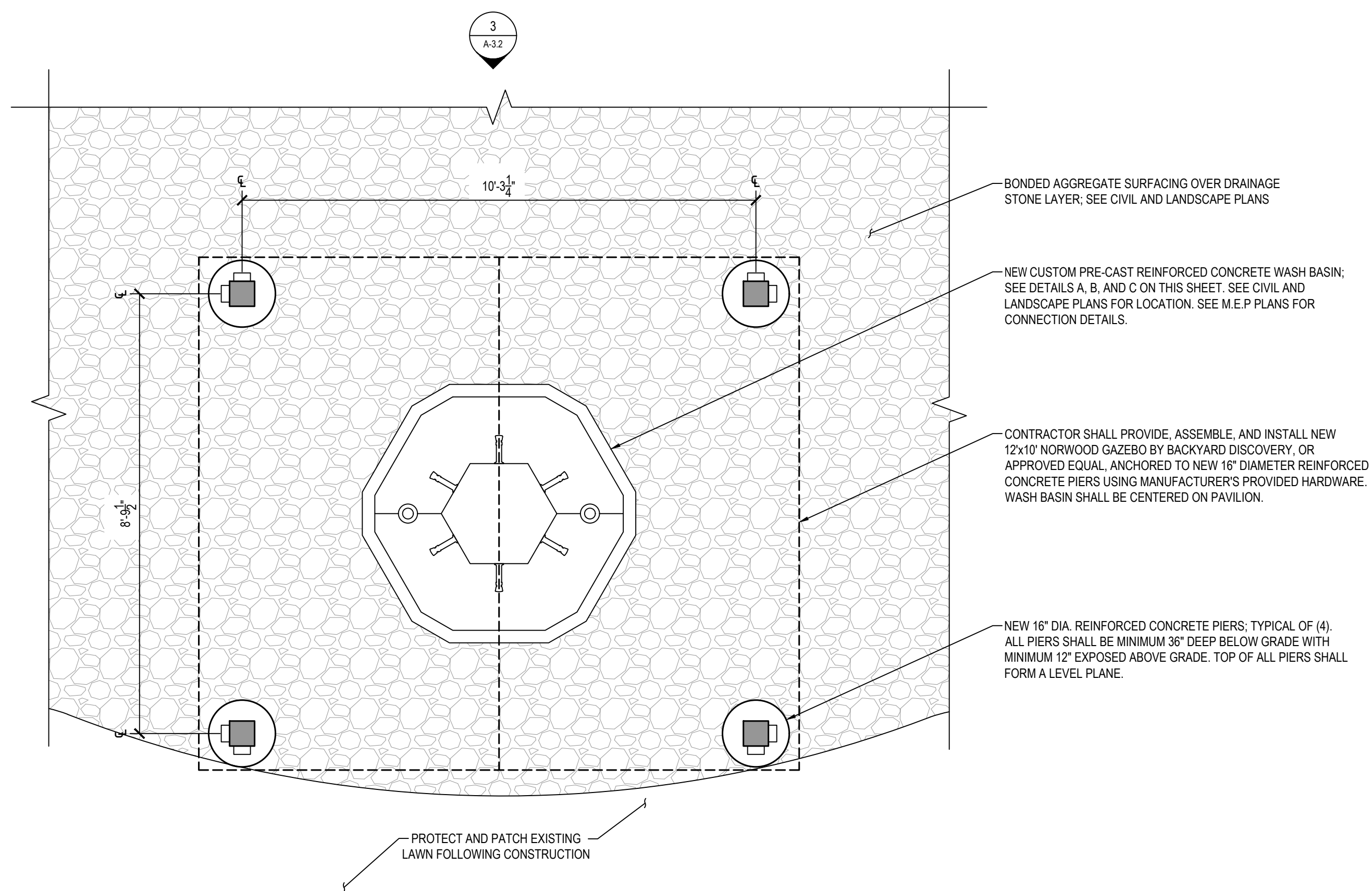
B PLAN LOW

- 6" CMU BLOCK - GROUTED SOLID WITH FOUR 8" ANCHOR BOLTS
- FREEZE PROOF BOXED GROUND HYDRANT WITH FLEX-HOSE CONNECTION FOR OWNER TO CONNECT METERED FAUCET ASSEMBLY DURING ACTIVE CAMPING SEASON.
- 2" SCHEDULE 40 PVC DRAIN PIPE - RUN TO NEW HOLDING TANK (TYP. OF (2))
- 8" SPLIT-FACE CMU BLOCK BASE - GROUTED SOLID WITH SIX 8" ANCHOR BOLTS
- 8"x8" STAINLESS STEEL VANDAL RESISTANT ACCESS PANEL

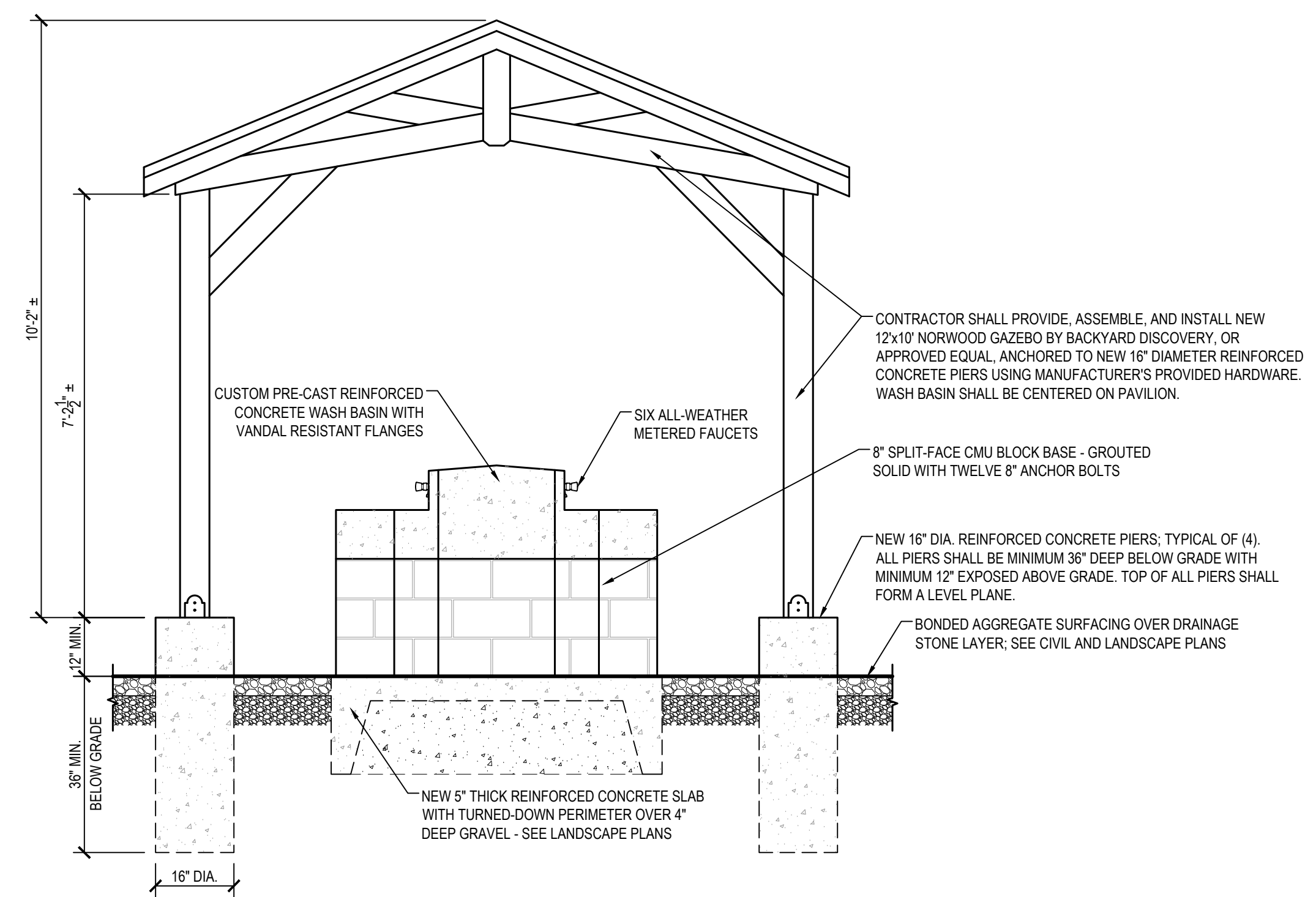


C SECTION

1  
A-3.2 WASH BASIN PLANS & SECTION SCALE: 1" = 1'-0"



2  
A-3.2 WASH BASIN PLANS & SECTION SCALE: 1/2" = 1'-0"



3  
A-3.2 WASH BASIN PAVILION ELEVATION SCALE: 1/2" = 1'-0"

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REVISIONS

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WASH BASIN PLAN AND DETAILS

SCALE: AS NOTED

DATE: FEB. 13, 2026

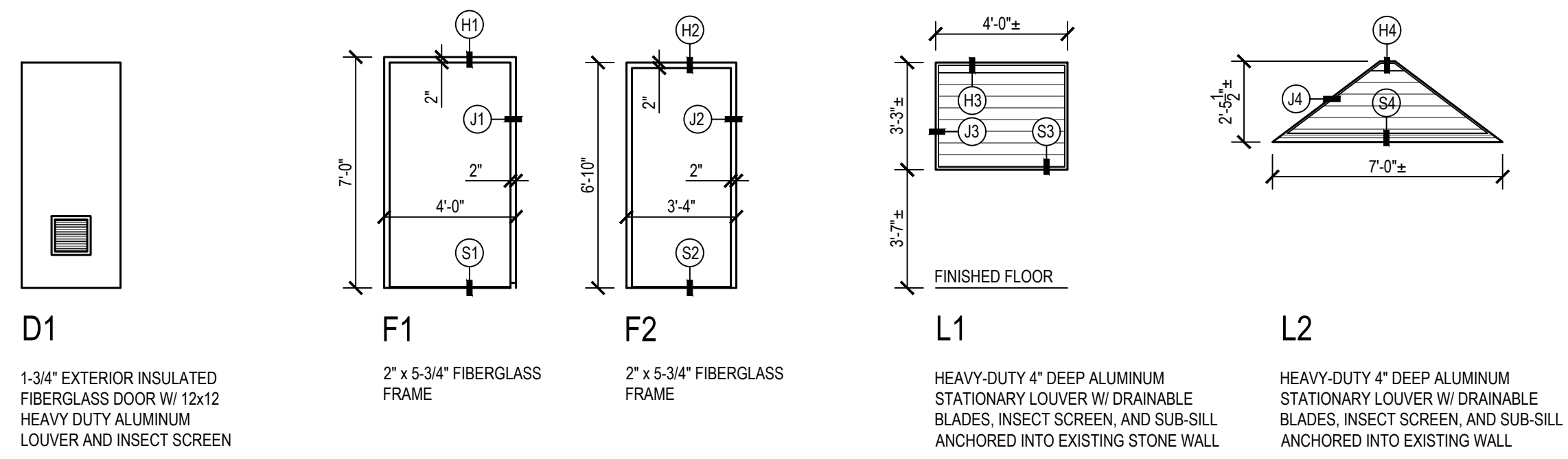
DRAWN BY JWM	SHEET NO. A-3.2
TRACED BY CLK	PROJECT NO. RP22805
DESIGNED BY CLK	DATE: FEB. 13, 2026
CHECKED BY JAG	SHEET: 42 OF 46

FINISH SCHEDULE					
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING
100	PORTICO	EXISTING SLATE	NONE	NONE	EXPOSED - STAINED
101	STORAGE	EPOXY	WOOD - PAINTED	STUCCO - PAINTED	EXPOSED - STAINED
102	STORAGE	EPOXY	WOOD - PAINTED	STUCCO - PAINTED	PLYWOOD - PAINTED
103	STORAGE	EPOXY	WOOD - PAINTED	STUCCO - PAINTED	PLYWOOD - PAINTED

DOOR SCHEDULE								
DOOR NO.	WIDTH	HEIGHT	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME FINISH	HARDWARE	ADDITIONAL COMMENTS
101	3'-8"	6'-10"	D1	FACTORY	F1	FACTORY	HW-1	1
102	3'-0"	6'-8"	D1	FACTORY	F2	FACTORY	HW-2	1
103	3'-0"	6'-8"	D1	FACTORY	F2	FACTORY	HW-2	1

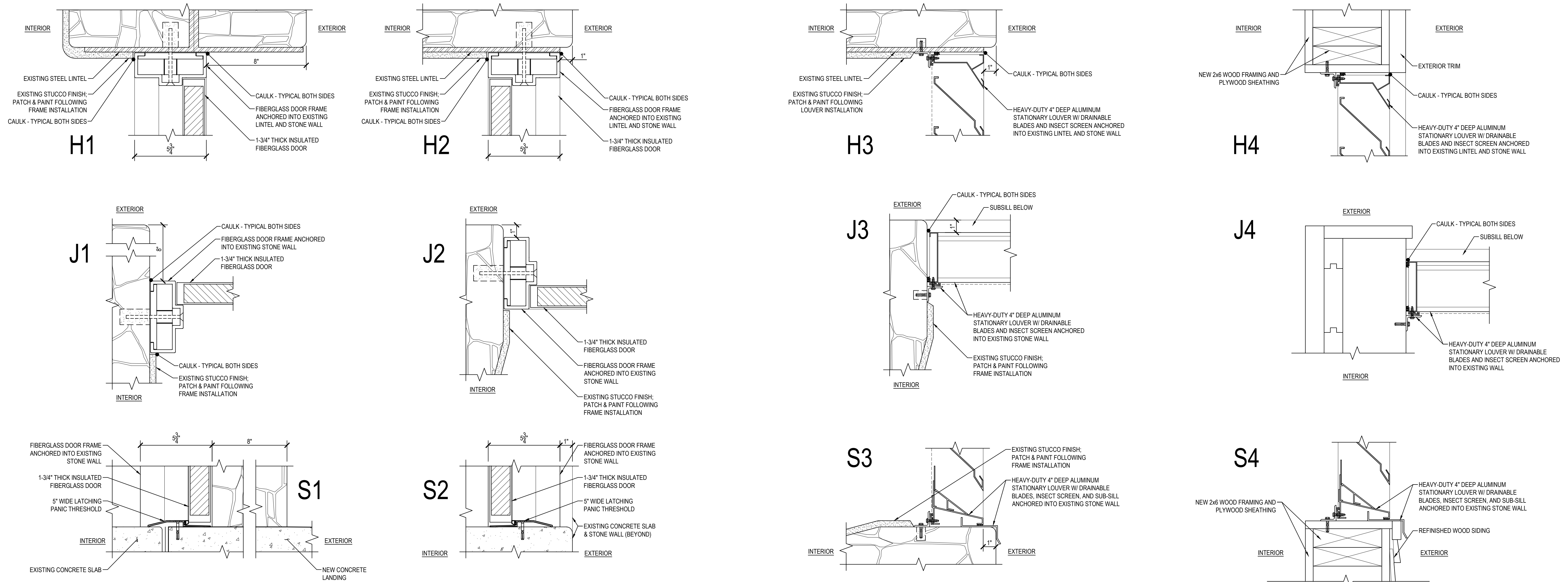
NOTES:  
1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN EXISTING OPENINGS

- HARDWARE SETS:**
- HW-1**
- CONTINUOUS HINGE
  - CLOSER
  - DEADBOLT LOCKSET
  - ALUMINUM LATCHING PANIC THRESHOLD
  - WEATHERSTRIPPING SET
  - PUSH / PULL PLATES
  - STAINLESS STEEL KICK PLATES (BOTH SIDES)
- HW-2**
- CONTINUOUS HINGE
  - FULL MORTISE LEVER LOCKSET-STORAGE FUNCTION
  - ALUMINUM LATCHING PANIC THRESHOLD
  - WEATHERSTRIPPING SET



**DOOR TYPES**      **FRAME TYPES**      **LOUVER TYPES**

**1 A-6.1 SCHEDULES / DOOR & LOUVER TYPES SCALE: 1/4" = 1'-0"**



**2 A-6.1 JAMB DETAILS SCALE: 3" = 1'-0"**

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**SCHEDULES / DOOR & LOUVER TYPES / JAMB DETAILS**

SCALE: AS NOTED      DATE: FEB. 13, 2026

DRAWN BY: JWM  
TRACED BY: CLK  
DESIGNED BY: CLK  
CHECKED BY: JAG

PROJECT NO. RP22805      SHEET NO. A-G.1

SHEET: 43 OF 46

ELECTRICAL LEGEND	
	HOMERUN TO DESIGNATED PANEL IN MINIMUM 3/4" CONDUIT WITH AN INSULATED GROUND WIRE. U.O.N. "X-1" INDICATES PANELBOARD AND CIRCUIT NO. RESPECTIVELY.
	CIRCUIT (IN MINIMUM 3/4" UON) CONCEALED IN WALL OR ABOVE CEILING WITH MINIMUM INSULATED GROUND WIRE (MINIMUM #12 AWG, UON) FOR EACH CONDUIT RUN #12 AWG WIRE. NO. OF HATCHES INDICATE NO. OF PHASE & NEUTRAL WIRES.
	LED FIXTURE. LETTER DESIGNATIONS CORRESPOND TO LIGHTING FIXTURE SCHEDULE.
	RECESSED LED LIGHTING FIXTURE. LETTER DESIGNATIONS CORRESPOND TO LIGHTING FIXTURE SCHEDULE. GROSS HATCHING IN FIXTURE INDICATES A FIXTURE ON AN EMERGENCY CIRCUIT.
	WALL MOUNTED LED LIGHTING FIXTURE. LETTER DESIGNATIONS CORRESPOND WITH LIGHTING FIXTURE SCHEDULE.
	20A, 125V, 2P, 3W GFCI TYPE RECEPTACLE IN WEATHERPROOF ENCLOSURE MH=18" AFF, UON.
	20A, 120V/277V, 1P, WALL MOUNTED MOTION SENSOR SWITCH, MH = 48" AFF
	20A, 125V, 2P, 3W DUPLEX RECEPTACLE MH=48" AFF, UON.
	DISCONNECT SWITCH IN NEMA-1 TYPE ENCLOSURE, NONFUSED, LOCKABLE HANDLE, AMP/VOLTAGE/POLE AS NOTED ON DRAWING.(2 POLE 60 SWITCH 40A FUSES)
	ELECTRICAL MOTOR, EXHAUST FAN
	PANELBOARD 120/240V. WALL MOUNTED. TOP CB IN PANEL SHALL BE MAXIMUM 72" AFF.
	20A, 120V/277V, 1P. TOGGLE SWITCH, MH = 48" AFF
	DENOTES DRAWING NOTES.
	CEILING MOUNTED OCCUPANCY SENSOR

### ELECTRICAL ABBREVIATIONS

A, AMP	AMPERE	KVA	KILOVOLT AMPS
AC	ALTERNATING CURRENT	KW	KILOWATT
AF	AMP FRAME	LTC	LIGHTING
AFF	ABOVE FINISHED FLOOR	MCB	MAIN CIRCUIT BREAKER
AFG	ABOVE FINISHED GRADE	MECH	MECHANICAL
AT	AMP TRIP	MIN	MINIMUM
AWG	AMERICAN WIRE GAUGE	MLO	MAIN LUGS ONLY
BKR	BREAKER	MOC	MAXIMUM OVERCURRENT PROTECTION
BLDG	BUILDING	N/A	NOT APPLICABLE
C, COND	CONDUIT	N	NEUTRAL
CB	CIRCUIT BREAKER	NEC	NATIONAL ELECTRICAL CODE
CKT	CIRCUIT	NEMA	NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
CLG	CEILING	NIC	NOT IN CONTRACT
DIA	DIAMETER	NF	NON-FUSABLE
DISC	DISCONNECT	NFSS	NON-FUSED SAFETY SWITCH
DN	DOWN	NTS	NOT TO SCALE
DWG	DRAWING	Ø	PHASE
EC	EMPTY CONDUIT	P	POLE
EG	EQUIPMENT GROUND	PAN	PANELBOARD
ELEC	ELECTRICAL	PRI	PRIMARY
EQUIP	EQUIPMENT	QTY	QUANTITY
(E),(EX)	EXISTING	REC, RECEPT	RECEPTACLE
ETR	EXISTING TO REMAIN	REQ'D	REQUIRED
FLA	FULL LOAD AMPS	RM	ROOM
F/N	FULL NEUTRAL	(RX)	REMOVE EXISTING
FSS	FUSED SAFETY SWITCH	SCHED	SCHEDULE
G, GND	GROUND	EX	EX. TO BE RELOCATED
GFI	GROUND FAULT INTERRUPTER	TYP	TYPICAL
HP	HORSEPOWER	UNF	UNFUSED
JB	JUNCTION BOX	UON	UNLESS OTHERWISE NOTED
KAIC	THOUSANDS OF AMPS INTERRUPTING CAPACITY	V	VOLT, VOLTAGE
KCMIL, MCM	THOUSANDS CIRCULAR MILS	VA	VOLT AMP
		W	WATT, WIRE
		WP	WEATHERPROOF

### GENERAL ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO MEET THE DESIGN INTENT OF THESE DOCUMENTS. COORDINATE WITH FIELD CONDITIONS AT THE JOB SITE AND ALL OTHER TRADES TO DETERMINE ALL ELECTRICAL CONNECTIONS THAT MAY BE REQUIRED. ALL ELECTRICAL MATERIAL AND WORK SHALL HAVE A MINIMUM ONE YEAR GUARANTEE PERIOD TO BEGIN AT THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
2. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND INSPECTIONS FROM THE AUTHORITY HAVING JURISDICTION.
3. INSTALL CONDUIT AND JUNCTION BOXES CONCEALED IN FINISHED SPACES.
4. ALL EQUIPMENT SHALL BE UL LISTED AND LABELED.
5. ALL CONDUCTORS SHALL BE IDENTIFIED. ALL CONDUCTORS SHALL BE COPPER WITH 600V INSULATION. CONDUCTORS #10 AWG AND SMALLER SHALL BE SOUND COPPER WITH TYPE THHN/THWN, 90°C INSULATION. ALL CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED COPPER WITH TYPE THHN/THWN INSULATION RATED AT 90°C. AMPACITY OF CONDUCTORS SHALL BE AT 75°C RATING OR RATING OF TERMINATION, WHICHEVER IS LESS.
6. ELECTRICAL CONTRACTOR MAY UTILIZE TYPE MC CABLE IN LIEU OF CONDUIT AND WIRE IN INTERIOR, DRY, FURRED LOCATIONS WHEN PERMITTED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
7. NOT USED
8. CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING FOR CORRECT PHASING WITHIN THE PANELS THEMSELVES. DO NOT INSTALL MORE THAN (3) SINGLE PHASE CIRCUITS WITHIN ANY ONE CONDUIT. AT COMPLETION OF WORK, ALL PANELS SHALL BE LOAD BALANCED UNDER NORMAL OPERATING CONDITIONS. PROVIDE TYPED WRITTEN PANEL DIRECTORY FOR ALL PANELBOARDS. DIRECTORY SHALL INCLUDE TYPE OF LOAD SERVED AND ROOM NUMBERS OF CIRCUIT LOCATION.
9. THE QUANTITY OF WIRES FOR CIRCUITS SHALL BE AS INDICATED AT THOSE AREAS WHERE CLARIFICATION IS REQUIRED IN ORDER TO INSURE THE PROPER OPERATION OF THE SYSTEM.
10. WIRING SHALL BE #12 AWG MINIMUM UNLESS OTHERWISE INDICATED; CONDUIT SHALL BE EMT WITH COMPRESSION FITTINGS, 3/4" MINIMUM SIZE UNLESS OTHERWISE INDICATED.
11. COORDINATE ALL LIGHT FIXTURE TYPES WITH THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE TWO, CONTACT THE ARCHITECT PRIOR TO THE PURCHASE OF ANY FIXTURES. VERIFY COMPATIBILITY WITH FINISHES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION IMMEDIATELY.
12. THE ELECTRICAL PLANS ARE DIAGRAMMATIC IN NATURE; DIMENSIONS SHOWN ARE AT A MINIMUM. ALL WRITTEN DIMENSIONS ON THESE PLANS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS. CONTACT ARCHITECT SHOULD THERE BE ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON THE PLANS AND WHAT EXISTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. SHOULD EXACT DIMENSIONS BE REQUIRED, REFER TO THE ARCHITECTURAL PLANS.
13. MOUNTING HEIGHTS OF DEVICES. UNLESS NOTED OTHERWISE, ARE TO THE CENTERLINE OF THE EQUIPMENT. THE EXCEPTION TO THIS IS LIGHTING FIXTURES. MOUNTING HEIGHTS INDICATED ARE TO THE BOTTOM OF THE FIXTURE. COORDINATE ALL MOUNTING HEIGHTS OF THE VARIOUS DEVICES IN ORDER TO PROVIDE FOR A FINAL INSTALLATION THAT IS CONSISTENT THROUGHOUT THE SPACE.
14. ANY CUTTING AND PATCHING SHALL BE PERFORMED IN A MANNER THAT IS ACCEPTABLE TO THE ARCHITECT AND SHALL MATCH THE SURROUNDING SURFACES.
15. VERIFY DOOR SWINGS PRIOR TO LIGHT SWITCH INSTALLATION. GENERALLY, INSTALL SWITCHES ON LATCH SIDE OF DOOR.
16. GANG MULTIPLE SWITCHES UNDER ONE COVER PLATE.
17. COORDINATE WITH THE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL OUTLETS, SWITCHES, AND LIGHTING FIXTURES; DO NOT USE ENGINEERING PLANS FOR LOCATING DEVICES. SHOULD A CONTRACTOR PLACE A DEVICE BASED ON THE ENGINEER'S PLANS AND IT IS NOT LOCATED AS PER THE ARCHITECT'S PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS RELOCATION AT HIS COST.
18. THE ELECTRICAL SYSTEM SHALL BE FULLY GROUNDED; PROVIDE GROUND WIRE IN EACH FEEDER AND EACH BRANCH CIRCUIT WHETHER INDICATED OR NOT.

19. WIRING FOR 20A BRANCH CIRCUITS SHALL BE SIZED AS INDICATED BELOW.

CIRCUIT LENGTH (FT.)	120V		277V	
	AWG	AWG	AWG	AWG
0-75	#12	#12	#12	#12
75-150	#10	#10	#10	#10
151-200	#8	#8	#8	#8

20. WORK AREA SHALL BE LEFT CLEAN AT THE END OF EACH BUSINESS DAY.

21. THE CONTRACTOR SHALL VERIFY THAT ALL THE LIGHTING FIXTURES, RECEPTACLES, DEVICES, WIRING, EQUIPMENT, AND THEIR INSTALLATION COMPLY WITH ALL THE 2017 NEC AND LOCAL CODE REQUIREMENTS FOR THE TYPE OF CONSTRUCTION AND OCCUPANCY REQUIREMENTS FOR THIS PROJECT. PROVIDE HANGERS AS REQUIRED BY CODE.

22. THE CONTRACTOR SHALL LOCATE THE LIGHTING FIXTURES AS SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLAN.

23. THE FINAL LOCATION OF SWITCHES, OUTLETS AND OTHER DEVICES SHALL BE FIELD COORDINATED AND SHALL MEET ALL LOCAL CODE REQUIREMENTS (INCLUDING ALL HANDICAPPED CODE AND ADA REQUIREMENTS).

24. THE CONTRACTOR SHALL REFER TO ALL THE DRAWINGS, DETAILS, AND SPECIFICATIONS RELATED TO THIS PROJECT FOR ADDITIONAL REQUIREMENTS.

25. THE CONTRACTOR SHALL INSTALL ALL WIRING AND CONDUIT CONCEALED IN PARTITIONS AND ABOVE THE CEILING, UNLESS OTHERWISE INDICATED.

26. THE CONTRACTOR SHALL COORDINATE ALL THE ELECTRICAL WORK WITH ALL THE FIELD CONDITIONS AT THE JOB-SITE AND ALL THE OTHER TRADES INVOLVED.

27. RECEPTACLES, OUTLETS AND COVERPLATES SHALL BE STAINLESS STEEL UNLESS OTHERWISE SPECIFIED BY THE ARCHITECT.

28. ALL THE PANEL AND CIRCUIT BREAKER CAPACITY RATINGS AND THEIR CONSTRUCTION SHALL MEET ALL THE LOCAL CODE REQUIREMENTS.

29. THE CONTRACTOR SHALL IDENTIFY AND LABEL ALL CIRCUITS.

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMP / LUMENS / VOLTS	WATTS	MANUFACTURER
A	4' SURFACE MOUNTED LOW PROFILE LED LIGHT FIXTURE WITH FIBERGLASS HOUSING, ACRYLIC LENS AND 0-10V DRIVER	LED/4000 /120V	23.8	LITHONIA LIGHTING FEM4484000LMLPACLMD 120G21035K80CR1
A1	8' SURFACE MOUNTED LOW PROFILE LED LIGHT FIXTURE WITH FIBERGLASS HOUSING, ACRYLIC LENS AND 0-10V DRIVER	LED/9000 /120V	54.3	LITHONIA LIGHTING FEM4969000LMLPACLMD 120G21035K80CR1
B	WALL MOUNTED LED FIXTURE WITH IMPACT RESISTANT POLYCARBONATE LENS, DARK BRONZE FINISH AND INTERGRAL PHOTOCCELL.	LED/2950 /120V	22	LITHONIA LIGHTING TWX1LEDP240KMVOLTPEDDDBTXD
EX1	POST TOP EXTERIOR LED LIGHT FIXTURE WITH DARK BRONZE FINISH, 0-10V DRIVER AND BUTTON PHOTOCCELL	LED/7800 /120V	60	SOLERA LIGHTING VDSS78003500KUNVPT3PRTY3PCBZ

- NOTES:
1. CONTRACTOR SHALL PROVIDE ALL LIGHT FIXTURES COMPLETE WITH ALL REQUIRED BALLAST, DRIVERS, LAMPS AND MOUNTING HARDWARE.
  2. CONTRACTOR SHALL PROVIDED A SELF CONTAINED EMERGENCY BALLAST FOR ALL FIXTURES WITH THE NUMBER "1" SHOWN BESIDE IT ON THE FLOOR PLANS. BASE FIXTURE SHOULD BE SIMILAR TO THAT RESPECTIVE FIXTURE IN SCHEDULE.

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**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 16001, Expiration Date: 4/26/26



**GWYNNS FALLS CAMPGROUND RESTORATION & IMPROVEMENTS**  
  
4201 GWYNNS FALLS PARKWAY  
BLOCK 3390-F, LOT 001, WARD 13, SECTION 04

REVISIONS		

CITY OF BALTIMORE  
DEPARTMENT OF RECREATION AND PARKS  
2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948  
  
ELECTRICAL LEGEND & ABBREVIATIONS  
  
SCALE: AS NOTED  
DATE: FEB. 13, 2026

DRAWN BY	RMM
TRACED BY	
DESIGNED BY	RMM
CHECKED BY	WOJ
PROJECT NO.	RP22805
SHEET NO.	E-0
SHEET:	44 OF 46



**SITE PLAN - ELECTRICAL**  
 SCALE: 1"=30'-0"

**SITE PLAN NOTES :**

- ① CONTRACTOR SHALL PROVIDE A 120V CONNECTION TO PORTABLE TOILET, INSTALL LIGHT FIXTURE THAT IS SHIPPED WITH TOILET AND CONNECT EXHAUST FAN TO 120V CIRCUIT.
- ② CONTRACTOR SHALL PROVIDE 2#10+#10G-1" DIRECT BURIAL MINIMUM 18" BELOW GRADE.

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 2600 Madison Ave, Baltimore, MD 21217 - 410.396.7948

ELECTRICAL SITE PLAN

SCALE: AS NOTED      DATE: FEB. 13, 2026

DRAWN BY: RMM	
TRACED BY: _____	
DESIGNED BY: RMM	
CHECKED BY: WOJ	
PROJECT NO. RF22805	SHEET NO. ESP-1
SHEET: 45	OF 46

