CITY OF BALTIMORE DEPARTMENT OF GENERAL SERVICES CAPITAL PROJECTS DIVISION

CAPITAL PROJECTS DIVISION Addendum No. 1 Date: 09-09-2025 For: Drawings and Specifications For: CONTRACT NO. PRJ000371 SOUTHERN POLICE DISTRICT INTERIOR RENOVATIONS FOR THE MAYOR AND CITY COUNCIL OF BALTIMORE TO THE BIDDERS: THIS ADDENDUM IS HEREBY MADE A PART OF THE CONTRACT DOCUMENTS ON WHICH THE CONTRACT WILL BE BASED, AND IS ISSUED TO MODIFY, EXPLAIN AND/OR CORRECT THE ORIGINAL DRAWINGS AND SPECIFICATIONS. PLEASE ACKNOWLEDGE THIS ADDENDUM ON THE BID OR PROPOSAL PAGE WHERE INDICATED. **APPROVED: DESIGN PROJECT MANAGER** CONSTRUCTION PROJECT SUPERVISOR MalinMendonca **ENGINEER SUPERVISOR** Christopher A. Hepler **DIVISION CHIEF**

DIRECTOR OF GENERAL SERVICES

Terrel & Chesson

RESPONSES TO CONTRACTOR WRITTEN QUESTIONS SUBMITTED

1. At the pre bid meeting on August 19th it was mentioned that new MEP drawings with backgrounds will be coming out in an addendum. When will these new MEP drawings be available?

Response: Revised MEP drawings with applicable backgrounds are now available.

2. Are there any drawings that show the existing storm water piping?

Response: None of record. See attachment for the only existing drawings on record.

3. Will an office trailer be required onsite for the city inspectors?

Response: No.

4. Will finger printing, and a background check be required for all employees onsite for construction including any subcontractor?

Response: Yes.

5. Will ID badges be required for all employees onsite?

Response: Yes.

6. Who is paying for the building permit, and how much is the permit?

Response: The Contractor is responsible for the cost of the building permit. Permit fees are not yet established. Please refer to the Specification Section – Allowances for the permit cost and use the updated Bid Sheet provided in the attachment to submit pricing.

7. Will there be parking spaces dedicated to the construction workers?

Response: No.

8. Please provide a spec for the wall covering/wall graphic. Finish schedule says TBD.

Response: Contractor to provide (3) 9' x 20' vinyl wall graphics. All graphics shall be fully colorized. Final image to be selected by the Owner during construction and provided to contractor in digital format.

9. Please provide a spec for the MR-1 Mirror per the finish schedule on drawing A102?

Response: Basis of design, Guardian Glass Ultra Mirror or equal. See elevations and plans for mirror length, height, and width.

10. Is there a style for the WTG-1 on the finish schedule?

Response: Manufacturer and color of grout is indicated on schedule, style of grout (WTG-1) is not applicable.

11. Does any phasing need to happen when we are renovating the bathrooms for the police officers?

Response: The project will be constructed in a single phase. If the existing bathrooms designated for station use during construction must be temporarily shut down, the contractor shall be responsible for providing adequate temporary restroom facilities for the station. Any such shutdowns shall not exceed 48 consecutive hours. The contractor must submit a written request to the Owner for approval at least 72 hours prior to the planned bathroom shutdown.

12. Will any of the temporary facilities be required per page 015000-4 line 2.2? If so what items?

Response: Contractor required to provided common-use field office. Contractor to provide storage and fabrication sheds as necessary to complete construction activities.

13. At the pre bid meeting on August 19th it was mentioned that new MEP drawings with backgrounds will be coming out in an addendum. When will these new MEP drawings be available?

Response: Revised MEP drawings with applicable backgrounds are now available.

14. Are there any drawings that show the existing storm water piping?

Response: None of record. See attachment for the only existing drawings on record.

15. If we intend to submit a response to the RFP as a Joint Venture, can one JV partner purchase and pick up the bid documents under their name, and still have the Joint Venture eligible to bid? Or do both JV entities need to purchase and pick up separate sets of bid documents?

Response: Even if individual firms are already pre-qualified by the Office of Boards and Commissions (OBC), Joint Ventures (JV) also need to be prequalified as a single entity with OBC.

The JV will need to apply with documents establishing the JV to OBC and be prequalified before they will be allowed to purchase official bidding documents as a single entity.

After the entity is pregualified, they can purchase the bid documents as the JV.

16. Please confirm that if a member of the joint venture intends to self-perform a portion of the contract and the member is a certified MBE, they can self-perform up to 50% of the dollar value of its work and this can count toward the applicable 27% of the MBE goal even if the joint venture partner is a non-manufacturer supplier.

Response: As stated in the Bidder MBE WBE Commitment forms, "A bidder may count toward the contract goal the portion of its expenditure to a joint venture that is equal to the percentage of the MBE or WBE participation in the joint venture. The MBE or WBE member of the joint venture must have an interest in the control, management, risks and operation of the joint venture commensurate with the member's percentage of ownership. The MBE or WBE member of the joint venture must be responsible for a clearly defined portion of the work to be performed, equal to its share in the ownership, control and management of the joint venture. Art. 5, §28-33."

For further inquiries or explanations, please contact Fatima Maitland at SMBA&D via email: fatima.maitland@baltimorecity.gov

17. Please provide the list of personnel who attended the pre-bid meeting on Tuesday (08/19/2025).

Response: Malin Mendonca (DGS), Terence Abraham (DGS), Azza Rizkallah (DGS), Lauren Hoover (DGS), Steve Teague (Anchor Mechanical), Mike Trionfo (Trionfo Builders), Carolina Rivero (Wohlsen), Curtis Dalsimer (Wohlsen), David Ziolkowski (Horton Mechanical), Candice Geter (W.M. Schlosser Company), Ashu Vyas (W.M. Schlosser Company), Jon O'Keefe (Warren Builds), Mathew Ann (Janus Contractors), Randall Jennings Sr. (Kemper System Group), Drew Knudsun (Shrader Electric), Gordon Shepard II (Barton Malow Builders), Rob McCahill (North Point Builders), Muhammed Abdul-Ali (Banneker Ventures), Cheo Hurley (THG Companies LLC), Kevin Allen (DGS), Amy Mission (DGS), Ashley Stewart (BPD Facilities), Joe Peters (BPD Facilities), Bill Shoul (BPD Asset Management), Katrinka Johnson (BPD), Cheaneka Brooks (BPD), Mike Thumma (Storage Logic), Jessica Spencer (MWS), Emil Madera (MWS), Anthony Butta (TMI), Hessler Espinal (D&H Demolition)

18. Typical signage details are provided on the drawing G004 (page 5). Please confirm the name for the signs will be the name of the rooms provided in the Schedule – Finishes table on drawing A102 (page 11).

Response: Names of rooms shall be that as indicated on finish schedule. Final name determination to occur during submittal review for final approval by Owner and End User.

19. Please confirm the existing type of fire alarm system and the details of the managing company with any personnel.

Response: Existing fire alarm is simplex 2001.

20. The panel schedule on drawing E601 for RP3 does not list any circuits as existing, whereas the demolition keynote (ref E111- Demolition Keynote) mentions placing a junction box near the old panel location to extend any existing circuits over to the new panel. Please confirm if the existing panel needs to be relocated or replaced with a new panel. Please confirm if the existing panel shown is in the riser.

Response: Panel RP3 is new panel with new circuits. Junction box note indicates to provide extension of any conduits that may require it. GC to confirm.

21. Please confirm the drawings for the existing stormwater piping.

Response: None of record. See attachment for the only existing drawings on record.

22. Please confirm if there are any lighting fixtures provided by the Owner.

Response: All light fixtures to be provided by Contractor.

23. Please confirm if the project requires US citizenship and the required type of background verification/check.

Response: Anything regarding US Citizenship would be between the employer and the employee.

For this project, all personnel associated with the Contractor and any Subcontractors must submit a Baltimore Police Department ID request prior to performing any work on site. This application is located on Page 80 of the Bid Documents. It is noted on the application that there are clearance requirements, including fingerprinting and criminal history that will be conducted before ID is issued and access is granted. Please note that this form is NOT due at the time of Bid.

24. Please confirm if a dumpster is required to be provided or will be owner-provided

Response: Contractor to provide all dumpster and construction related waste disposal efforts.

25. Please confirm the issuance timeframe of the new MEP drawings addendum with backgrounds.

Response: Revised MEP drawings with applicable backgrounds are now available.

26. Please confirm if the drawings and specifications for Div-21 will be provided in the addendum. Please confirm the current location of the existing fire sprinklers and pipes

Response: Contractor is responsible for modifications to the existing sprinkler system as required to perform new work. Contractor responsible for locating the extent of sprinkler system and submitting final shop drawings for AHJ approval prior to submittal approval.

27. Variable Refrigerant Flow HVAC Systems – May "Samsung" be added to the list of acceptable manufacturers for spec section 238129, Para. 2.01.B

Response: Samsung is already acceptable Per 2.01.B. since it is seen as an appropriate substitution.

28. Please provide the contact information of the company for the BAS (Building Automation System).

Response: No BAS is provided per this project scope. This is a renovation of an existing building, and the existing control system is existing to remain. All new

equipment is either to be tied into the existing BAS system or to be provided with standalone controls.

29. Typical signage details are provided on the drawing G004 (page 5). Please confirm the name for the signs will be the name of the rooms provided in the Schedule – Finishes table on drawing A102 (page 11).

Response: Names of rooms shall be that as indicated on finish schedule. Final name determination to occur during submittal review for final approval by Owner and End User.

30. Please confirm the signs to be installed on stand-offs or double-sided mounting tape

Response: Stand-offs.

31.Please confirm the quantities of the required signs below: a. Restroom Signs – 4 b. Spin Studio – 1 c. Fitness Room – 1 d. Women's Locker Room – 1 e. Men's Locker Room – 1

Response: Signs to be provided for all individual spaces within project scope. See response to previous question regarding naming convention.

32. Please confirm that one sign sample is required for all the signs and not one of each.

Response: One sign sample is acceptable.

33. In reviewing Specs Section 0996000-7 - Paragraph 3.5, Exterior High-Performance Coating Schedule, it states: A. Concrete Substrate B. CMU Substrates C. Steel Substrates D. Galvanized – Metal Substrates Since this is an interior project, there are no exterior drawings. If exterior concrete is needed, please provide exterior drawings.

Response: Not applicable.

34. In addition, if exterior concrete, CMU, steel and galvanized metal are required to receive coatings, please provide exterior elevations with designated notes to receive high performance coatings

Response: Not applicable.

35. Note #1 on Sheet A100 indicates infill to match existing wall construction. Some of these notes are pointing at infills with insulation and some without insulation. Please advise.

Response: Infill material of existing openings slated to be infilled shall match that of the existing wall construction material.

36. Note #1 on Sheet A100 indicates infill to match existing wall construction. Some of these notes are pointing at infills that are different thickness. Please advise what stud thickness to be used.

Response: Infill material thickness of existing openings slated to be infilled shall match the existing thickness of the existing wall construction.

37. The Finish Schedule states that 105 - EX. Corridor 01-COM08 ceiling is "N/A". Is the ceiling going to remain as existing or is it supposed to receive new ceiling?

Response: Contractor to temporarily remove EX. Corridor 01-COM08 105 ceiling tiles, grid, lighting and diffusers and temporary store on site. Contractor to reinstall existing ceiling and associated trims after main construction efforts are completed.

38.[M201, M202] Please provide routing for refrigerant piping from Condensing Unit to Branch Selectors, and from Branch Selectors to Indoor Fan Coil Units.

Response: Refrigerant pipe routing will be provided from the outdoor condensing unit to the Branch selector to the Fan coil units.

39.[M201] Please provide routing and termination for ac condensate piping to Branch Selectors and Indoor Fan Coil Units.

Response: Condensate drain disposal is accounted for per Mechanical New Work Keynote 4. Condensate drainpipe is to tie into nearest existing storm, coordinated in field.

40. [M202] Please provide locations for roof penetration for refrigerant piping to CU-1.

Response: Contractor to locate final penetrations for equipment piping.

41.[P701, P301] Plumbing Specialties Schedule on P701 remarks that all Floor Drains are to include a Trap Guard. These generally eliminate the need for a water fed Trap Priming system. Please confirm whether Trap Priming Systems shown on P301 are required if we are already to provide Trap Guards per schedule.

Response: Trap guard to be provided per P701 only where the trap primer with water connection is not provided in the plans.

42.[M201] Please revise the drawing to include an architectural floorplan so wall penetrations can be accounted for.

Response: Revised MEP drawings with applicable backgrounds are now available.

43.[P201] Please revise the drawing to include an architectural floorplan so wall penetrations can be accounted for.

Response: Revised MEP drawings with applicable backgrounds are now available.

44.[P301] Please revise the drawing to include an architectural floorplan so wall penetrations can be accounted for.

Response: Revised MEP drawings with applicable backgrounds are now available.

45. Where is the WC-1 for Corridor 106? The Finish Schedule states the South wall of Corridor 106 to receive WC-1.

Response: WC-1 not applicable for Corridor 106, remove WC-1 from Corridor 106 schedule.

46. What is PT-X for south and east walls of Fitness 109, per Finish Schedule?

Response: Remove PT-x from south and east walls of Fitness. Fitness 109 to receive PT-1 on all walls.

47. Please provide specification for CLG-2.

Response: Basis of design for CLG-2, Armstrong Drywall Grid System.

48. Please provide specification for wall graphics.

Response: Contractor to provide (3) 9' x 20' vinyl wall graphics. All graphics shall be fully colorized. Final image to be selected by the Owner during construction and provided to contractor in digital format.

49. What type of system is the existing fire alarm and who, if anyway maintains it?

Response: Refer to question 19.

50. We reviewed the specification sheet and noticed that multiple controls contractors are listed. Could you please clarify if there is a designated controls contractor for this project? Additionally, can you provide the point of contact information for the controls contractor?

Response: No BAS is provided per this project scope. This is a renovation of an existing building, and the existing control system is existing to remain.

51. Please confirm that demolition referenced as note 2 page AD100 refers to existing CMU walls, otherwise please identify all wall types requiring demolition.

Response: Contractor is responsible for identifying all existing wall types.

ATTACHMENTS

Allowance Specification
Bid Form
Revised MEP Drawings – M102

ADDENDUM NO. 1

Page 8 of 9

CONTRACT NO. PRJ000371

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Revised MEP Drawings – M201
Revised MEP Drawings – M202
Revised MEP Drawings – P101
Revised MEP Drawings – P201
Revised MEP Drawings – P301
Revised MEP Drawings – E101
Revised MEP Drawings – E101
Revised MEP Drawings – E211
Revised MEP Drawings – E201
Revised MEP Drawings – E211
Revised MEP Drawings – E212
Baltimore City Police - Southern District Existing Drawing Set
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END OF ADDENDUM NO. 1

ALLOWANCES

PART 1 – GENERAL

1.1 SUMMARY

A. Section includes: To provide adequate budget to cover items not precisely determined by the Owner prior to bidding, allow within the proposed Contract Sum the amounts and quantities described below.

1.2 ALLOWANCES

A. General: A "Schedule of Allowances", showing amounts included in Contract sum, is included at end of this section. Requirements for work allowances are shown and specified.

1.3 SPECIFIC CASH ALLOWANCES

A. Permit fees are not yet established. The Contractor shall carry an allowance for obtaining and paying building permit costs (excluding the filing fee) as follows:

Southern Police District Interior Renovations: \$12,000

NOTE: NO INFORMATION OTHER THAN THAT INCLUDED IN OR ATTACHED TO THIS ORIGINAL BID DOCUMENT (WHERE SUCH ATTACHMENT IS PERMITTED) WILL BE USED IN DETERMINING AWARD.

ORIGINAL (NOT TO BE DETACHED)

NOTICE TO BIDDERS

CITY OF BALTIMORE T DEPARTMENT OF GENERAL SERVICES

THE COMPLETE (ORIGINAL)

S CONTRACT BOOK AND
DUPLICATE OF BID OR
PROPOSAL MUST BE
INCLUDED IN THE

BID ENVELOPE

CONTRACT NUMBER PRJ000371 SOUTHERN POLICE DISTRICT INTERIOR RENOVATIONS

C. BID OR PROPOSAL

١.	BID	PRICES	

Proposal of		
Address		
Made this	day of	20
Bid Due WEDNES	DAY, SEPTEMBER 17, 2025	
	Bank Cashier's Check or Bank Treasu Total Bid Submitted.	rer's Check or Bid Bond: Equal to two
Project Completion	Time: <u>270</u> consecutive calenda	ar days
Liquidated Damage	s: <u>\$ 1,500.00</u> per consecutive calendar	day
To the Board of Est	imates of Baltimore City:	
		_ propose to furnish all necessary
labor and materials,	tools, implements, tackle, equipment ar	nd machinery, and to construct and
complete the PRJ0	00371 – Southern Police District Inte	erior Renovations at 10 Cherry Hill
Rd, Brooklyn, MD	21225, all in strict accordance with the a	attached contract documents, at and for
the lump sum base	bid price of:	
A. Southern Po	olice District Interior Renovations Base B	did:
		(\$
	Written Words	Numerical

The foregoing price is to include and cover the furnishing of all materials and labor requisite and proper, and the providing of all necessary machinery, tools' apparatus, and means for performing the work and the doing as set forth and described in the Contract Documents.

Proposals will be evaluated based on the total of the Base Bid.

SCHEDULE OF ALLOWANCES:

REFER TO THE SPECIFICATIONS SECTION 01 21 00 – ALLOWANCES

The "Schedule of Allowances" below shows amounts that MUST BE included in Contract
sum.

1.3 SPECIFIC CASH ALLOWANCES

A. Permit fees are not yet established. The Contractor shall carry an allowance for obtaining and paying building permit costs (excluding the filing fee) as follows:

Southern District Police Station Renovation: \$12,000

END OF SCHEDULE OF ALLOWANCES

The foregoing price is to include and cover the furnishing of all materials and labor requisite and proper, and the providing of all necessary machinery, tools, apparatus and means for performing the work and the doing of all the above mentioned work as set forth and described in the Contract Documents.

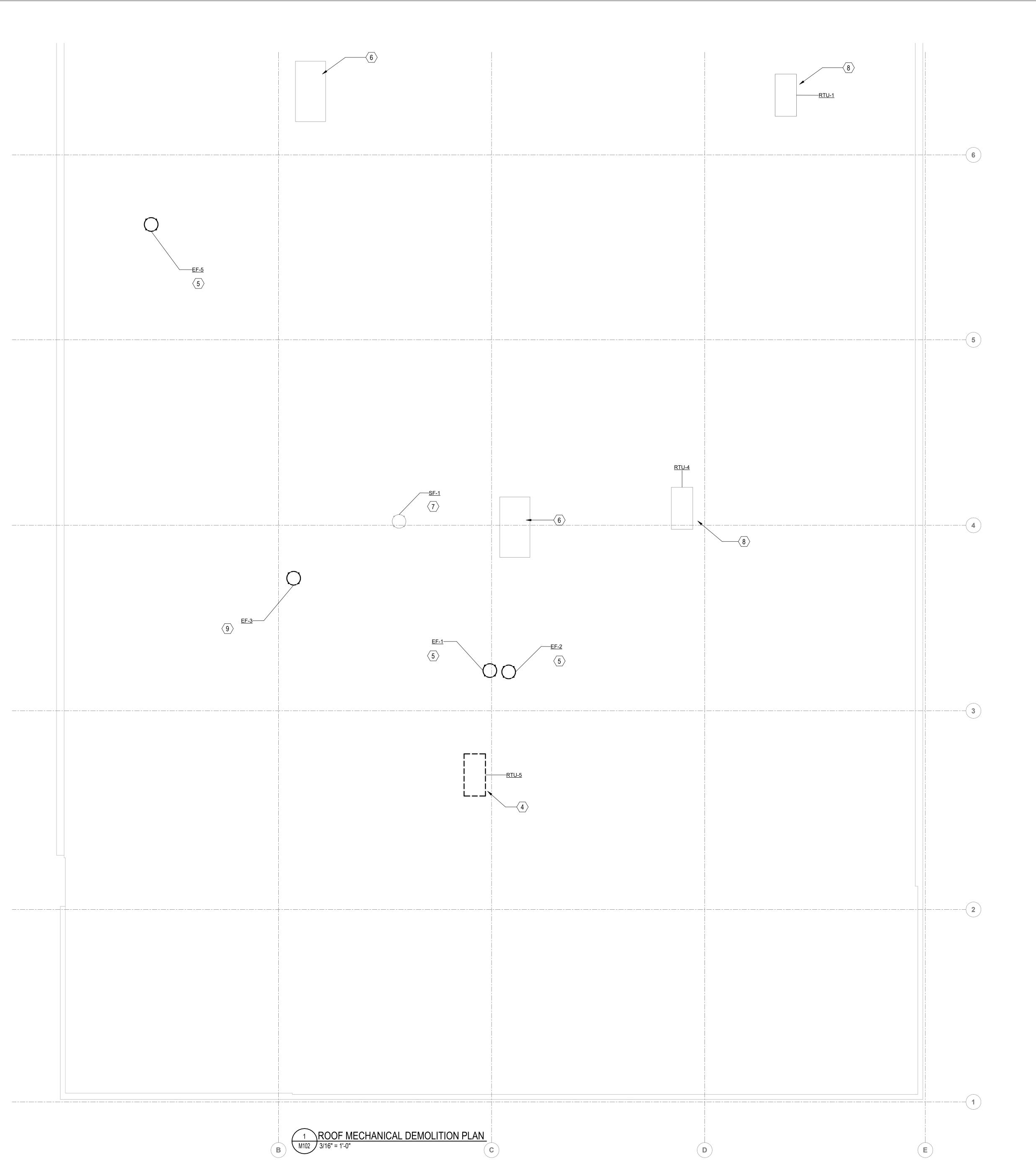
Note: Each and every person Bidding and Named above must sign here.

In case of Firms, give the first and last name of each member, in full, with Title.

In case a Bid shall be submitted by or in behalf of any Corporation, it must be signed in the name of such Corporation by some authorized Officer or Agent, thereof, who shall also subscribe his Name and Title. If practicable, the Seal of the Corporation shall be affixed.

In case a Bid shall be submitted by joint venture ("JV"), the document that established the JV must be submitted with the bid for verification purposes, and Officers or Agents of all of the firms that are part of the Joint Venture must sign below as acknowledgement of their participation in this bid.

WITNESS	(SIGNED)
	(TITLE)
WITNESS	(SIGNED)
	(TITLE)
WITNESS	(SIGNED)
	(TITLE)



MECHANICAL DEMOLITION KEYNOTES

DAMPERS, SUPPORTS, ACCESSORIES, ETC. IN THIS AREA UP TO THE POINT OF DISCONNECT. CAP-OFF EXISTING DUCT AT POINT OF DISCONNECT AND REBALANCE THE REMAINING AIR DISTRIBUTION SYSTEM WHETHER SHOWN OR NOT.

DISCONNECT AND REMOVE ALL SUPPLY AIR DUCTWORK, GRILLES, DIFFUSERS, REGISTERS, DAMPERS, SUPPORTS, ACCESSORIES, ETC. IN THIS AREA UP TO THE POINT OF DISCONNECT. CAP-OFF EXISTING DUCT AT POINT OF DISCONNECT AND REBALANCE THE REMAINING AIR DISTRIBUTION SYSTEM WHETHER SHOWN OR NOT.

REGISTERS, DAMPERS, SUPPORTS, ACCESSORIES, ETC. IN THIS AREA UP TO THE POINT OF DISCONNECT. CAP-OFF EXISTING DUCT AT POINT OF DISCONNECT AND REBALANCE THE

CURBS, CONTROLS, ETC. IN THEIR ENTIRETY. PATCH AND FINISH UNUSED ROOF OPENINGS TO MATCH WITH THE EXISITNG ROOF AND ANY EXISITNG WARRANTY.

DISCONNECT AND REMOVE EXHAUST FAN AND ALL ASSOCIATED DUCTWORK, ROOF

ETR SUPPLY FAN AND ASSOCIATED DUCTWORK. TEST EXISTING SYSTEM AIRFLOW AND

ASSOCIATED AIR DISTRIBUTION SYSTEM PER THE DESIGN.

IN THEIR ENTIRETY. ROOF CURB AND PENETRATION TO BE RE-USED DURING NEW CONSTRUCTION FOR NEW JANITOR EXHAUST FAN. TEMPORARILY PATCH AND WEATHERPROOF THE OPENING SUCH THAT RAIN AND SNOW DOES NOT PENETRATE INTO BUILDING DURING DEMO AND NEW CONSTRUCTION PHASE.

DISCONNECT AND REMOVE ALL EXHAUST AIR DUCTWORK, GRILLES, REGISTERS,

DISCONNECT AND REMOVE ALL RETURN AIR DUCTWORK, GRILLES, DIFFUSERS, REMAINING AIR DISTRIBUTION SYSTEM WHETHER SHOWN OR NOT.

DISCONNECT AND REMOVE ROOF TOP UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, ROOF CURBS, CONTROLS, ETC. IN THEIR ENTIRETY. EXISTING OPENING TO BE RE-USED DURING NEW CONSTRUCTION. TEMPORARILY PATCH AND WEATHERPROOF THE OPENING SUCH THAT SNOW AND RAIN DOES NOT PENETRATE INTO BUILDING DURING DEMO AND NEW WORK...

EXISTING TO REMAIN ROOFTOP UNIT, ROOF CURBS, PIPING AND CONTROL. DEMO DUCT SYSTEM AS SHOWN ON DEMO AND NEW WORK MECHANICAL DRAWINGS. REBALANCE RTU AND

RECORD. DEMOLISH GRILLES, REGISTER AND DIFFUSERS SERVING THE RENOVATED AREAS. REBALANCE PER NEW AIRFLOW.

ETR RTU AND ASSOCIATED DUCTWORK. NOT IN SCOPE

DISCONNECT AND REMOVE EXHAUST FAN AND ALL ASSOCIATED DUCTWORK, CONTROLS, ETC.

CONSULTANTS ARCHITECTURE + MASTER PLANNING

8089 SANDPIPER CIR, SUITE H

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WWW.MWSARCH.COM

NOTTINGHAM, MD 21236

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SEAL

CITY OF BALTIMORE

CAPITAL PROJECTS & ENERGY DIVISION

DEPARTMENT OF GENERAL SERVICES

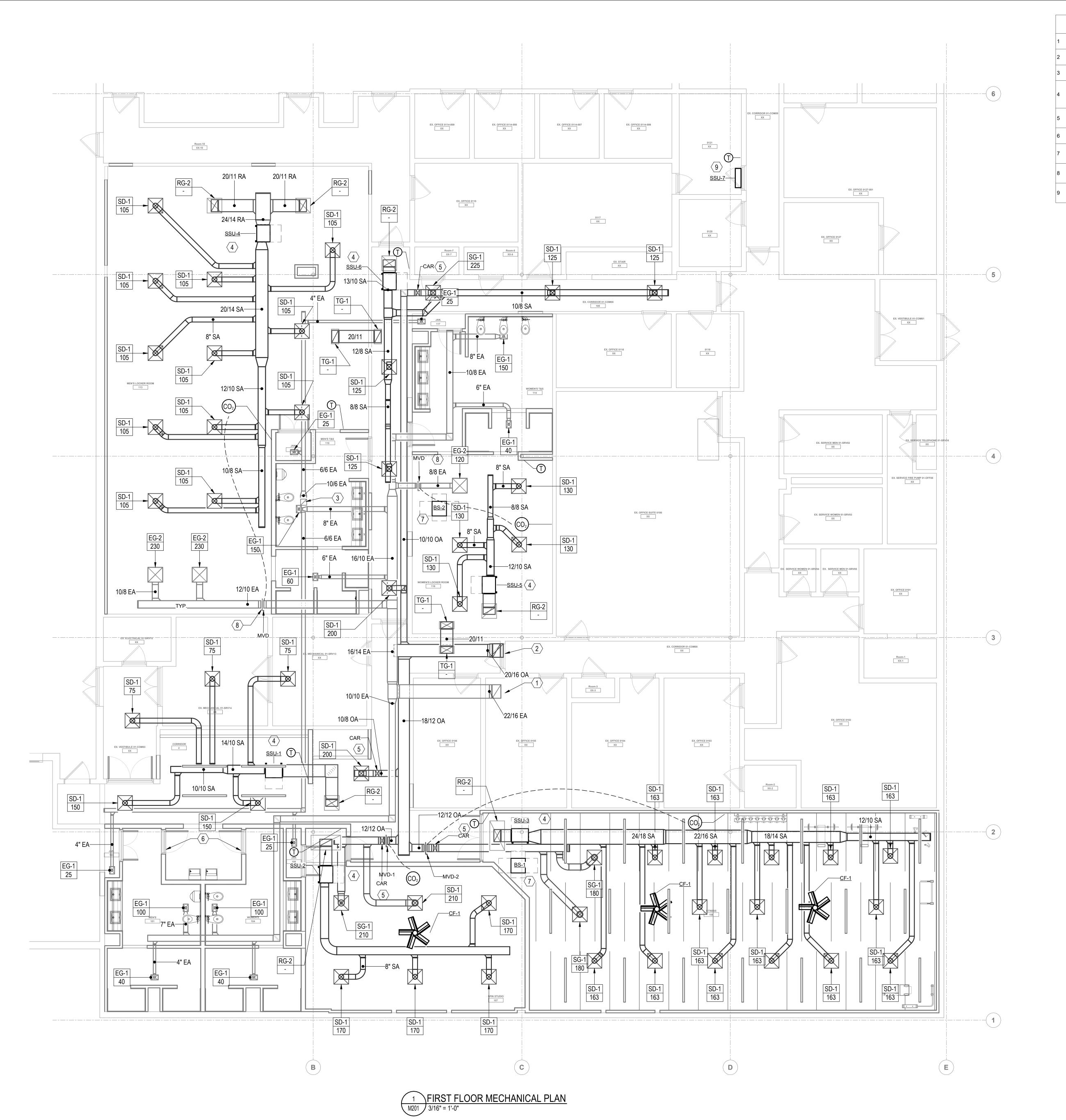
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RA DUCT UP TO DOAS.

SA DOWN FROM DOAS.

DUCT UP TO ROOF MOUNTED EXHAUST FAN.

PROVIDE EACH NEW MECHANICAL UNITS, SSU-1 THROUGH 6 WITH CONDENSATE PUMP CAPABLE OF MINIMUM 12' OF HEAD. CONNECT CONDENSATE DRAIN FROM CONDENSATE DRAIN PUMP RISER TO NEAREST STORM. COORDINATE IN FIELD.

PROVIDE CONSTANT AIRFLOW REGULATOR ON ALL OUTDOOR AIR DUCT SUPPLIES TO ROOMS AND FCU'S. SIZE CAR PER SCHEDULE.

PROVIDE DOOR GRILLE/LOUVER WITH MINIMUM FREE AREA OF 0.75 SQUARE FEET.

BRANCH SELECTOR MOUNTED HIGH. ROUTE REFRIGERANT TO SPECIFIED UNITS IN SHORTEST

POSSIBLE ROUTE WHILE MAINTAINING MANUFACTURER PIPING REQUIREMENTS.

ENSURE ACCESS IS PROVIDED TO MOTORIZED VOLUME DAMPER EITHER VIA ACCESS PANEL OR REMOVABLE CEILING GRILL. DAMPER CONTROLLED BY IN ROOM CO2 DETECTOR. WALL MOUNTED MECHANICAL UNIT. MOUNT AND CENTER ABOVE DOOR. PROVIDE WITH CONDENSATE PUMP W/ MIN. 13' HEAD. ROUTE CONDENSATE TO NEAREST STORM DRAIN, DO NOT ROUTE PIPE ABOVE ELECTRICAL/IT EQUIPMENT.

CONSTANT AIRFLOW REGULATOR SCHEDULE

(ROUND) (IN-WG) 0-35 4" 0.02 - 2.0 4" ROU 36-55 5" 0.02 - 2.0 5" ROU 56-95 6" 0.02 - 2.0 6" ROU					
36-55 5" 0.02 - 2.0 5" ROUL 56-95 6" 0.02 - 2.0 6" ROUL 96+ SEE PLAN 0.02 - 2.0 MATCH D	CFM RANGE	DIAMETER	PRESSURE	CAR SIZE	
56-95 6" 0.02 - 2.0 6" ROU 96+ SEE PLAN 0.02 - 2.0 MATCH D	0-35	4"	0.02 - 2.0	4" ROUND	
96+ SEE PLAN 0.02 - 2.0 MATCH D	36-55	5"	0.02 - 2.0	5" ROUND	
0.02 2.0	56-95	6"	0.02 - 2.0	6" ROUND	
BASIS OF DESIGN IS CAR-II OR RUSKIN	96+	SEE PLAN	0.02 - 2.0	MATCH DUC	
	BAS	SIS OF DESIGN	IS CAR-II OR RUS	KIN	

MOTORIZED VOLUME DAMPER SCHEDULE

WOTORIZED VOLUME DAMELIK SCHEDULE				
TAG	SERVES	FLOOR	MINIMUM OA	MAXIMUM OA
MVD	LOCKERS	1	CLOSED	FULL OPEN
MVD-1	SPIN STUDIO	1	40	420
MVD-2	FITNESS	1	100	360

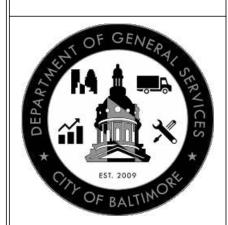
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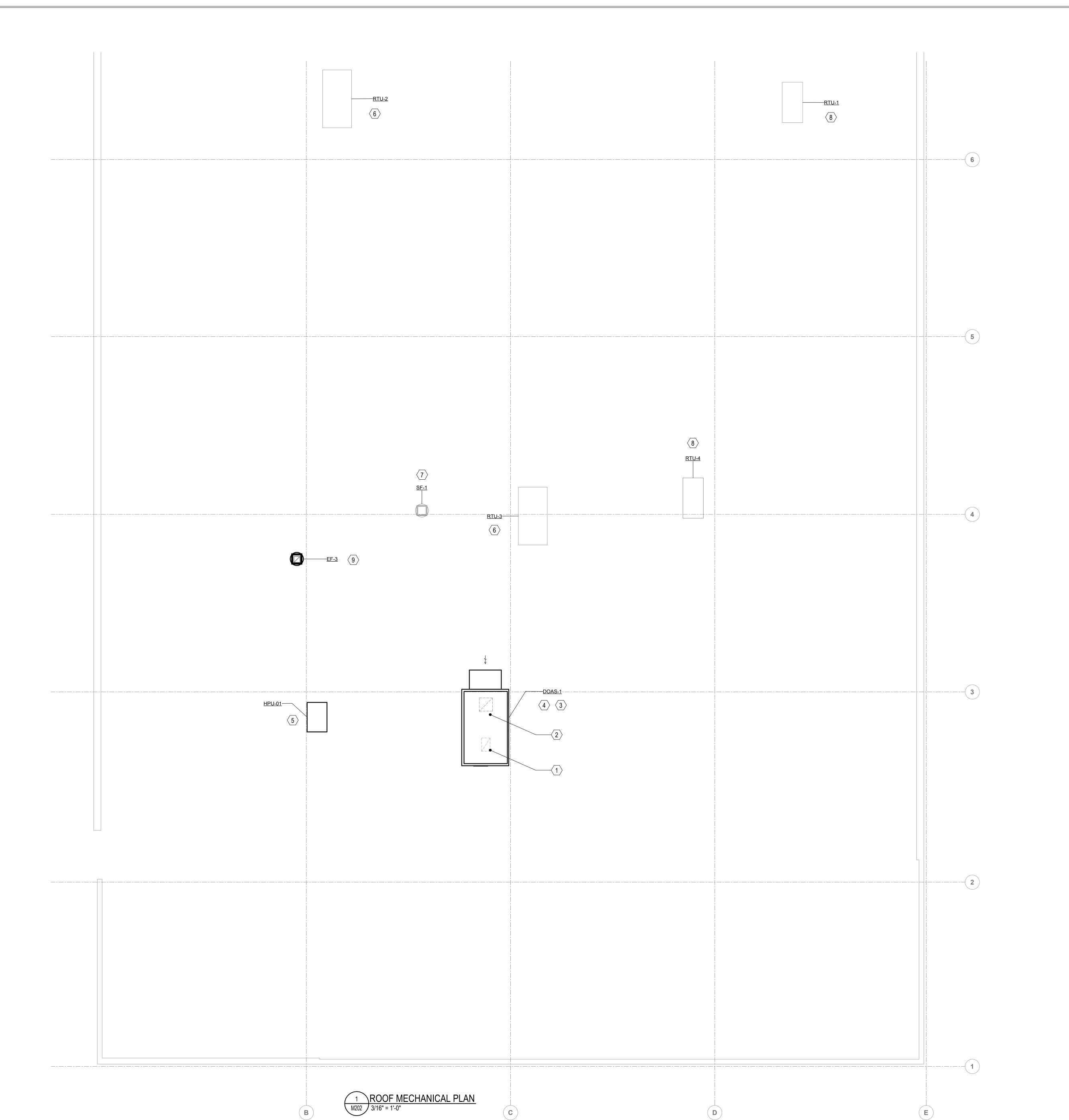
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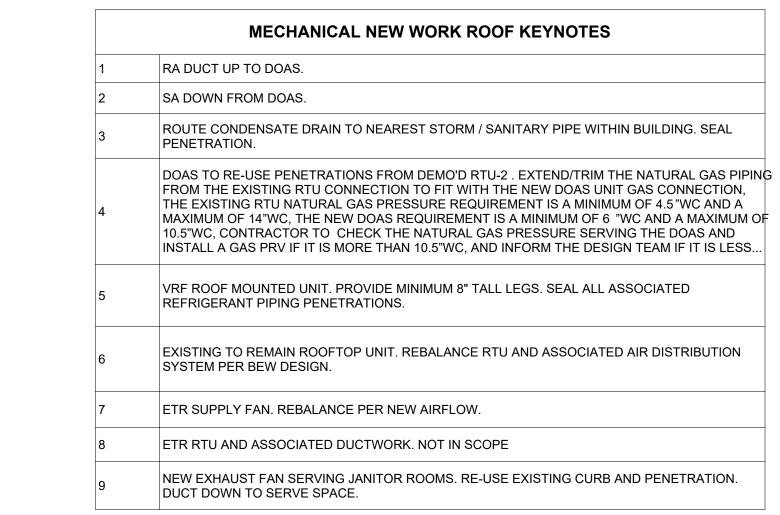
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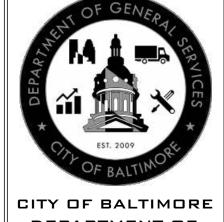
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DEPARTMENT OF GENERAL SERVICES CAPITAL PROJECTS & ENERGY DIVISION

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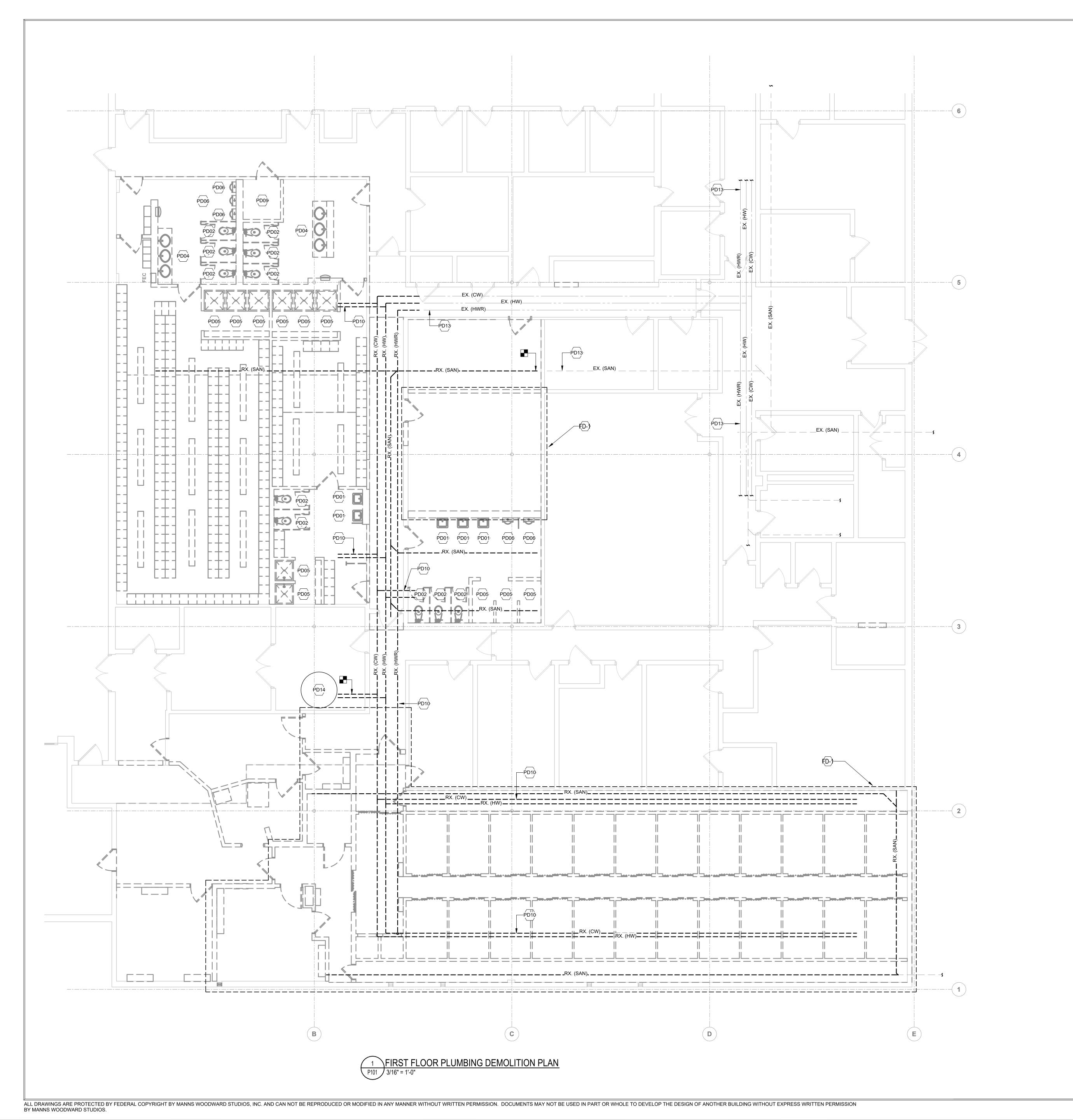
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PLUMBING KEYED NOTES

- REMOVE WALL HUNG LAVATORY AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, HOT & COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST MAIN PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING. REMOVE FLOOR MOUNTED WATER CLOSET AND ALL ASSOCIATED SUPPORTS, ROUGH-INS
 - ACCESSORIES, HOT & COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST MAIN PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING.
 - REMOVE COUNTER MOUNTED LAVATORY AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, HOT & COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST MAIN PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING.
 - REMOVE SHOWER AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, HOT & COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST MAIN PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING.
 - REMOVE WALL HUNG URINAL AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, HOT & COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST MAIN PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING. REMOVE MOP SINK AND ALL ASSOCIATED SUPPORTS, ROUGH-INS, ACCESSORIES, HOT &
 - COLD WATER, WASTE & VENT PIPING, ETC. IN THEIR ENTIRETY. DISCONNECT AND CAP-OFF EXISTING PIPING IN WALL/CEILING/FLOOR AT THE NEAREST MAIN PIPING WHERE NOT REUSED. DO NOT ABANDON UNUSED PORTION OF THE PIPING. DISCONNECT AND REMOVE ALL EXISTING WATER PIPING AND ALL ASSOCIATED PIPE
 - SUPPORTS, INSULATION, ANCHORS, PIPE GUIDES, ETC. IN THEIR ENTIRETY WHETHER SHOWN OR NOT FROM THE POINT OF DISCONNECTION SHOWN. DISCONNECT AND CAP-OFF PIPING AND FINISH UNUSED FLOOR/WALL/CEILING OPENINGS. DO NOT ABANDON UNUSED PORTION OF THE PIPING. PREPARE EXISTING PIPING FOR NEW CONNECTION AS SHOWN NEW WORK PLAN. NOT ALL PIPING SHOWN.
 - EXISTING PIPING TO REMAIN UNLESS OTHERWISE NOTED. EXISTING GAS FIRED WATER HEATER. 125 GALLON STORAGE CAPACITY. 199 MBH GAS INPUT. 239 GALLONS RECOVERY FROM 40F TO 120F. 115 VOLTS, SINGLE PHASE AT 60 HZ AND 2 AMPS. ALL PIPING AND APPURTENANCES TO REMAIN. EXISTING WATER HEATER IS ALSO PROVIDED WITH A RECIRCULATION PUMP THAT IS TO REMAIN. CONTRACTOR TO FIELD VERIFY CONDITIONS OF EQUIPMENT/PIPING. NOTIFY OWNER OF ANY DEFECIENCIES

FIRE PROTECTION GENERAL DEMOLITION KEYNOTES

- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND SCOPE OF WORK PRIOR TO SUBMITTING BIDS.
- EXISTING CONDITIONS, WHERE SHOWN, IS BASED ON AVAILABLE AS-BUILT DOCUMENTATION FROM THE OWNER. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AS ACTUAL CONDITIONS MAY VARY.
- EXISTING FIRE PROTECTION SYSTEM COMPONENTS IN THE SCOPE OF WORK AREA THAT ARE FOUND TO BE DAMAGED OR NOT IN
- REUSABLE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND REPLACED WITH NEW. CONTRACTOR SHALL COORDINATE ALL REMOVAL, DISPOSAL, AND STORAGE OF EXISTING EQUIPMENT WITH THE OWNER.
- SHUTDOWN OF SPRINKLER SYSTEM TO PERFORM REQUIRED WORK SHALL BE KEPT TO A MINIMUM AND COORDINATED WITH THE
- EXISTING SPRINKLER SYSTEMS LOCATED OUTSIDE OF THE WORK AREA SHALL NOT BE AFFECTED AND REMAIN FULLY OPERATIONAL
- DURING THE COURSE OF THE RENOVATION. WHERE THIS CANNOT BE AVOIDED, TEMPORARY FIRE PROTECTION MEASURES SHALL BE PROVIDED IN THE AFFECTED AREAS IN THE FORM OF AN APPROVED FIRE WATCH OR OTHER APPROVED METHODS ACCEPTABLE
- DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE EXISTING CONDITIONS IN DETAIL OR DIMENSION. DETERMINE EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK, SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITIN
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING FIRE PROTECTION PIPING PRIOR TO START OF DEMOLITION WORK

REMOVE EXISTING FIRE PROTECTION VALVES/SPRINKLER HEADS CONNECTION ALONG WITH ITS ACCESSORIES AND PIPING BACK

ANY DAMAGES TO THE EXISTING ELEMENTS OR ANY ITEMS NOT IN SCOPE OF WORK SHALL BE REPAIRED AND BROUGHT TO EXISTING CONDITION WITHOUT ANY ADDITIONAL COST.

TO MAINS. COORDINATE WITH OWNER FOR DISPOSAL/STORAGE.

REMOVE ALL EXISTING FIRE PROTECTION ASSOCIATED VALVES, SPRINKLER HEADS & ALL ASSOCIATED PIPING IN THE INDICATED AREA BACK TO MAIN & CAP. CONTRACTOR TO FIELD VERIFY THE EXACT LOCATION & AREA OF REMOVAL WORK WITH NEW LAYOUT. SPRINKLER MAINS MAY BE REUSED IF THE EXISTING SIZES MEET THE CURRENT REQUIREMENTS OF NFPA AND DO NOT INTERFERE WITH ANY NEW WORK (ARCHITECTURAL, MECHANICAL, ELECTRICAL).

FIRE PROTECTION KEYED DEMOLITION NOTES

CONSULTANTS

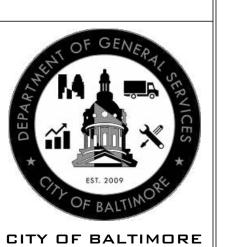
ARCHITECTURE + MASTER PLANNING

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DEPARTMENT OF GENERAL SERVICES CAPITAL PROJECTS & ENERGY DIVISION

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P101

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BY MANNS WOODWARD STUDIOS.

PD14 EXISTING GAS FIRED WATER HEATER. 125 GALLON STORAGE CAPACITY. 199 MBH GAS INPUT. 239 GALLONS RECOVERY FROM 40F TO 120F. 115 VOLTS, SINGLE PHASE AT 60 HZ AND 2 AMPS. ALL PIPING AND APPURTENANCES TO REMAIN. EXISTING WATER HEATER IS ALSO PROVIDED WITH A RECIRCULATION PUMP THAT IS TO REMAIN. CONTRACTOR TO FIELD VERIFY CONDITIONS OF EQUIPMENT/PIPING. NOTIFY OWNER OF ANY DEFECIENCIES.

FIRE PROTECTION GENERAL DEMOLITION KEYNOTES

SPRINKLER SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH NFPA 13 HAZARD CLASSIFICATIONS AND THEIR CORRESPONDING DESIGN DENSITY, DESIGN AREA, AND HOSE STREAM REQUIREMENTS. PIPE SCHEDULE METHOD IS NOT PERMITTED TO BE USED. MINIMUM SAFETY FACTOR OF 10 PSI SHALL BE PROVIDED.

LIGHT HAZARD: RESTROOMS, FITNESS AND SPIN STUDIO SPACES SHALL BE DESIGNED USING 0.1 GPM/SF OVER 1500 SF WITH 100 GPM HOSE STREAM. MAXIMUM SPRINKLER PROTECTION AREA SHALL NOT EXCEED 225 SF.

DESIGN AREA REDUCTION FOR USE OF QUICK RESPONSE SPRINKLERS IS PERMITTED IN ACCORDANCE WITH NFPA 13.

FIRE PROTECTION NEW WORK KEYED NOTES

MODIFY EXISTING SPRINKLER SYSTEM SERVING THE RENOVATED AREA. PROVIDE NEW SPRINKLER HEADS IN ALL AREAS WITH PROPER SPRINKLER COVERAGE. LOCATIONS SHALL BE DESIGNED BY THE SPRINKLER CONTRACTOR IN ACCORDANCE WITH NFPA F-1 13. ADD NEW BRANCH PIPES FROM THE EXISTING MAINS WHERE REQUIRED, PIPE MATERIAL TO MATCH WITH THE EXISITNG, COORDINATE SPRINKLER LOCATIONS WITH EQUIPMENT, LIGHTING, FURNITURE, AND ALL OTHER TRADES. SPRINKLER HEADS SHALL BE LOCATED IN CENTER OF CEILING TILES. REFER TO THE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

PLUMBING KEYED NOTES

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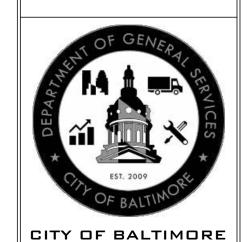
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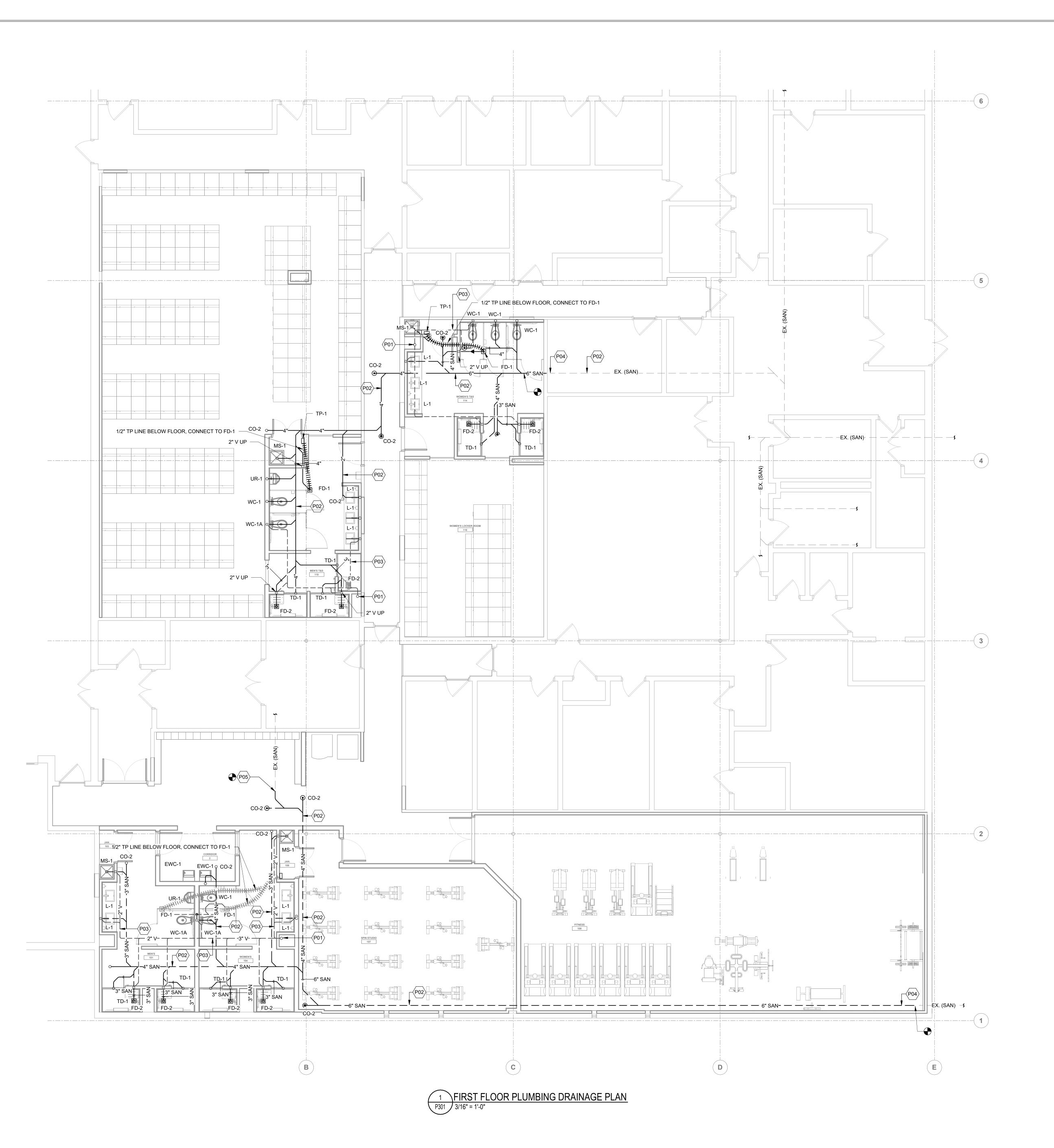
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PLUMBING KEYED NOTES

P01 3" VENT THRU ROOF. P02 PIPING SHOWN IS BELOW FINISHED FLOOR.

PIPING SHOWN IS ABOVE FINISHED CEILING.

CONNECT NEW 6 INCH SANITARY PIPE TO EXISITING SANITRAY PIPE SIZE OF MINIMUM 6 INCHES, CONTRACTOR TO FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF PIPE AVAILABLE BY VIDEOS/ CAMERA SURVIVALANCE AND CONNECT NEW PIPE TO MATCH WITH THE EXISTING IN TERMS OF SIZE AND ELEVATION, TRIM/ EXTEND THE EXISTING PIPE TO MATCH WITH THE NEW PIPE ELEVATIONS.

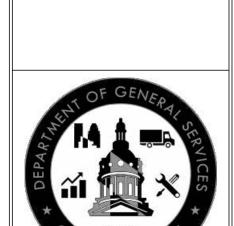
CONNECT NEW 4 INCH SANITARY PIPE BACK TO THE EXISITNG SANITRAY PIPE SIZE SERVING THE OTHER EXISTING FIXTURES THAT IS TO REMAIN, CONTRACTOR TO FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF PIPE AVAILABLE BY VIDEOS/ CAMERA SURVIVALANCE AND CONNECT NEW PIPE TO MATCH WITH THE EXISTING IN TERMS OF SIZE AND ELEVATION, TRIM/ EXTEND THE EXISTING PIPE TO MATCH WITH THE NEW PIPE ELEVATIONS.

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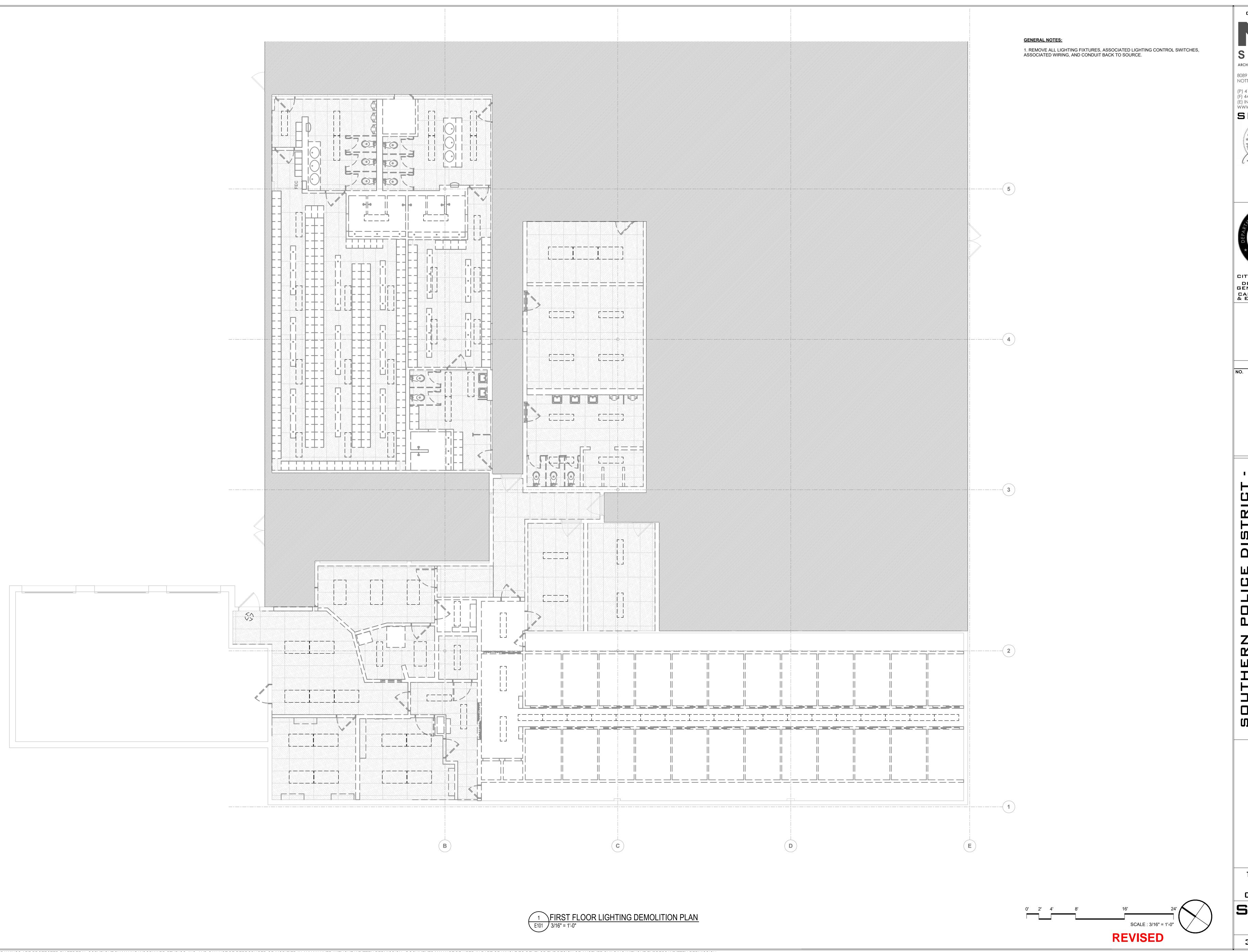
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SHEET P301

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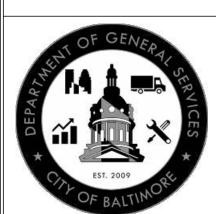


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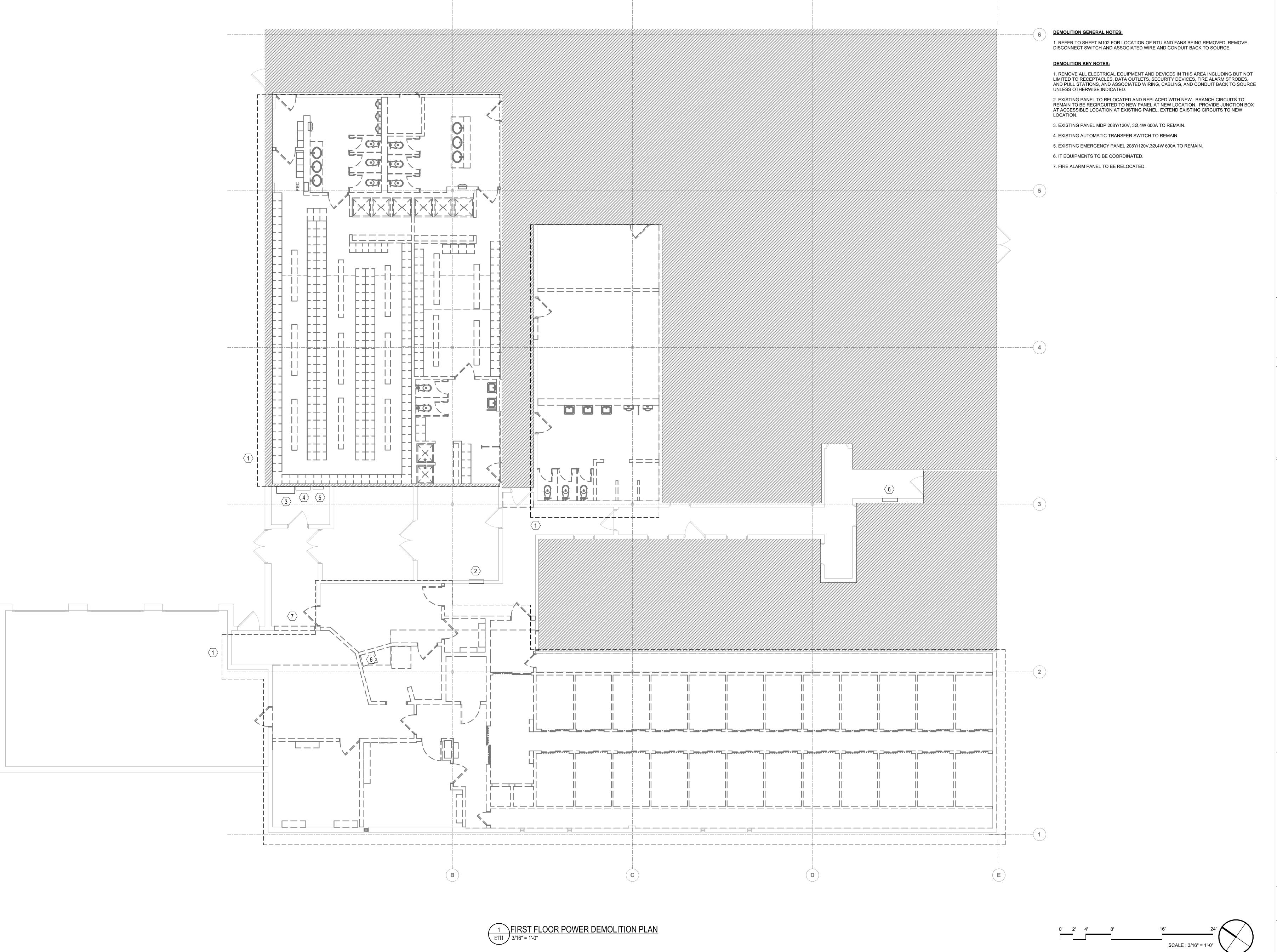
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OF MARY
PROPERTY OF MARY



CITY OF BALTIMORE

DEPARTMENT OF

GENERAL SERVICES

CAPITAL PROJECTS

& ENERGY DIVISION

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POLICE DISTRICT OR RENOVATION

BROOKLYN, MD 2

FIRST FLOOR
POWER DEMOLITION
PLAN

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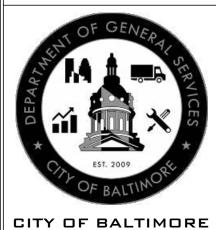
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A POLICE DISTRICT -OR RENOVATION

10 CHERRY HILL BROOKLYN, MD 21

FIRST FLOOR

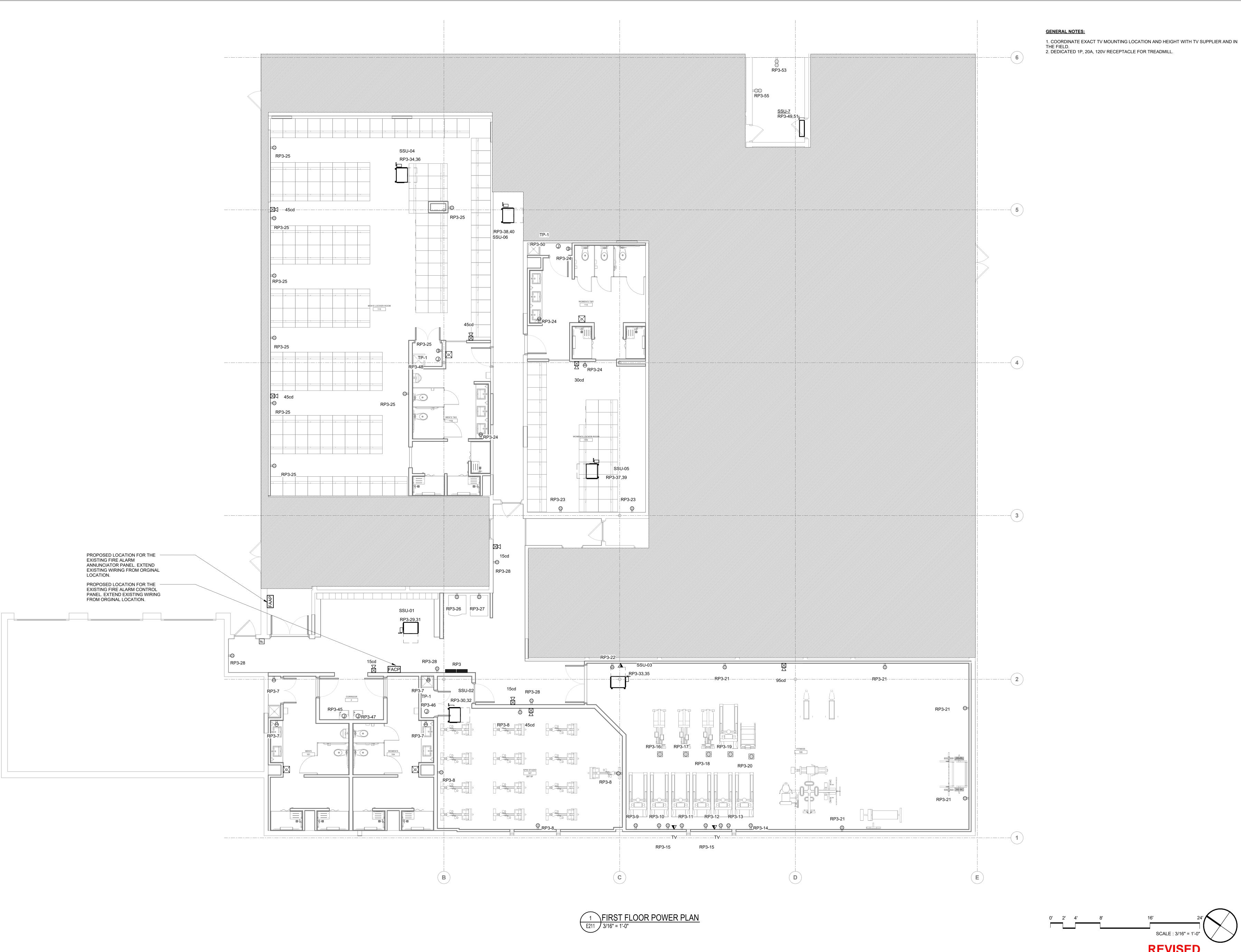
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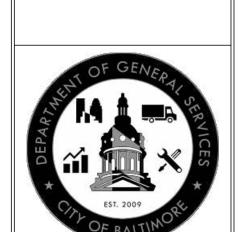


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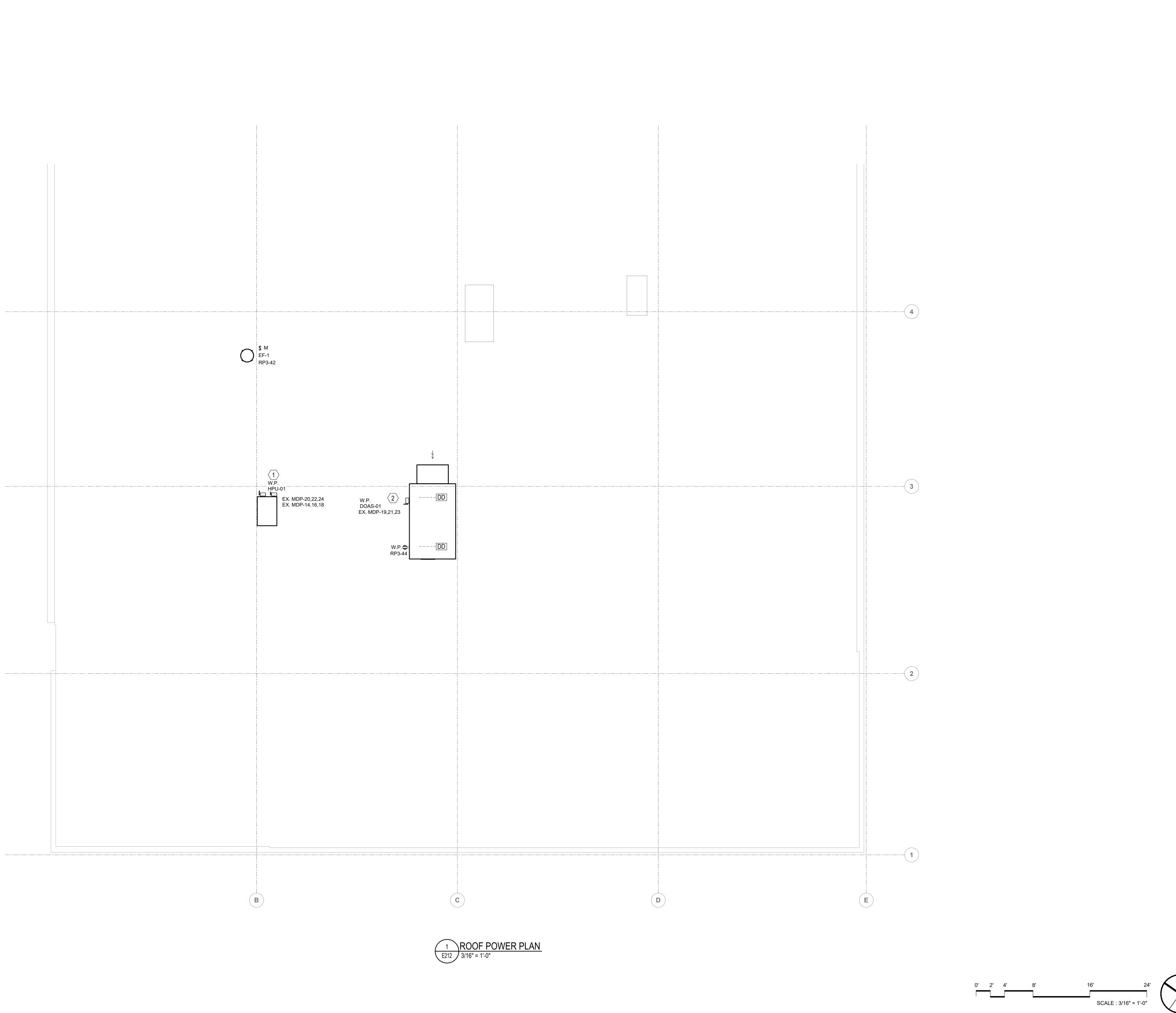
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KEY NOTES: (#)

1. PROVIDE 3P, 600V, 60A NON-FUSIBLE DISCONNECT SWITCH IN NEMA 3R ENCLOSURE. PROVIDE (1) FOR EACH UNIT MODULE.

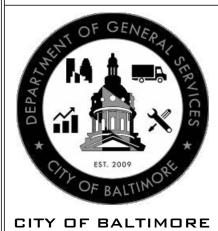
2. PROVIDE 3P, 600V, 100A NON-FUSIBLE DISCONNECT SWITCH IN NEMA 3R ENCLOSURE.

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THERN POLICE DISTRICT -

ROOF POWER PLAN

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04/16/25

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SOUTHERN DISTRICT POLICE STATION

BALTIMORE, MARYLAND

ROBERT J. NASH, FAIA & ASSOCIATES P.C. Architects and Planners 5113 Georgia Avenue N.W. Washington D.C. 20011

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LANDSCAPE ARCHITECT

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MECHANICAL & ELECTRICAL ENGINEER Harold A. Schlenger & Associates, Incorporated 714 Park Avenue

Baltimore, Maryland 21201 SPECIFICATIONS CONSULTANT

Ronald M. Beard, C.C.S. 9213 Columbia Boulevard Silver Spring, Maryland 20910

CIVIL ENGINEER Oyster, Imus & Petzold, Incorporated 2419 Reedie Drive Wheaton, Maryland 20902

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	E-3	KISCI Diagrams q ochedares



FRANCIS W. KUCHTA DIRECTOR, DEPARTMENT OF PUBLIC WORKS CORMAC M. LANNON HEAD, BUREAU OF CONSTRUCTION MANAGEMENT

DIRECTOR OF PUBLIC WORKS HEAD, BUREAU OF CONSTRUCTION MANAGEMENT

APPROVED

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BALTIMORE POLICE DEPARTMENT BUREAU OF CONSTRUCTION MANAGEMENT SOUTHERN DISTRICT POLICE STATION 10 CHERRY HILL ROAD

FOR THE MAYOR AND CITY COUNCIL OF BALTIMORE WILLIAM DONALD SCHAEFER, MAYOR

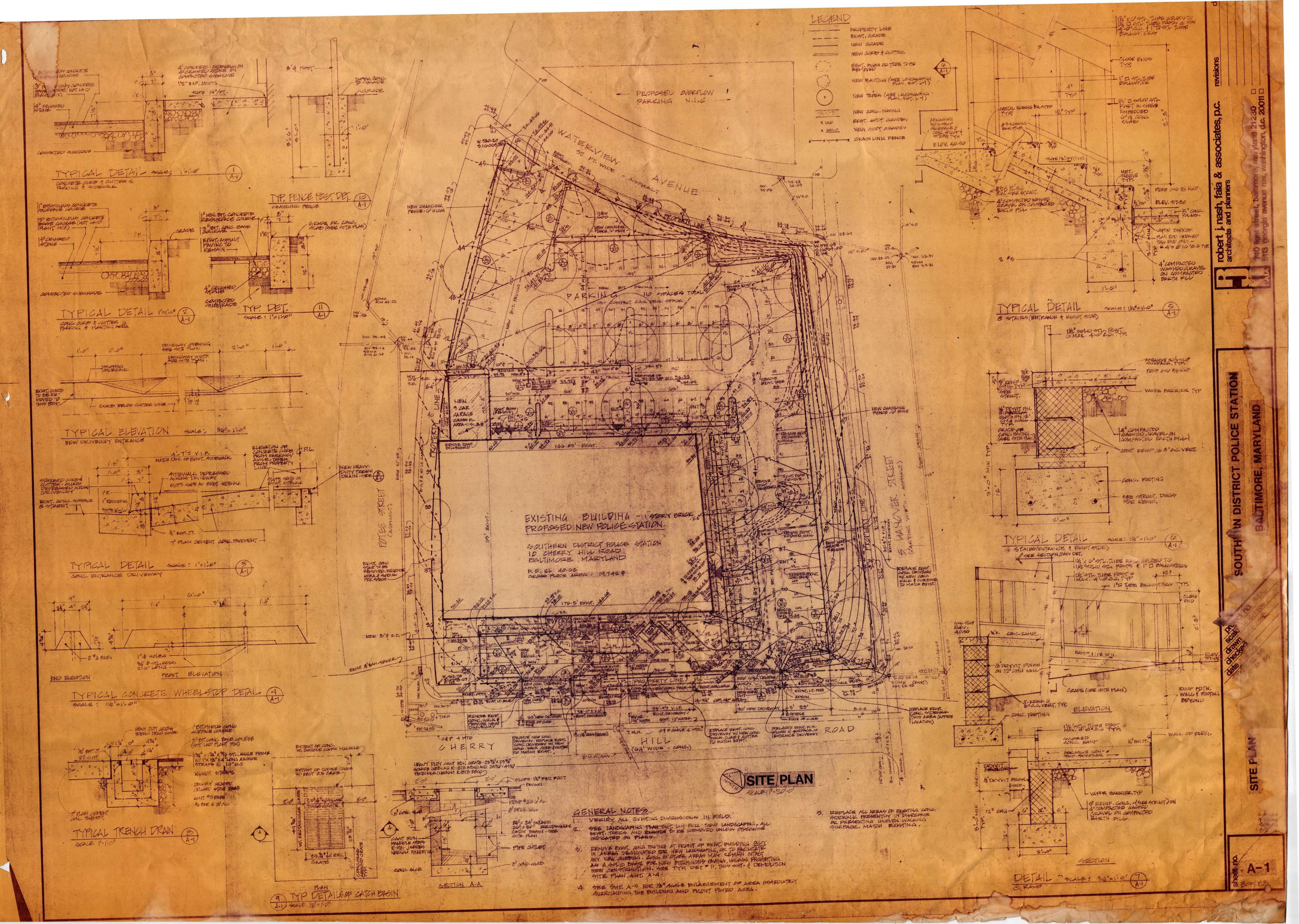
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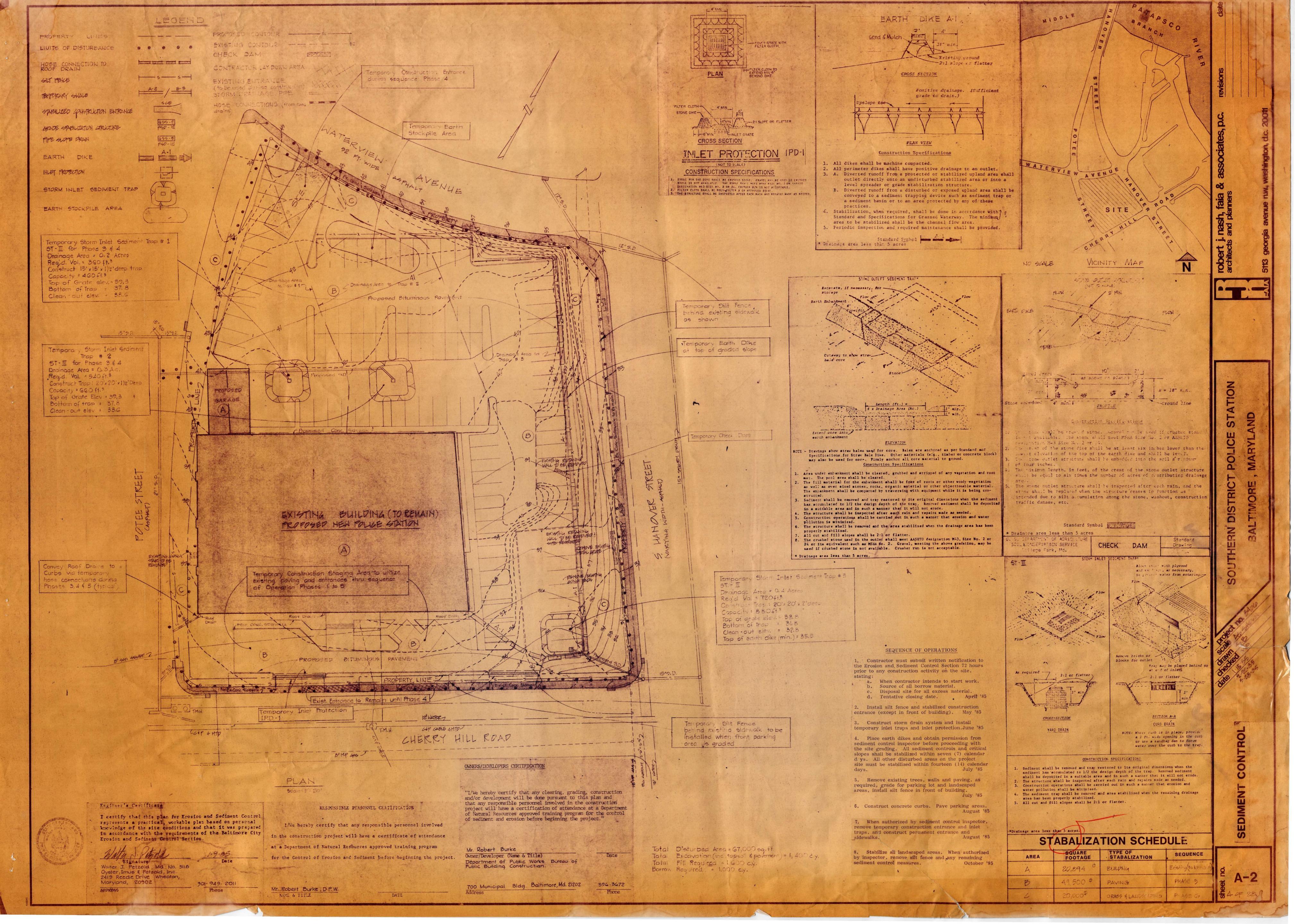
PROFESSIONAL CERTIFICATION THESE PLANS AND SPECIFICATIONS FOR THE SOUTHERN DISTRICT POLICE STATION WERE PREPARED UNDER MY SUPERVISION AND, TO THE BEST OF MY KNOWLEDGE MARYLAND FIRE PREVENTION CODE.

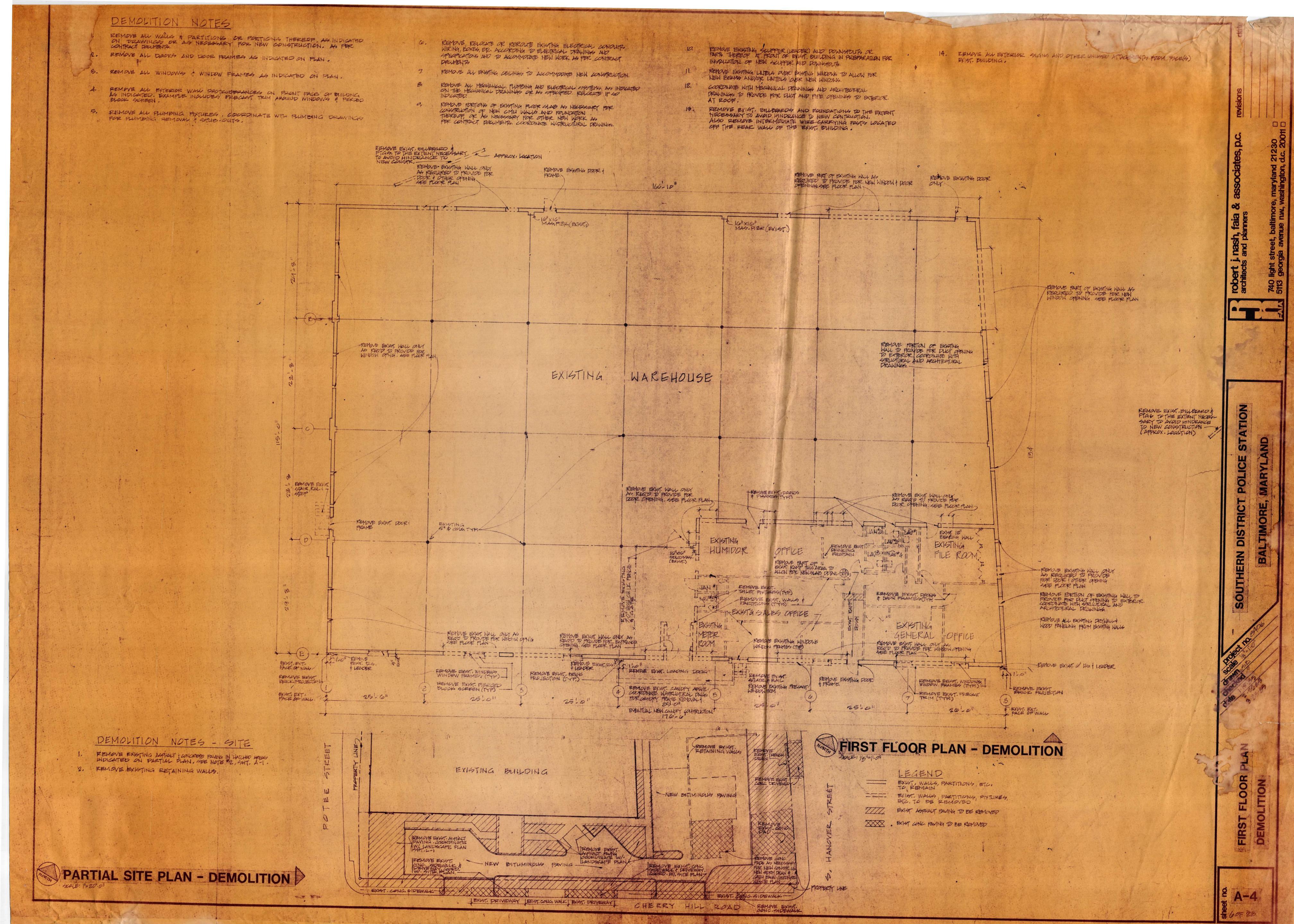
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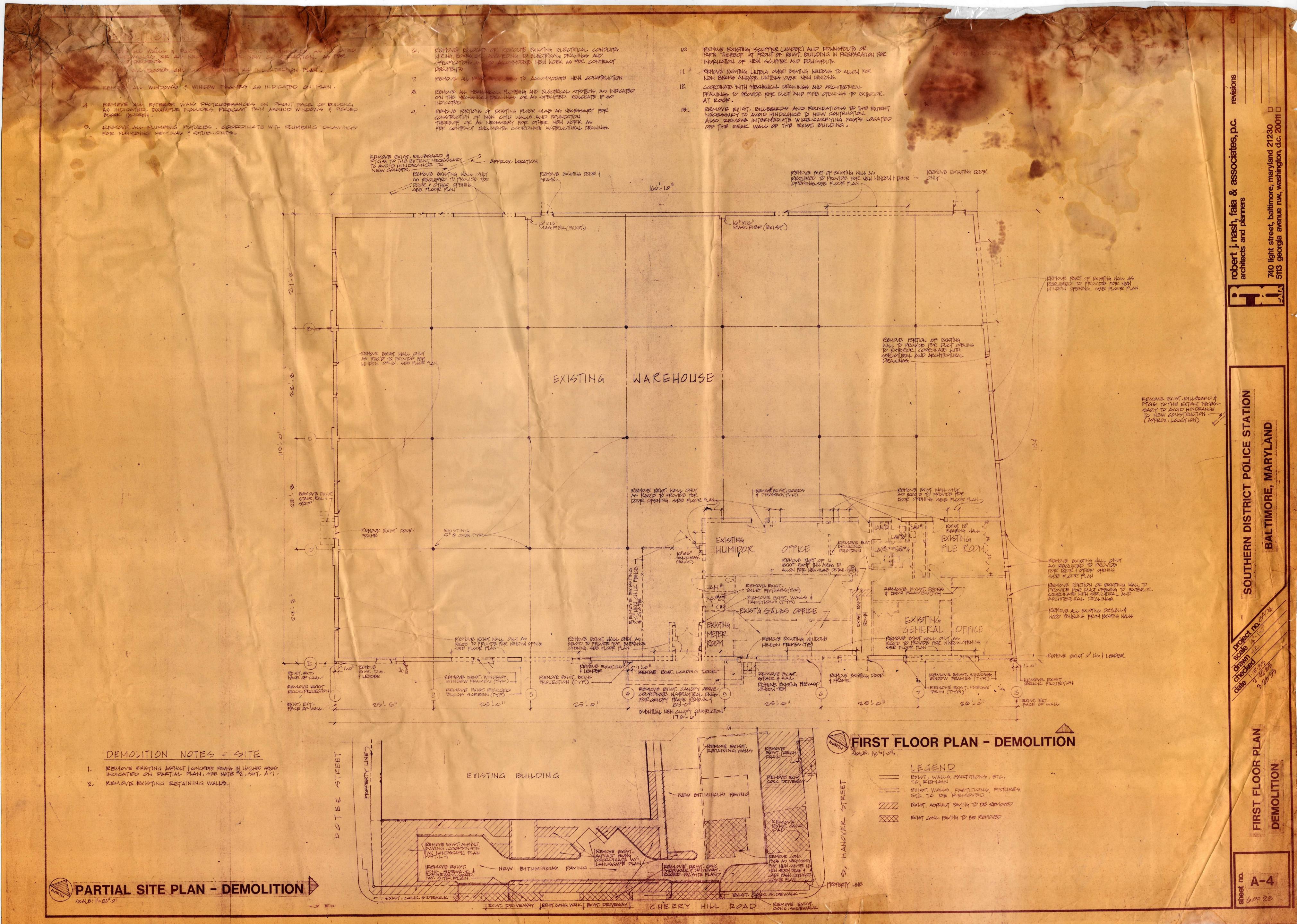
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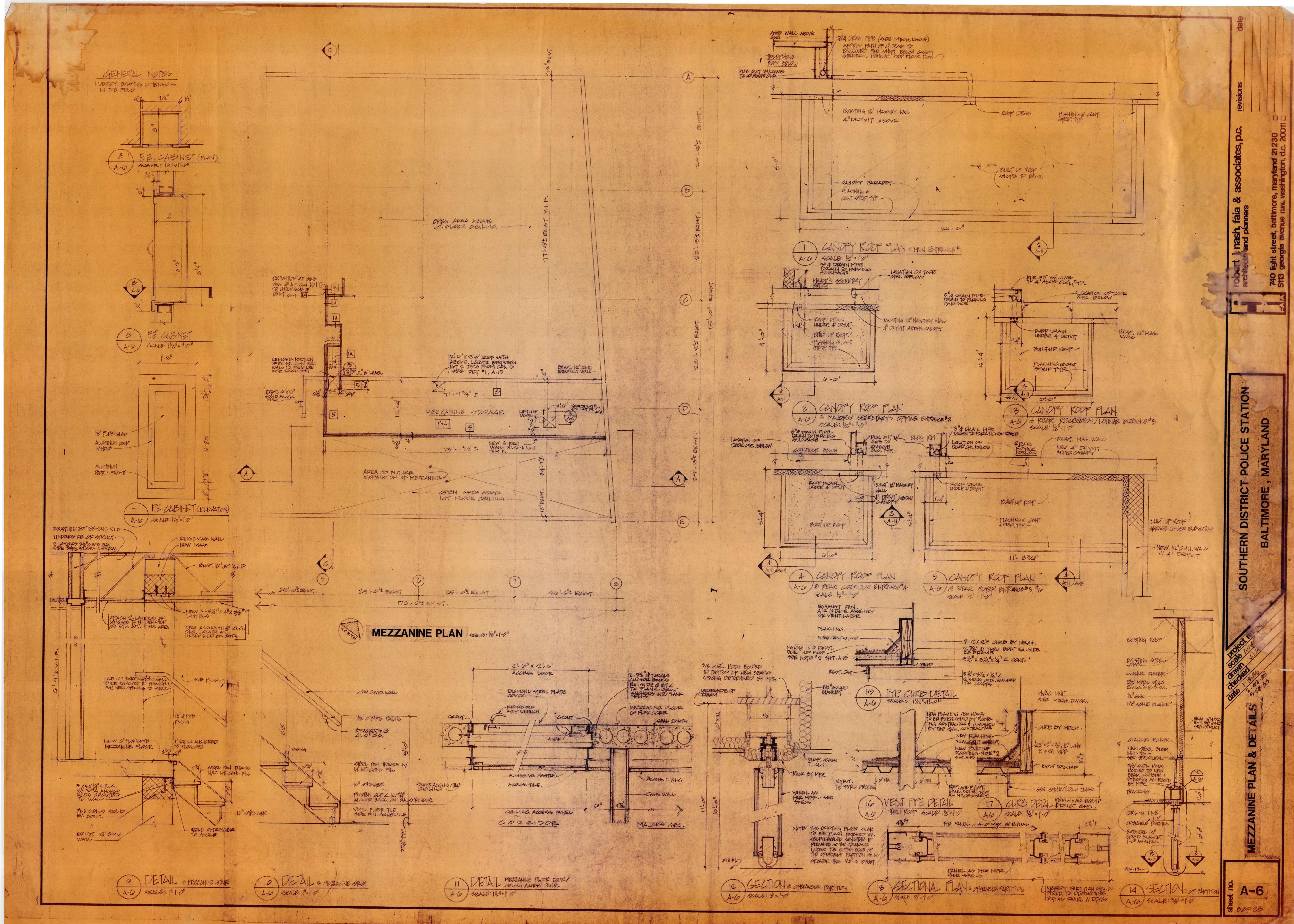
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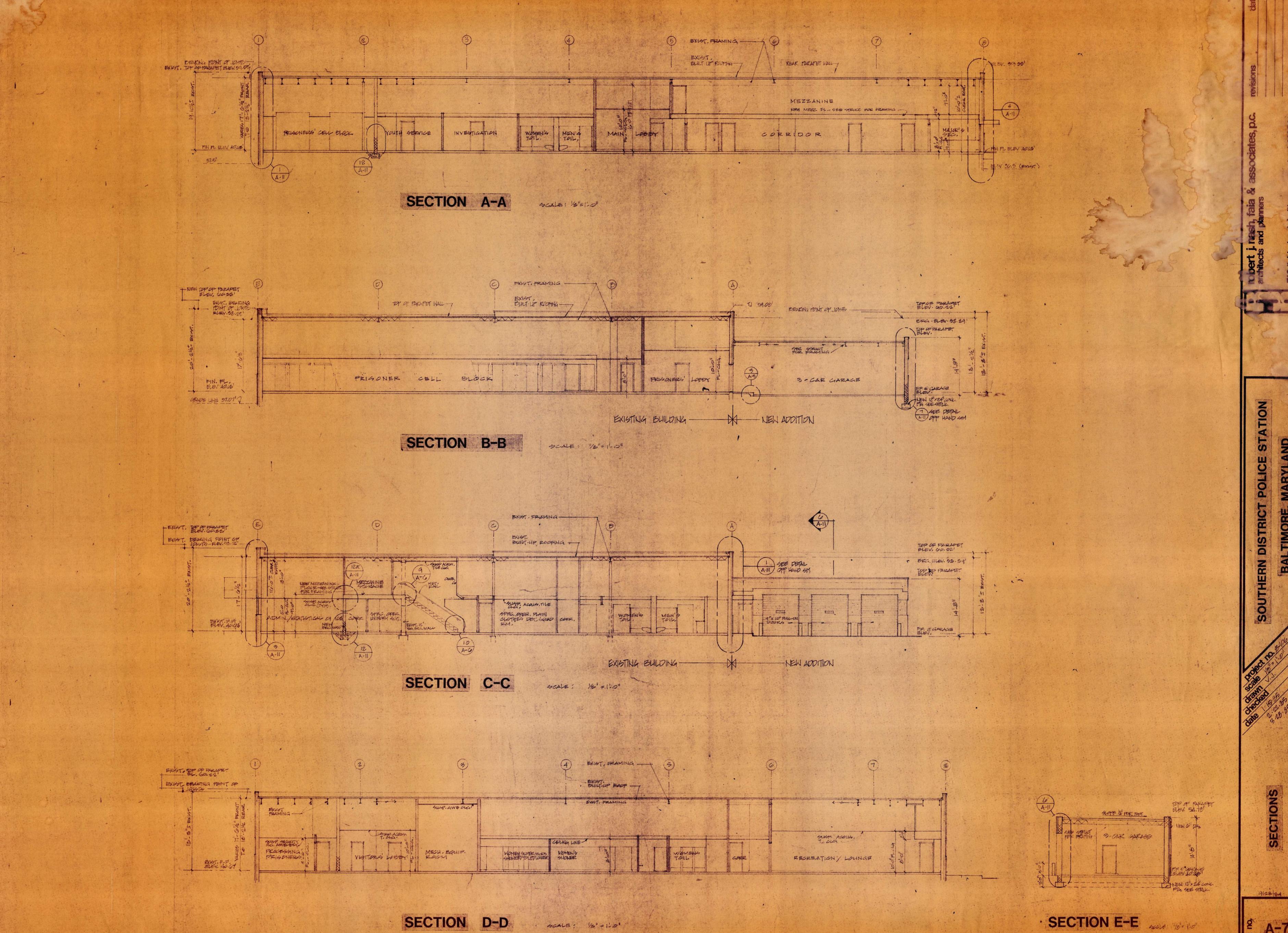












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