

- LIST OF DRAWINGS
- ID-1 COVER SHEET
 - ID-2 GENERAL NOTES
 - ID-3 DEMOLITION PLAN & NOTES
 - ID-4 CONSTRUCTION PLAN & NOTES
 - ID-5 ELEVATIONS & DETAILS
 - ID-6 ELEVATIONS & DETAILS
 - ID-7 ELEVATIONS & DETAILS
 - ID-8 REFLECTED CEILING PLAN & NOTES
 - ID-9 FINISH PLAN & SCHEDULES
 - M-1 HVAC
 - M-2 PLUMBING
 - M-3 MECHANICAL DETAILS
 - M-4 MECHANICAL SCHEDULES
 - M-5 MECHANICAL SPECIFICATION
 - E-1 POWER
 - E-2 FIRE ALARM
 - E-3 LIGHTING
 - E-4 LIGHTING RCP
 - E-5 ELECTRICAL SCHEDULES
 - E-6 ELECTRICAL SCHEDULES
 - E-7 ELECTRICAL SPECIFICATION

ENGINEER CONTACT INFORMATION



APPLICABLE CODES AS ADOPTED AND AMENDED BY BALTIMORE COUNTY, MARYLAND

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2015 NATIONAL STANDARD PLUMBING CODE W/ AMENDMENTS (BILL #41-15)
- 2015 NATIONAL FUEL GAS CODE W/ AMENDMENTS (BILL #41-15)
- 2020 NATIONAL ELECTRICAL CODE W/ AMENDMENTS (BILL #40-15)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 LIFE SAFETY CODE NFPA 101 W/ AMENDMENTS (BILL #14-21)
- 2018 FIRE PREVENTION CODE NFPA 1 W/ AMENDMENTS (BILL #14-21)
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- MARYLAND ACCESSIBILITY CODE COMAR 09.12.53

OCCUPANCY CALCULATION:
(ASSEMBLY USE):
WAITING:408
673 / 15= 45 OCCUPANTS
WAITING:409
572 / 15= 39 OCCUPANTS

REMAINDER OF SPACE (BUSINESS USE): 8,444 / 150= 57 OCCUPANTS

TOTAL OCCUPANCY LOAD (PER IBC) = 141 OCCUPANTS

NOTE:
CONTRACTOR SHALL USE COMPLETE SETS OF DOCUMENTS; NEITHER THE OWNER, NOR INTERIOR DESIGNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF DOCUMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL SUBCONTRACTORS RECEIVE ENTIRE SET OF DRAWINGS INCLUDING THE COVER.

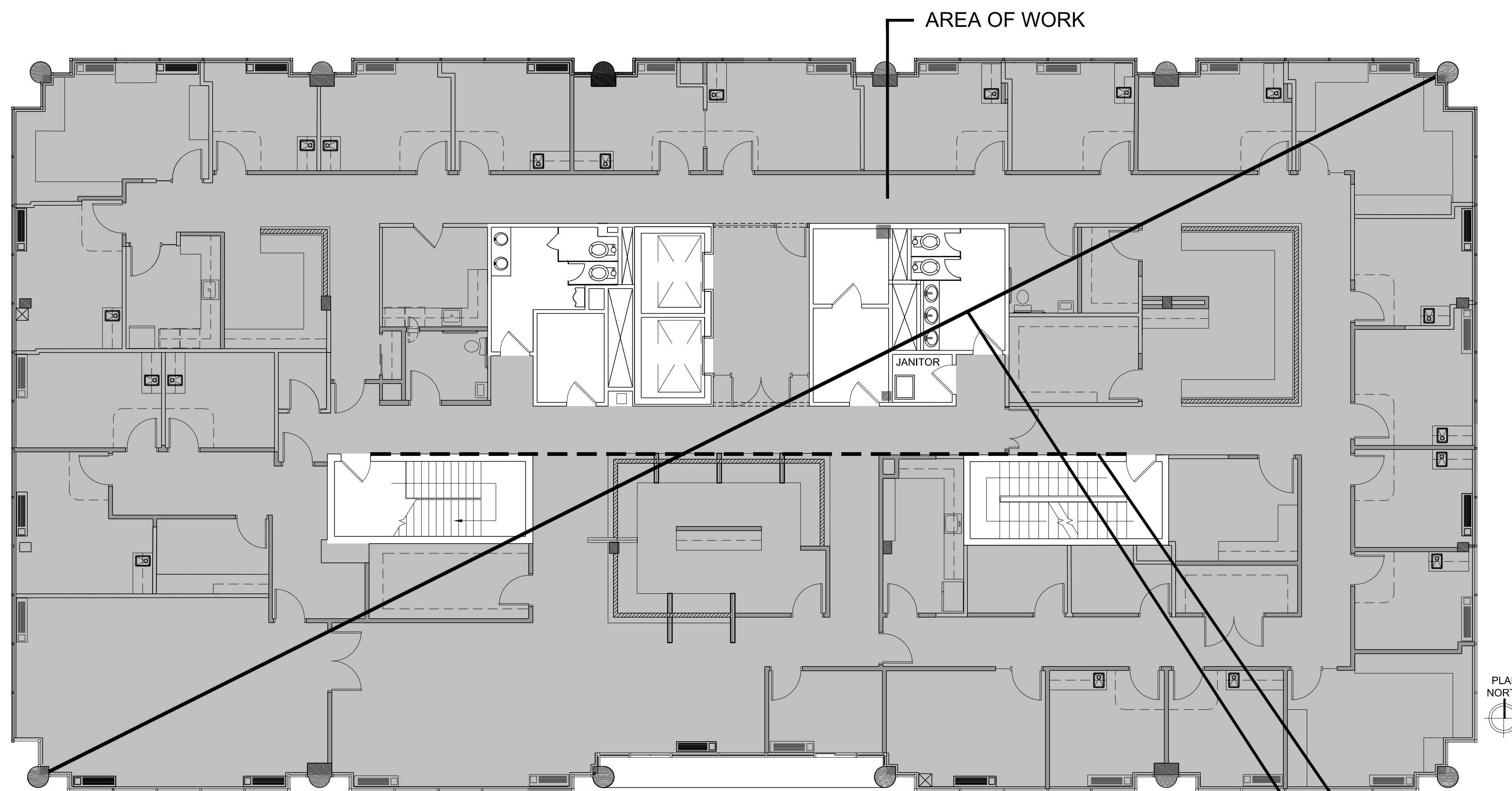
UMMS PEDIATRICS

1104 KENILWORTH DRIVE SUITE 400 TOWSON, MD 21204

CODE ANALYSIS

	EXISTING BLDG.	EXISTING SPACE
JURISDICTION	BALTIMORE COUNTY, MD	BALTIMORE COUNTY, MD
IBC 2021OCCUPANCY CLASSIFICATION	B- BUSINESS	B-BUSINESS; NO CHANGE
CONSTRUCTION TYPE	IIA	IIA
NUMBER OF STORIES ABOVE GRADE	5	4
HIGH RISE	NO	NO
COVERED MALL	NO	NO
FULLY SPRINKLERED & MONITORED	YES	YES
FLOOR AREA OF ALTERATION	10,441 SQ. FT.	9,689 SQ. FT. SUITE

* INTERIOR FINISHES COMPLY WITH 2021 IBC, CHAPTER 8 AS THEY APPLY TO THIS RENOVATION.



KEYPLAN - 4TH FLOOR
N.T.S.

EXISTING DOOR
REMOVED: 77'-2"

LONGEST DIAGONAL:
158'-4"



interior planning
+ design

124 lakefront drive
hunt valley, md 21030
410.785.7795

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME AND THAT I AM
A DULY LICENSED ARCHITECT UNDER THE LAWS
OF THE STATE OF MARYLAND. LICENSE NUMBER
12986. EXPIRATION DATE 2027-12-14.
BRIAN CHRISTOPHER OLSEN

UMMS PEDIATRICS
1104 KENILWORTH DRIVE
SUITE 400
TOWSON, MD 21204

COVER SHEET

APPROVALS:

DATE	BY

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COPYRIGHT ACT OF 1976 AND SHALL NOT BE REPRODUCED
WITHOUT THE WRITTEN PERMISSION OF NFD, INC.

ISSUE DESCRIPTION:

#	DATE	DESCRIPTION	BY
1		XX	
2			
3			
4			
5			
6			
7			
8			
9			

DATE: 3/2/2026
SCALE: AS NOTED
DRAWN BY: JA
DESIGN BY: EP
CHECKED BY: EP
PROJECT #: UZ065

ID-1

DESIGN SERVICES

- 1. NFD WILL PROVIDE ALL ARCHITECTURAL CONSTRUCTION DRAWINGS TO CONTRACTOR. NFD TO PROVIDE ALL APPROVED TENANT FINISH SELECTIONS TO CONTRACTOR FOR BUILD-OUT.
2. F4 COLLABORATIONS SHALL PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING SERVICES NECESSARY FOR THE DESIGN OF A BUILDING STANDARD SPACE AND FOR PERMITTING.
3. CONTRACTOR SHALL PROVIDE LANDLORD WITH A COMPLETE SET OF MARKED UP AS-BUILT PLANS INCLUDING: ARCHITECTURAL PLAN, ELECTRICAL, MECHANICAL, CERTIFIED AIR BALANCE REPORT, FIRE-SPRINKLER AND HARDWARE AND FINISH SCHEDULES LANDLORD STANDARD TENANT FIT-OUT SPECIFICATIONS UPON COMPLETION OF THE PROJECT ALONG WITH ALL OPERATIONAL MANUALS, WARRANTIES, ETC. A 10% RETAINAGE WILL BE HELD UNTIL RECEIPT OF THE ABOVE.
4. PUNCH LIST ITEMS MUST BE COMPLETED WITHIN FIVE (5) BUSINESS DAYS.

GENERAL NOTES

- 1. THIS DOCUMENT SHALL BE INCORPORATED WITH THE APPLICABLE CONSTRUCTION DRAWINGS AS A SPECIFIED EXHIBIT TO THE CONSTRUCTION CONTRACT FOR THE PURPOSE OF BUILT OUT TO THE PROPOSED SPACE.
2. THE CONTRACTOR MAY ENCOUNTER CONDITIONS ON SITE DURING CONSTRUCTION WHICH THE CONSTRUCTION DOCUMENTS DO NOT ANTICIPATE. THE CONTRACTOR WILL TAKE RESPONSIBILITY TO CURE SUCH FINDINGS AND SHALL MAKE LANDLORD AND/OR ARCHITECT AWARE OF ANY SUCH DISCREPANCIES PRIOR TO COMMENCING SUCH WORK. A COPY OF THIS DOCUMENT AND ALL APPLICABLE DRAWINGS MUST BE PROMINENTLY POSTED AT THE JOB SITE.
3. ANY REFERENCE HEREIN TO CONTRACTOR SHALL COLLECTIVELY IMPLY THE GENERAL CONTRACTOR AND SUBCONTRACTORS AND ENGINEERS EMPLOYED BY THE CONTRACTOR INVOLVED IN THE FIT-OUT.
4. NFD IS NOT RESPONSIBLE FOR CONSTRUCTION/BUILD-OUTS THAT BEGAN BEFORE PERMIT IS ISSUED.
5. THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION.
6. THESE PLANS HAVE BEEN PREPARED FROM SUPPLIED ARCHITECTURAL DRAWINGS, LIMITED SITE DIMENSIONS HAVE BEEN TAKEN.
7. THESE PLANS HAVE BEEN PREPARED FROM TENANT SUPPLIED LAYOUTS, NO FURNITURE INVENTORY HAS BEEN TAKEN, NFD IS NOT RESPONSIBLE FOR EQUIPMENT CLEARANCES.
8. TENANT/TENANTS FURNITURE VENDOR IS RESPONSIBLE TO FIELD VERIFY AREAS TO RECEIVE NEW OR RELOCATED FURNITURE PRIOR TO ORDERING AND INSTALLATION. NFD IS NOT RESPONSIBLE FOR FURNITURE CLEARANCES IF WE HAVE NOT FIELD VERIFIED THE SPACE AND PROVIDED FURNITURE INVENTORY SERVICES.
9. ALL WORK SHALL BE PERFORMED BY CONTRACTOR IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL BUILDING LAWS.
10. INSURANCE CERTIFICATES: UPON EXECUTION OF CONTRACT GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL SUPPLY INSURANCE CERTIFICATES TO LANDLORD. CONFIRM THE FOLLOWING AS PER LANDLORD STANDARD CONTRACTS:
A. AMOUNT AND TYPE OF REQUIRED COVERAGES
B. CORRECT PROJECT NAME AND ADDRESS
C. LANDLORD PROPERTY LIMITED PARTNERSHIP NAME AS ADDITIONAL INSURED
D. EXPIRATION DATE COVERS PROJECT DURATION
10. COSTS OF LANDFILL TAXES, USE TAX, SALES TAX, AND OTHER CHARGES RELATIVE TO CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE CONTRACT PRICE.
11. NFD SHALL OBTAIN THE BUILDING PERMIT FOR CONSTRUCTION COMMENCEMENT. CONTRACTOR TO OBTAIN ALL OTHER NECESSARY PERMITS, INCLUDING OCCUPANCY. THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE REQUIRED TO SECURE AND PAY FOR ALL APPLICABLE PERMITS AND PAY ALL FEES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK, WHICH ARE APPLICABLE AT THE TIME THE BIDS ARE RECEIVED. UNLESS OTHERWISE SPECIFIED, COPIES OF ALL TRANSACTIONS ARE TO BE FORWARDED TO THE TENANT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CLOSE OUT NECESSARY PERMITS AS REQUIRED UPON COMPLETION OF THE PROJECT.
12. PRIOR TO FINAL COMPLETION OF FINAL PAYMENT, THE GENERAL CONTRACTOR SHALL COORDINATE ALL NECESSARY INSPECTIONS BY THE PARTICULAR GOVERNMENTAL AUTHORITIES IN ORDER TO OBTAIN A FINAL CERTIFICATE OF OCCUPANCY. ALL NECESSARY PERMITS MUST BE PROMINENTLY POSTED AT THE SITE.
13. RENTAL CHARGES, SAFETY, PROTECTION, AND MAINTENANCE OF RENTED EQUIPMENT LEFT ON SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. SUBSTITUTIONS: LANDLORD WILL NOT ACCEPT ANY DEVIATIONS FROM THESE DOCUMENTS UNLESS PRIOR REVIEW BY TENANT AND APPROVAL BY LANDLORD HAS BEEN ISSUED. LANDLORD WILL NOT ACCEPT ANY SPECIFIED ARCHITECTURAL FINISH SUBSTITUTIONS UNLESS REVIEWED BY TENANT, NFD AND ACCEPTED BY LANDLORD.
15. THE CONTRACTOR, AT ALL TIMES, SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY ITS OPERATIONS. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS. CONTRACTOR IS RESPONSIBLE FOR FINAL AND THOROUGH CLEANING OF ALL SURFACES UPON PROJECT COMPLETION.
16. ALL WORK SHALL BE COMPLETE INCLUDING ALL NECESSARY DEVICES AND MATERIAL FOR PROPER INSTALLATION OF ALL PRODUCTS AND EQUIPMENT.
17. THE WORK OF EACH TRADE SHALL BE INSTALLED/COORDINATED WITH THE WORK OF OTHER TRADES AND SHALL BE ARRANGED TO CLEAR THE WORK OF OTHER TRADES.
18. THE CONTRACTOR SHALL MAKE ALL NECESSARY CHANGES IN THE EXISTING WORK IN ORDER TO ACCOMMODATE AND/OR TIE IN WITH THE NEW WORK. THIS SHALL INCLUDE REMOVAL AND/OR RELOCATION AND/OR RECONNECTION OF EXISTING EQUIPMENT, PIPING, DUCTWORK, ELECTRICAL WORK, ETC., AS REQUIRED.
19. CONTRACTOR SHALL PAY FOR LOCAL MUNICIPAL INSPECTION FEES AND SHALL INCLUDE SAME IN THE BID.
20. IN SECOND GENERATION SPACES, DEFINED AS A SPACE FORMERLY FIT-OUT AND OCCUPIED BY A TENANT, BEFORE THE SPACE IS FIT-OUT, AN INSPECTION WILL OCCUR BETWEEN LANDLORD AND CONTRACTOR TO DETERMINE USEFULNESS OF (CEILING TILES, GRID, LIGHTING, WINDOW TREATMENTS, EMERGENCY LIGHTS, HORN/SSTROBES, ETC.)
21. ANY DAMAGE THAT MAY OCCUR TO PAINT, WALLS, DOORS, CEILINGS, ELEVATORS, STAIR TOWERS AS A RESULT OF THE FIT-OUT SHALL BE CURED BY THE CONTRACTOR AT NO COST TO LANDLORD AND RETURNED TO EXISTING CONDITIONS IN ACCORDANCE WITH LANDLORD'S APPROVAL.
22. DISCREPANCIES: THE CONTRACTOR IS RESPONSIBLE TO MAKE THE LANDLORD AWARE OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND SITE CONDITIONS BEFORE COMMENCING WITH ANY WORK IN ORDER TO RECEIVE CLARIFICATION.
23. ALL DIMENSIONS ARE NOTED IN FEET AND INCHES.
24. PROVIDE: THE TERM "PROVIDE/PROVIDED" IN CONNECTION WITH ANY ITEM HEREIN SHALL MEAN, UNLESS OTHERWISE NOTED, THAT SUCH ITEMS SHALL BE FURNISHED TO JOB-SITE, INSTALLED AND CONNECTED WHERE REQUIRED.
25. APPROVED EQUAL: WHEREVER THE TERM "EQUAL/APPROVED EQUAL" APPEARS IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF LANDLORD AND/OR NFD.
26. THE CONTRACTOR SHALL INCLUDE, AND ARRANGE FOR, ALL HOISTING CHARGES IN THE BID, IF ANY ARE REQUIRED.
27. CONTRACTOR AGREES THAT PERFORMANCE OF WORK UNDER THIS CONTRACT SHALL BE GUARANTEED BY HIM AGAINST DEFECTIVE MATERIALS/WORKMANSHIP FOR A MINIMUM PERIOD OF (1) YEAR FROM FINAL CERTIFICATE OF OCCUPANCY DATE. CONTRACTOR SHALL ALSO PROVIDE LANDLORD WITH APPLICABLE MANUFACTURER WARRANTIES WHEN THE SPACE IS TURNED OVER TO LANDLORD.
28. THE CONTRACTOR, AND ALL SUB-CONTRACTORS, SHALL THOROUGHLY VERIFY DIMENSIONS, AND ANY AND ALL SITE CONDITIONS, PRIOR TO THE BID SUBMISSION TO THE EXTENT PRACTICABLE THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AT THE SITE AND ANY CONFLICTS, OMISSIONS, AND DISCREPANCIES SHALL BE REPORTED IN WRITING TO NFD FIVE BUSINESS DAYS PRIOR TO THE BID SUBMISSION. OTHERWISE, THE CONTRACTOR SHALL BEAR ALL COSTS TO COMPLETE THE WORK AS INTENDED ON THE DRAWINGS. THE GENERAL CONTRACTOR WARRANTS, BY TENDERING THE BID THAT THE WORK IS BUILDABLE.
29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND WRITTEN INSTRUCTIONS, INCLUDING BUT NOT LIMITED TO SUBSTRATE, ADHESIVE, SEALANT, ETC.
30. SHOULD CONTRACTOR OR TENANT DEVIATE FROM THE CONTRACT DOCUMENTS IN ANY WAY WITHOUT OUR INVOLVEMENT, WE WILL NOT BE HELD RESPONSIBLE.

DEMOLITION NOTES

- 1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS PER CONSTRUCTION DOCUMENTS.
2. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION, INCLUDING SWITCH BOXES, PLATES, BRIDGES OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING OR EQUIPMENT U.N.O. CONTRACTOR TO PATCH WALL WHERE REMOVED AND PREPARE TO RECEIVE NEW FINISHES.
3. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING OWNER, INCLUDING BUT NOT LIMITED TO WINDOWS, BLINDS, FLOOR / CEILING TILE, PUBLIC TOILETS, ELEVATORS, DOORS, BOXES, ELECTRICAL, AIR CONDITIONING EQUIPMENT PERIPHERAL ENCLOSURES, ETC. (A TEMPORARY FILTER SHALL BE INSTALLED ON THE RETURN AIR DUCT ABOVE HUNG CEILING DURING THIS PHASE.)
4. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT THROUGHOUT THE SPACE UNDER CONSTRUCTION AS REQUIRED.
5. THE GENERAL CONTRACTOR SHALL REMOVE PIPING FROM WALLS, CAP HW AND CW ABOVE CEILING - WASTE PIPING AT FLOOR CAPPED BELOW FLOOR AND REMOVE VENT PIPE TO THE IN. CAP AND FLUSH OFF BEHIND FINISHED SURFACES ALL PROJECTING GAS LINES, FLOOR ELECTRICAL/TELEPHONE OUTLETS AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED AND PATCH MATCH ADJACENT WALL AND/OR SURFACES TO RECEIVE NEW FINISH U.N.O.
6. GENERAL CONTRACTOR SHALL SCAR PATCH ALL DAMAGED SURFACES WHEREVER DEMOLITION OCCURS, WALL, FLOOR, AND CEILING, ETC AND PREPARE SURFACE TO RECEIVE NEW FINISH.
7. THE GENERAL CONTRACTOR TO REVIEW WITH BUILDING MANAGER THE DISPOSITION OR LACK THEREOF, OF ALL EXISTING EQUIPMENT (HVAC, DUCTWORK, ELECTRICAL OUTLETS, PARTITIONS, ETC.)
8. NO EXISTING SECURITY ALARMS, SMOKE DETECTOR, FIRE ALARM BONES OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED, CUT, REMOVED OR RENDERED INOPERABLE DURING DEMOLITION OR SUBSEQUENT CONSTRUCTION.
9. DEMOLITION, CUTTING AND PATCHING: ALL EXISTING CONDITIONS AS INDICATED ON THE DOCUMENTS (I.E. PARTITIONS, CEILING, DOORS, WIRING, ETC.) TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LAWFUL MANNER. EACH PROJECT SHALL HAVE A PLAN TO RECYCLE CONSTRUCTION WASTE TO THE MAXIMUM EXTENT POSSIBLE. "REMOVE" SHALL MEAN COMPLETELY AND ENTIRELY FROM THE BUILDING AND PROPERTY UNLESS OTHERWISE NOTED BY LANDLORD. THE AREA SHALL BE LEFT BROOM CLEAN.
10. DEMOLITION - TERMINATING UTILITIES: CONTRACTOR SHALL BE RESPONSIBLE FOR TERMINATING ALL ELECTRICAL, DATA, TELEPHONE AND PLUMBING WHERE ITEMS ARE REMOVED IN ORDER TO LEAVE THE SPACE IN A SAFE AND CODE COMPLIANT MANNER. CONTRACTOR SHALL NOTE TERMINATED UTILITIES ON THE AS BUILT DRAWINGS.
11. CONSTRUCTION WASTE MANAGEMENT: CONTRACTOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION WASTE MANAGEMENT PLAN, QUANTIFYING MATERIAL DIVERSION GOAL OF AT MINIMUM 50% BY WEIGHT OF CONSTRUCTION, DEMOLITION AND PACKAGING DEBRIS BY RECYCLING AND/OR SALVAGING. COORDINATE WITH LANDLORD IF REQUIRED.

CONSTRUCTION PLAN NOTES

- 1. CONTRACTOR TO SUPPLY AND INSTALL/RELOCATE ALL EMERGENCY EQUIPMENT REQUIRED BY CODE SUCH AS, BUT NOT LIMITED TO, FIRE EXTINGUISHERS, SIGNAGE, ETC. NFD TO APPROVE LOCATION OF SAME TO AVOID CONFLICT WITH FURNITURE OR BUILT-IN MILLWORK.
2. GYPSUM WALLBOARD (GWB) LAYOUT: CONTRACTOR SHALL LAY OUT ENTIRE SPACE BY MEANS OF CHALK LINES ON THE FLOOR AND REVIEW WITH LANDLORD/TENANT/NFD FOR CONFIRMATION PRIOR TO CONSTRUCTION OF PARTITIONS. NFD AND TENANT MUST APPROVE PLACEMENT OF PARTITION LOCATION CHALK LINES PRIOR TO CONSTRUCTION.
3. BLOCKING AND FRAMING SHALL BE SOLID, FIRE TREATED, BLOCKING TO MATCH THE DEPTH OF MAIN MEMBERS.
4. GYPSUM WALLBOARD (GWB) MATERIAL: SYNTHETIC GYPSUM WILL BE USED INSTEAD OF VIRGIN GYPSUM WALLBOARD IF IT IS AVAILABLE IN THE LOCAL MARKET.
5. PROVIDE MOISTURE RESISTANT GYPSUM BOARD FOR ALL GYPSUM BOARD IN WET AREAS, SUCH AS BUT NOT LIMITED TO TOILET AND BATHING ROOMS, JANITOR'S CLOSETS WITH MOP SINKS, LAUNDRY, AND DISHWASHING AREAS.
6. ALL GYPSUM BOARD WALL FINISHES TO HAVE MAX 1/2" GAP AT FLOOR SLAB, TYP., U.N.O.
7. ELECTRICAL DEVICES TO BE WHITE. COVER PLATES TO BE WHITE.
8. ALL SWITCHES AS NOTED, ACCESSIBLE IN LOGICAL LOCATION, NOT BEHIND DOORS, MOUNTED 4'-0" O.C. A.F.F., U.N.O.
9. CONTRACTOR TO FURR-OUT COLUMNS, MASONRY WALLS, ETC. AS REQUIRED TO ACCOMMODATE NEW TELEPHONE /ELECTRIC RECEPTACLE BOXES.
10. PLENUM: CONTRACTOR INSTALLATION OF ALL WIRING IS TO BE PROTECTED IN A CODE COMPLIANT MANNER. ALL POWER WIRING IN AIR PLENUM CEILING SPACES SHALL BE ENCASED IN CONDUIT OR OTHER APPROVED MATERIAL AS REQUIRED.
11. WINDOW SILLS: ALL WINDOW SILLS TO MATCH BUILDING STANDARD.

FINISH SCHEDULE - FLOORCOVERING NOTES

- 1. G.C. IS RESPONSIBLE FOR PROVIDING A CLEAN/CLEARED FLOOR, FREE OF HOLES OR DEPRESSIONS AND ACCEPTABLE FOR INSTALLATION OF ALL FLOORCOVERINGS AND UNDERLAYMENTS. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE TENANT/NFD.
2. INSTALLER SHALL BE RESPONSIBLE FOR QUANTITY TAKE-OFF, SUPPLYING, RECEIVING, WAREHOUSING, AND INSPECTING ALL FLOORCOVERINGS AND UNDERLAYMENTS PRIOR TO FABRICATION AND/OR INSTALLATION. ANY MANUFACTURING DEFECT SHALL BE REPORTED TO NFD AND/OR THE CLIENT IMMEDIATELY. INSTALLER IS ALSO RESPONSIBLE FOR RECOMMENDING SEAM LOCATIONS AND PRICING LENGTHS/WIDTHS FOR THE MOST EFFICIENT USE OF GOODS. SUBMIT SEAMING DIAGRAM TO NFD FOR REVIEW AT BID OF PROJECT.
3. PRIOR TO INSTALLATION OF ANY FLOORCOVERING, CHECK SURFACE MATERIAL TO ENSURE ITS STRUCTURAL INTEGRITY, ABSOLUTE DRYNESS, AND THOROUGH CLEANLINESS. REMOVE ALL TRACES OF DIRT, DUST, LOOSE FIBERS, OIL, GREASE, ETC. IF ANY FLOOR TESTING IS REQUIRED, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE TESTING PER THE MANUFACTURER'S GUIDELINES AND PROVIDE ANY FLOOR TREATMENT/ DRYING NECESSARY.
4. THE DRAWINGS INDICATE THE DESIRED AREA OF CARPETED FLOORING. MINOR DEVIATIONS MAY BE REQUIRED DUE TO JOB SITE CONDITIONS AND, PROVIDED NO MAJOR REARRANGEMENTS ARE REQUIRED, WORK SHALL BE COMPLETED WITHOUT ADDITIONAL EXPENSE TO THE OWNER. TENANT/NFD TO APPROVE REQUIRED ALTERATIONS PRIOR TO INSTALLATION.
5. VINYL BASE: SCORE CORNERS AND SMOOTH GLUE TO PROVIDE SMOOTH INSTALLATION. SEAMS TO BE TIGHTLY BUTTED WITHOUT GAPS OR UNEVEN EDGES. INSTALL BASE AFTER PAINT/WALLCOVERING INSTALLATION IS COMPLETE.
6. ADHESIVES, SEALANTS AND SEALANT PRIMERS: FOR ALL INTERIOR APPLICATIONS, INCORPORATE VOC MATERIAL LIMITS OUTLINED IN SOUTH COAST AIR QUALITY MGMT. DISTRICT (SCAQMD) RULE #1168.
7. CONCRETE FLOOR SLAB PREPARATION FOR LVT: CONCRETE FLOOR SLAB TO BE PREPARED AS NECESSARY I.E. GRINDING, CHOPPING OR FLASH PATCHING. PROVIDE LEVELING COAT TO ELIMINATE HEIGHT DIFFERENCES WHERE TRANSITIONAL AREAS OCCUR.
8. CARPET MATERIALS: INSTALL AS INDICATED ON THE DOCUMENTS. CARPET SHALL MEET THE CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM. ALL COLOR SELECTIONS TO BE APPROVED BY NFD.
9. CARPET LAYOUT: ALL CARPET SHALL BE INSTALLED WITH THE GRAIN RUNNING IN THE SAME DIRECTION. ANY SEAMS TO BE KEPT AT A MINIMUM AND AVOIDED AT DOORWAYS PERPENDICULAR TO DOOR. PROVIDE SEAMING DIAGRAMS TO NFD PRIOR TO ORDERING GOODS.
10. CARPET PREPARATION/INSTALLATION: PREPARE CONCRETE FLOOR SLAB TO ENSURE A TOP QUALITY FLAT SMOOTH SURFACE FOR INSTALLATION. PROVIDE LEVELING COAT TO ELIMINATE HEIGHT DIFFERENCES AT FLOOR TRANSITION AREAS AND AS OTHERWISE REQUIRED THROUGHOUT. ALL CARPET SHALL BE INSTALLED BY THE DIRECT GLUE DOWN, U.N.O.

DOOR NOTES

- 1. TENANT SUITE ENTRY AND EXIT DOORS TO BE KEYPED ALIKE.
2. DOORS TO BE MINIMALLY UNDERCUT TO ACCEPT FLOOR COVERING OR FLOOR FINISH.
3. HARDWARE: OBTAIN EACH TYPE OF HARDWARE FROM A SINGLE MANUFACTURER.
4. MATCH BUILDING STANDARD DOOR FRAMES: KNOCK-DOWN "MULTI-USE" HOLLOW METAL STEEL FRAMES ALL FRAMES TO HAVE A MINIMUM OF THREE DOOR SILENCERS.
5. SUITE KEYS: CONTRACTOR TO COORDINATE QUANTITY OF KEYS WITH TENANT AND KEY ON LANDLORD'S MASTER USING LANDLORD'S APPROVED KEYING VENDOR.
6. EXISTING ADA COMPLIANT DOOR HARDWARE SHALL BE REUSED. EXISTING DOOR HARDWARE SHALL RECEIVE NEW CORES AND KEYS, U.N.O.

FINISH SCHEDULE - PAINT NOTES

- 1. ALL FINISHES TO BE BUILDING STANDARD, U.N.O. FINISH SELECTIONS ARE TO BE DETERMINED / APPROVED BY TENANT. NFD IS NOT RESPONSIBLE.
2. ALL SURFACES RECEIVING PAINT TO BE PROPERLY PREPARED AND READY TO RECEIVE PAINTS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. WALLS TO BE SPACKLED (MINIMUM THREE COATS), SANDED AND PRIMED. ALL SURFACES SHALL BE CLEAN, FREE OF DUST, GREASE, OILS OR ANY FOREIGN SUBSTANCE THAT WILL INTERFERE WITH PAINTS.
3. HOLES, CRACKS, AND OTHER IMPERFECTIONS SHALL BE SUITABLY PATCHED AND FILLED WITH A COMPOUND RECOMMENDED BY THE MANUFACTURER OF THE PAINT AND THEN PRIMED. SURFACES SHALL BE BROUGHT TO TRUE, EVEN SURFACES, PRIOR TO PAINTING.
4. PAINTING FOR INTERIOR GYPSUM WALL BOARD: ONE (1) COAT PRIMER AND TWO (2) TOP COATS OF LATEX WALL PAINT (SATIN OR EQUAL). SEE PAINT MATERIAL REQUIREMENTS.
5. PAINTING FOR TRIM AND HOLLOW METAL DOOR FRAMES: ALL TRIM AND HOLLOW METAL DOOR FRAMES TO RECEIVE ONE (1) COAT PRIMER AND TWO (2) TOP COATS - QUALITY GRADE PAINT SPECIFIED ON FINISH SHEET (SEMI-GLOSS). SEE PAINT MATERIAL REQUIREMENTS.
6. REMOVE ALL HARDWARE, HARDWARE ACCESSORIES, MACHINED SURFACES, PLATES, LIGHTING FIXTURES, AND SIMILAR ITEMS IN PLACE AND NOT TO BE FINISHED OR PAINTED, OR PROVIDE SURFACE-APPLIED PROTECTION PRIOR TO SURFACE PREPARATION AND PAINTING OPERATIONS. FOLLOWING COMPLETION OF PAINTING OF EACH SPACE OR AREA, REINSTALL THE REMOVED ITEMS BY WORKERS SKILLED IN THE TRADES INVOLVED. BEFORE PAINTING OR SPRAYING DRYWALL, WASK AND PROTECT ADJACENT FINISH ITEMS: MILLWORK, BATHROOM FIXTURES, ETC. SHALL BE COVERED IF ALREADY INSTALLED.
7. ALL HVAC CEILING COMPONENTS SUCH AS, BUT NOT LIMITED TO, AIR SUPPLY /RETURN GRILLS, REGISTERS, AND DIFFUSERS ARE TO BE CLEANED AND PAINTED TO MATCH CEILING, U.N.O.
8. PAINTED WOOD SURFACES TO BE CLEANED OF ALL DIRT, OIL, OR OTHER FOREIGN SUBSTANCES AS REQUIRED. SANDPAPER SMOOTH THOSE FINISHED SURFACES EXPOSED TO VIEW, AND DUST OFF, SCRAPE AND CLEAN KNOTS AND APPLY A THIN COAT OF WHITE SHELLAC BEFORE APPLICATION OF THE PRIMING COAT. AFTER PRIMING, FILL HOLES WITH PUTTY OR PLASTIC WOOD FILLER, SANDPAPER SMOOTH WHEN DRY.
9. REMOVE ALL MISAPPLIED PAINT FROM ADJACENT SURFACES.
10. ALL BUILDING COLUMNS SHALL BE THE SAME FINISH AS THE ROOM FINISH, U.N.O.
11. MECHANICAL PIPING DUCTWORK AND SPRINKLERS: THESE WILL NOT BE PAINTED, U.N.O.
12. PAINTING MATERIALS: AS INDICATED HEREIN AND AS PROVIDED ON DOCUMENTS. DO NOT EXCEED VOLATILE ORGANIC COMPOUNDS (VOC) LIMIT AS PER CURRENT VERSION OF GREEN SEAL STANDARD GS-11 (150 GIL OR LESS FOR SEMI-GLOSS, 50 GIL FOR FLAT).

POSSIBLE ABBREVIATIONS:

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes entries like A.F.F. - ABOVE FINISHED FLOOR, BLDG. STD. - BUILDING STANDARD, N.T.S. - NOT IN CONTRACT, etc.

REFLECTED CEILING PLAN NOTES

- 1. WHERE NECESSARY TO CUT CEILING TILES, ALL WALL/CEILING AND FASCIA/CEILING JUNCTIONS SHALL BE FURNISHED WITH AN ANGLE COVE MOLDING TO MATCH GRID.
2. LIGHT FIXTURE LOCATIONS AND QUANTITIES ARE INTENDED TO PROVIDE GENERAL OVERALL ILLUMINATION ONLY. SPECIFIC FURNITURE, EQUIPMENT, AND TASK REQUIREMENTS HAVE NOT BEEN ADDRESSED.
3. LIGHT FIXTURES IN A DEFINED SPACE WHICH ARE NOT KEYPED ARE OPERATED BY A MOTION ACTIVATED BUILDING STANDARD SWITCH LOCATED NEAREST TO THE DOORWAY.
4. LOCATION OF SPRINKLER HEADS TAKES PRECEDENCE OVER THAT OF LIGHT FIXTURES. CONTRACTOR TO MAKE FIELD ADJUSTMENTS WITH TENANT/NFD APPROVAL.
5. CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF EXISTING AND/OR THE SUPPLY AND INSTALLATION OF HVAC EQUIPMENT, AS REQUIRED FOR PROPER FUNCTION OF SYSTEM IN SPACE AND IN ACCORDANCE WITH APPLICABLE CODE.
6. CONTRACTOR TO NOTIFY NFD SHOULD MECHANICAL OR STRUCTURAL MEMBERS, ETC. INHIBIT PROPOSED LOCATIONS OF LIGHT FIXTURES.
7. LIGHT SWITCHES: CONTRACTOR TO INSTALL MOTION SENSOR LIGHTING OR OVER-RIDE SWITCHES TIED INTO THE BUILDING AUTOMATION CONTROL SYSTEM. INSTALLATION ASSUMPTIONS ARE (1) ONE PER 450 NET RENTABLE SQUARE FEET OR IN ACCORDANCE WITH DOCUMENTS.
8. EMERGENCY LIGHTING: CONTRACTOR SHALL PROVIDE AND INSTALL AS LISTED IN THE ENGINEER DRAWINGS. IF ENGINEER DRAWINGS ARE NOT PROVIDED, MATCH BUILDING STANDARD. ALL EQUIPMENT SHALL BE TESTED TO ENSURE PROPER WORKING ORDER IN PREPARATION OF ELECTRICAL INSPECTION.
9. ** NOTE AT SOME EXISTING BUILDINGS, CONTRACTOR TO INSTALL ALL NECESSARY 12-VOLT BATTERY PACKS, THE MODEL NUMBER AND SPECIFIC BUILDING STANDARD REQUIREMENT SHALL BE PROVIDED TO CONTRACTOR BY LANDLORD.
10. PROVIDE TEMPORARY SUPPORTS FOR CEILING MOUNTED AIR SYSTEM INLETS AND OUTLETS, FLEXIBLE DUCTWORK AND ACCESSORIES, AS REQUIRED FOR INSTALLATION OF CEILING GRID AND TILES.

MECHANICAL NOTES

- 1. ALL SPACE SHALL BE ABLE TO MAINTAIN A COMFORT LEVEL YEAR ROUND BASED ON ASHRAE DESIGN STANDARDS DURING NORMAL BUSINESS HOURS AND BE APPROVED BY THE LANDLORD.
2. ALL DUCTWORK, DIFFUSERS, RETURNS, AND ALL OTHER COMPONENT PARTS SHALL BE SUPPLIED AND INSTALLED TO MEET ALL BUILDING, FIRE, ELECTRICAL AND ADA REQUIREMENTS.
3. ALL SPACES SHALL BE BALANCED FOR HEATING AND COOLING EFFICIENCY AND MAXIMUM COMFORT. CONTRACTOR TO PROVIDE LANDLORD WITH CERTIFIED BALANCING REPORT PREPARED BY N.E.B.B. CERTIFIED CONTRACTOR.
4. ALL ENCLOSED ROOMS TO HAVE AT LEAST ONE SUPPLY AIR DIFFUSER AND ONE RETURN (EXCLUDING CLOSETS). ALL SQUARE DIFFUSERS MUST BE LOWVERED FACED. UNDERCUT DOORS MAY BE CONSIDERED A RETURN DEPENDING ON THE CARPET WEIGHT. ALL TRANSFER GRILLS TO HAVE TWO 90 DEGREE ANGLES BETWEEN OPENINGS AND MUST BE INSULATED.
5. WIRING PROVIDED IN PLENUM-RETURN SYSTEMS TO FULLY COMPLY WITH NECA CODES.
6. FOR NEW UNIT INSTALLATION, ROOFING AND INSTALLATION OF A NEW ROOF CURB IS INCLUDED.
7. UNITS TO BE TESTED AND PROPER ZONING CONFIRMED. THERMOSTATS OR BLDG. CONTROLS SHALL BE PROGRAMMED INCLUDING UPDATES OF ANY GRAPHICS.

MILLWORK NOTES

- 1. COORDINATE LOCATION AND QUANTITY OF COUNTER GROMMETS ON SITE. GROMMETS SHALL BE 2 1/2" PLASTIC TO MATCH COUNTERTOP COLOR. SUBMIT SPECIFICATION CUT SHEETS TO DESIGNER FOR APPROVAL.
2. ALL PLASTIC LAMINATE COUNTERTOPS SHALL HAVE MATCHING EDGE-BANDING. PVC EDGING WILL NOT BE ACCEPTED U.N.O.
3. ALL DIMENSIONS, EXCEPT HOLDS, ARE APPROXIMATE AND MUST BE VERIFIED ON SITE BY CONTRACTOR PRIOR TO FABRICATION.
4. THE FIXTURE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE CERTAIN THAT FIXTURE WORK FURNISHINGS AND ARCHITECTURAL WOODWORK ARE NOT DELIVERED UNTIL IT CAN BE INSTALLED IN ITS PERMANENT LOCATION. AREAS ARE TO BE SUFFICIENTLY DRY SO THAT ITEMS WILL NOT BE DAMAGED BY EXCESSIVE CHANGES TO MOISTURE CONTENT. INSTALLATION TO BE COORDINATED WITH ROUGH-IN PLUMBING, IF APPLICABLE, AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
5. FINISH CARPENTRY SHALL BE ACCURATELY MILLED WITH CLEAN CUT PROFILES OR LINES. ALL MATERIAL SHALL BE SANDED SMOOTH. JOINTS SHALL BE MORTISED, TENONED, SPLINED, HOUSED, GLUED, BLOCKED, SCREWED, OR BOLTED TOGETHER IN THE BEST MANNER SO AS TO PREVENT SWELLING OR SHRINKAGE AND TO ENSURE THE WORK REMAINS IN PLACE WITHOUT OPENING OF JOINTS, WYING, OR SPLITTING.
6. ALL MILLWORK FINISHES SHALL BE FITTED AND SCRIBED TO WALLS, PLASTER, GYPSUM BOARD, OR OTHER FINISH WORK SO AS NOT TO INJURE THE SURFACES IN ANY WAY. ALL NAILHEADS SHALL BE SET AND FILLED TO MATCH FINAL FINISH.
7. WHERE BACKSPLASHES HAVE NOT BEEN INDICATED, CONTRACTOR TO USE SITE FABRICATED TEMPLATES TO ENSURE TIGHT FIT TO PARTITIONS AND STRUCTURE. CAULKED SEAM SHOULD NOT BE NECESSARY.
8. NO METAL STRIPS SHALL BE USED ON ANY MILLWORK BACKSPLASHES. ANY SEAMS BETWEEN COUNTERTOP AND BACKSPLASH SHALL BE CLEAR CAULKED. ANY SEAMS BETWEEN THE BACKSPLASH AND WALLS SHALL BE CLEAR CAULKED.
9. ALL PLASTIC LAMINATE COUNTERTOPS ARE TO BE PATTERNED MATCHED AT ALL SEAMS.
10. ALL EXPOSED HORIZONTAL PLASTIC LAMINATE SURFACES SHALL BE OF HIGH PRESSURE LAMINATE (NOMINAL .050 THICKNESS) AND INCLUDE A SUITABLE BACKING SHEET, U.N.O. ALL VERTICAL PLASTIC LAMINATE SURFACES TO BE VERTICAL GRADE QUALITY (NOMINAL .040 THICKNESS), SELF EDGED, U.N.O. (DIFFERENT COMPANIES MAY HAVE DIFFERENT THICKNESSES.)
11. PLASTIC LAMINATES SHALL BE BONDED USING WATER RESISTANT ADHESIVE TO A CORE OF PARTICLE BOARD OR HARDWOOD FACED VENEER CORE PLYWOOD, ALL TOPS IN WHICH SINKS, LAVATORIES, OR HIGH MOISTURE AREAS OCCUR MUST HAVE A CORE OF EXTERIOR GRADE HARDWOOD FACED VENEER CORE PLYWOOD OR PHENOLIC RESIN PARTICLE BOARD.
12. SOLID SURFACES USED THROUGHOUT SCOPE OF WORK SHALL BE INSTALLED AND SEALED PER MANUFACTURER INSTRUCTIONS.
13. COLOR MATCH ALL JOINT ADHESIVES AND SILICONE SEALANTS AT SOLID SURFACE COUNTERTOPS.
14. COORDINATE AND FIELD VERIFY ALL PLUMBING/ELECTRICAL REQUIREMENTS IN COUNTERTOP PRIOR TO INSTALLATION. HOLES IN SOLID SURFACE COUNTERTOPS ARE TO BE DRILLED ON SITE DURING INSTALLATION.
15. DUE TO ELEVATOR CAB LIMITATIONS, CONTRACTOR TO VERIFY /COORDINATE ALL ITEMS TO ENSURE DELIVERY TO PROPER LOCATION.
16. WHEN WALL CABINETS ARE INSTALLED HIGHER THAN 18" ABOVE COUNTERTOP, MILLWORKER TO PROVIDE FILLER STRIP (TO MATCH CABINETRY) ON THE UNDERSIDE OF THE CABINET TO RETURN TO WALL.
17. THE SYMBOL → INDICATES DIRECTION OF LAMINATE GRAIN INSTALLATION.
18. ALL BACKSPLASH & COUNTERTOP SEAMS TO ALIGN.
19. ALL CABINET DRAWER / DOOR GLIDES AND HINGES TO BE SOFT CLOSE.

SPECIALTY NOTES:

- 1. FIRE PROTECTION: PROVIDE ALL ALARMS, HORN STROBES AND BELLS (INCLUDING REPLACEMENT OF EXISTING PRODUCT) TO COMPLY WITH NFPA ADA AND LOCAL FIRE MARSHAL AND CODE STANDARDS. LANDLORD'S AUTHORIZED CONTRACTOR TO BE USED FOR THE ABOVE WORK. ALL INSTALLATION SHALL BE DIRECT WIRING FROM TENANT'S SPACE TO THE BUILDING MAIN ELECTRICAL ROOM OR OTHER DESIGNATED CENTRAL AREA. LANDLORD REQUIRES (48) FORTY-EIGHT HOURS NOTICE TO PUT THE BUILDING ON TEST FOR INSTALLATION PURPOSES.
2. SPRINKLER: RELOCATE OR ADD A MINIMUM OF ONE SPRINKLER HEAD PER 500 RENTABLE SQUARE FEET OR FOLLOW DOCUMENTS AS SHOWN TO MEET INSURANCE REQUIREMENTS. ALL HEAD LOCATIONS SHALL MEET LOW AND HIGH HAZARD.
3. EXISTING SPRINKLER SYSTEM TO REMAIN. REFER TO CONSTRUCTION DOCUMENTS FOR UNITS OF WORK AND WALL/PARTITION LAYOUTS. COORDINATE SPRINKLER LOCATIONS WITH LOCATIONS OF NEW WALLS, LIGHTS, DIFFUSERS AND DUCTWORK. RELOCATE EXISTING SPRINKLERS. ADD NEW SPRINKLERS (TO MATCH EXISTING) AND PIPING, AS REQUIRED FOR THE LAYOUT. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA AND COUNTY FIRE REGULATIONS.
4. ALL RESTROOM AND ADA SIGNAGE REQUIREMENTS AND FINISHES SHALL BE COORDINATED WITH THE DESIGNER. VERIFY IN FIELD ALL LOCATIONS AND MOUNTING HEIGHTS WITH FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

RULES AND REGULATIONS

- 1. CONTRACTOR IS NOT PERMITTED TO USE ANY VACANT SPACE FOR STORAGE OR TO PERFORM ANY WORK.
2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUB-CONTRACTORS ACCESS TO SPACE.
3. THERE IS NO SMOKING, FOUL LANGUAGE OR LOUD MUSIC PERMITTED IN THE BLDG, CONSTRUCTION SPACE OR PARKING AREA.
4. CONTRACTOR MUST PARK ALL VEHICLES AT A LOCATION DESIGNATED BY LANDLORD.
5. CONTRACTOR MUST OBTAIN LANDLORD'S APPROVAL FOR DUMPSTER / PORTABLE-POTTY LOCATION AND POTENTIAL SCREENING PRIOR TO PLACEMENT AND USE.
6. ALL UTILITY WIRING AND PIPING MUST BE RUN THROUGH THE INTERIOR OF THE BUILDING, NO WIRING CAN BE EXPOSED ON EITHER THE EXTERIOR BUILDING WALLS OR ROOF.
7. CONTRACTOR TO PROVIDE ANY LEFTOVER MATERIALS (I.E. PAINT, CARPET) DIRECTLY TO TENANT FOR STORAGE WITHIN THEIR SPACE.



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PROFESSIONAL CERTIFICATION.
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GENERAL NOTES

UMMS PEDIATRICS
1104 KENILWORTH DRIVE
SUITE 400
TOWSON, MD 21204

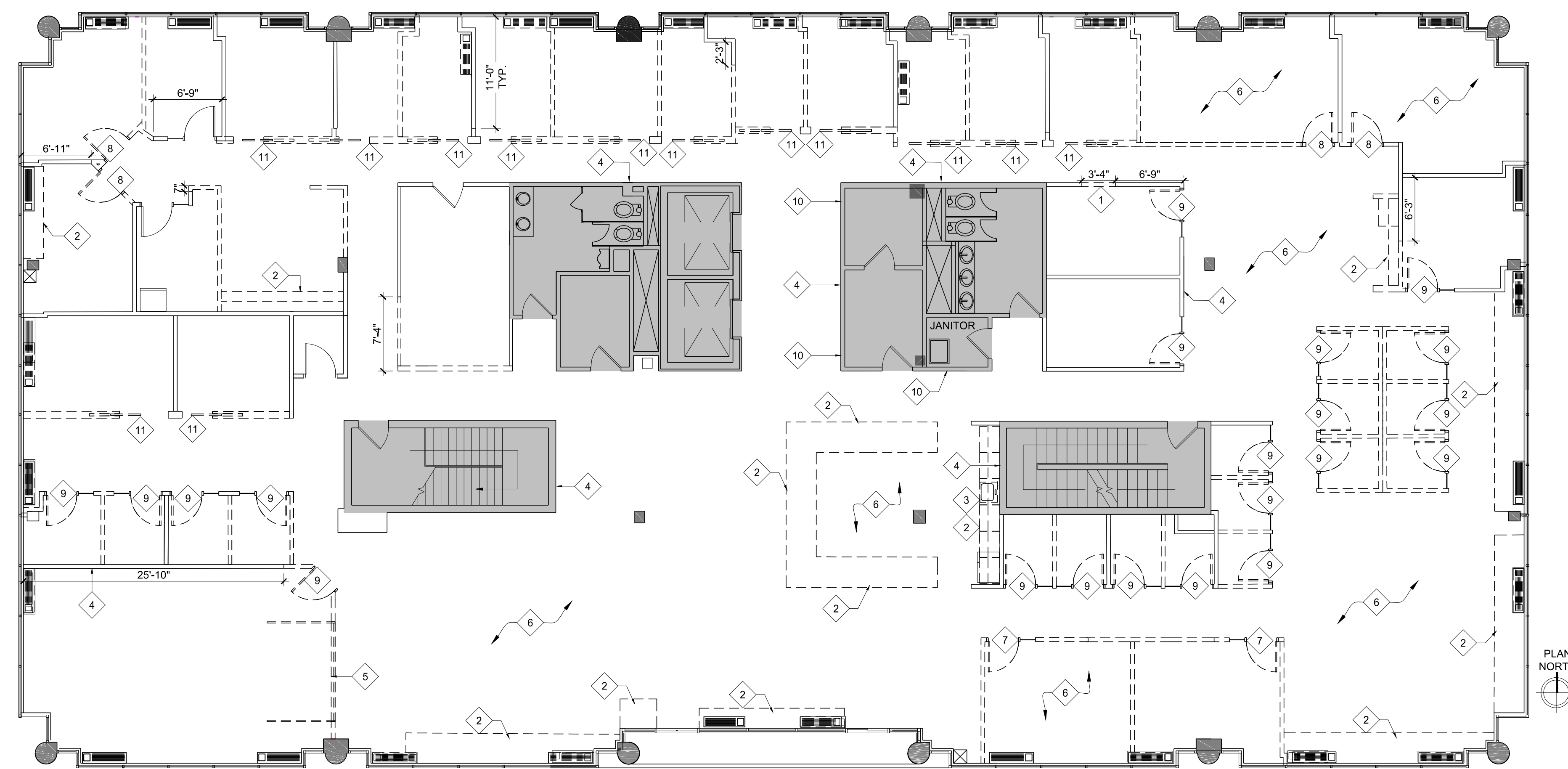
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ISSUE DESCRIPTION:
Table with 4 columns: #, DATE, DESCRIPTION, BY. Includes entries for revisions.

DATE: 3/2/2026
SCALE: AS NOTED
DRAWN BY: JA
DESIGN BY: EP
CHECKED BY: EP
PROJECT #: UZ065

ID-2



1 DEMOLITION PLAN
03-11-20

DEMOLITION PLAN LEGEND

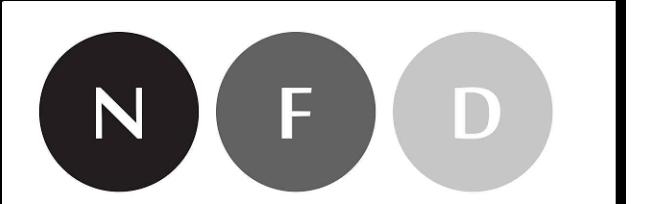
SYMBOL	DESCRIPTION
	EXISTING DEMISING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED

DRAWING NOTES:

- DEMOLITION PLAN**
- 1 REMOVE PORTION OF EXISTING WALL FOR NEW DOOR OPENING AND COORDINATE SIZE/ HEIGHT WITH CONSTRUCTION SHEET.
 - 2 REMOVE EXISTING MILLWORK & ALL ASSOCIATED ITEMS AND DISPOSE OF ACCORDINGLY.
 - 3 REMOVE EXISTING PLUMBING FIXTURES WITHIN THIS AREA; MAINTAIN ALL EXISTING WATERLINES FOR REUSE. SEE CONSTRUCTION PLAN FOR MORE INFORMATION.
 - 4 REMOVE EXISTING BRICK/ WOOD VENEER AT THIS LOCATION. PATCH AND REPAIR WALL AS NEEDED FOR NEW FINISHES. ALIGN WITH EXISTING DRYWALL FOR FLUSH FINISH.
 - 5 REMOVE EXISTING GARAGE DOOR & AND ALL ASSOCIATED ITEMS. CONSULT WITH BUILDING MANAGER FOR STORAGE LOCATION OR DISPOSAL. PATCH AREA AS NEEDED FOR NEW FINISHES.
 - 6 REMOVE EXISTING FLOOR CORE DRILL(S) & ASSOCIATED ITEMS, DEMO BACK TO SOURCE AND LABEL IF NECESSARY. PATCH & REPAIR FLOOR AS NEEDED. PREPARE FOR NEW FLOORING MATERIAL; SEE FINISH SHEET FOR MORE INFORMATION.
 - 7 REMOVE EXISTING DOOR, SIDELIGHT & INTEGRAL FRAME, SAVE FOR REUSE. REFER TO CONSTRUCTION PLAN FOR NEW LOCATION.
 - 8 REMOVE EXISTING DOOR(S) & FRAME AND SAVE FOR REUSE. REFER TO CONSTRUCTION PLAN FOR NEW LOCATION.
 - 9 REMOVE EXISTING DOOR, SIDELIGHT & INTEGRAL FRAME, AND CONSULT WITH BUILDING MANAGER FOR STORAGE LOCATION OR STORAGE LOCATION.
 - 10 REMOVE EXISTING BLANK PLATES THIS WALL AND PATCH/ REPAIR WALL TO RECEIVE NEW FINISHES.
 - 11 REMOVE EXISTING POCKET DOORS AND FRAMES AND COORDINATE STORAGE OR DISPOSAL WITH BUILDING MANAGER.

GENERAL NOTES:

- DEMOLITION PLAN**
- A. PATCH AND REPAIR ALL COLUMNS AND / OR EXISTING CONSTRUCTION FACES TO MATCH EXISTING CONDITIONS; PREPARE SURFACES TO RECEIVE NEW FINISHES WHERE DEMOLITION HAS OCCURRED.
 - B. REMOVE ALL EXISTING FINISH FLOORING, WALL FINISHES AND ADHESIVES WITHIN AREA OF WORK. U.N.O. PATCH, REPAIR, CLEAN AND PREPARE EXISTING SURFACES TO RECEIVE NEW FINISHES. LEVEL AND / OR CLEAN SLAB AS REQUIRED TO RECEIVE NEW FLOORING MATERIALS. REFER TO FINISH SHEET FOR NEW FINISH MATERIALS AND LOCATIONS.
 - C. REMOVE ALL WALLS, DOORS, BULKHEADS AND OTHER ELEMENTS INDICATED WITH A DASHED LINE. PATCH AND REPAIR WALLS AND FLOORS WHERE DEMOLITION HAS OCCURRED TO MATCH EXISTING CONDITIONS.
 - D. SEE REFLECTED CEILING SHEET FOR EXTENT OF CEILING WORK.
 - E. PROTECT ALL EXISTING / ADJACENT AREAS FROM DUST AND DEBRIS DURING DEMOLITION/ CONSTRUCTION. PROVIDE A DUST / SOUND BARRIER BETWEEN AREAS STILL IN OPERATION AND CONSTRUCTION AREAS. CONTRACTOR TO INFORM / CONSULT WITH LANDLORD / OWNER WHEN DEMOLITION / CONSTRUCTION MAY DISTURB SURROUNDING TENANTS.
 - F. ANY CIRCUITS AVAILABLE TO NEW BUILD OUT THAT ARE NOT USED ARE TO BE DEMOLISHED BACK TO THE PANEL AND THE SPACE MARKED AS SPARE.
 - G. ALL UNMARKED DOORS ON PLAN ARE EXISTING TO REMAIN.
 - H. ENGINEERING DRAWING(S) SUPERCEDE INTERIOR DESIGN DRAWING(S) U.N.O. NOTIFY NFD IF THERE ARE DISCREPANCIES PRIOR TO DEMOLITION.
 - I. REMOVE ALL BLANK PLATES FROM EXISTING WALLS AND PATCH / REPAIR DRYWALL TO RECEIVE NEW FINISHES.
 - M. **BASE BID:**
EXISTING BLINDS TO REMAIN. PROVIDE NEW ROLLER SHADES ON THE INTERIOR SIDE OF EXISTING BLINDS.
ADD ALTERNATE #5:
REMOVE ALL EXISTING BLINDS AND PROVIDE NEW ROLLER SHADES (WT-1) THROUGHOUT U.N.O. SEE FINISH SCHEDULE FOR MORE INFORMATION. PENDING LANDLORD'S APPROVAL.
 - N. REUSE ALL EXISTING DOORS AND FRAMES IF POSSIBLE.



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BRIAN CHRISTOPHER OLSEN

UMMS PEDIATRICS
1104 KENILWORTH DRIVE
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DEMOLITION PLAN & NOTES

APPROVALS:

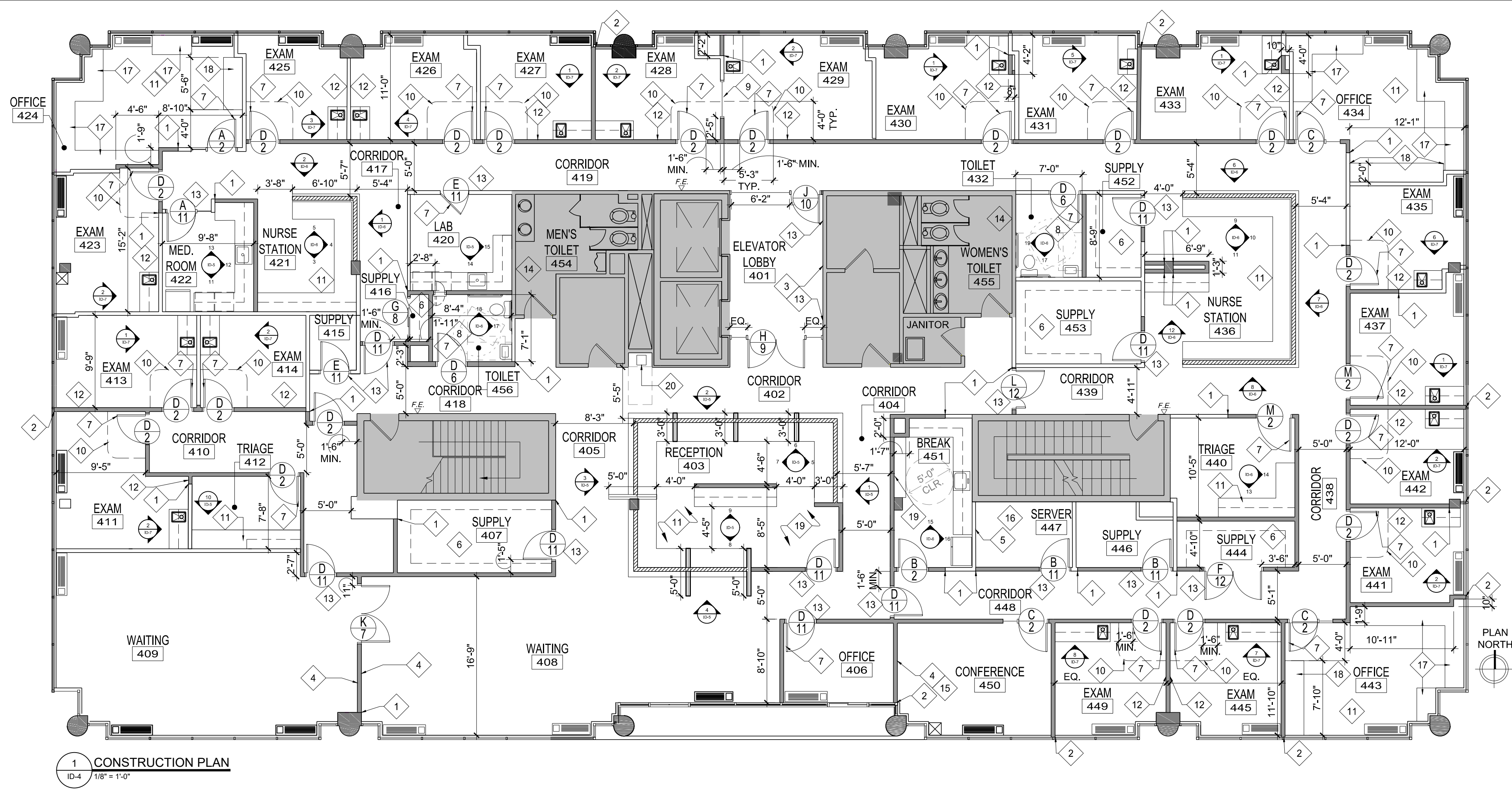
DATE	BY

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DATE: 3/2/2026
SCALE: AS NOTED
DRAWN BY: JA
DESIGN BY: EP
CHECKED BY: EP
PROJECT # UZ065



CONSTRUCTION PLAN LEGEND

SYMBOL	DESCRIPTION
	PROJECT NORTH DESIGNATION
	DOOR TYPE DOOR REFERENCE HARDWARE REFERENCE
	ROOM NAME/# ROOM NAME ROOM NUMBER
	ELEVATION TAG ELEVATION NUMBER ELEVATION LOCATION
	SECTION TAG SECTION NUMBER SECTION LOCATION
	BUILDING STANDARD SURFACE MOUNTED FIRE EXTINGUISHER CABINET
	LINE OF BULKHEAD
	EXISTING PARTITION TO REMAIN
	NEW PARTITION TYPE - SEE PARTITION TYPE P1
	REVISION DESIGNATOR

DRAWING NOTES:

- ALIGN FACE OF NEW DRYWALL PARTITION WITH FACE OF EXISTING COLUMN OR EXISTING NEW CONSTRUCTION TO CREATE A SMOOTH TRANSITION.
- ALIGN PARTITION WITH CENTER OF WINDOW MULLION, SEE DETAIL SHEET.
- PROVIDE FIRE RETARDANT TREATED BLOCKING IN THIS WALL FOR TENANT PROVIDED LOGO. VERIFY LOCATION AND HEIGHT WITH TENANT. CONTRACTOR TO INSTALL LOGO.
- PROVIDE FIRE RETARDANT TREATED BLOCKING IN WALL FOR TENANT PROVIDED TELEVISION. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH TENANT.
- PROVIDE AND INSTALL 4"x6" FIRE RETARDANT TREATED PLYWOOD FOR TENANT SUPPLIED PHONE PANEL / SERVER(S). VERIFY LOCATION WITH TENANT PRIOR TO INSTALLATION - COORDINATE WITH ENGINEERING DRAWINGS.
- PROVIDE AND INSTALL 12"D. WHITE MELAMINE ADJUSTABLE SHELVING ON HEAVY DUTY STANDARDS AND BRACKETS FROM 24" A.F.F. TO 24" BELOW FINISHED CEILING IN 12" INCREMENTS.
- CONTRACTOR TO PROVIDE AND INSTALL COAT HOOK ON BACK OF INTERIOR SIDE OF DOOR. COAT HOOK TO BE: AMEROCK SINGLE PILLTOP COAT HOOK, AME-98240 IN SATIN NICKEL FINISH.
- PROVIDE SPECIFIED CLOSER ON PULL SIDE OF DOOR.
- CONTRACTOR TO PROVIDE AND INSTALL INPRO CUBICAL TRACK, OPTITRAC, CLEAR ANODIZED ALUMINUM AND CURTAIN WITH 1/8" MINIMUM OF MESH AT THE TOP. SEE FINISH PLAN FOR SPECIFICATION. SEE EXAM 429 FOR TYPICAL DIMENSIONS.
- PROVIDE GROMMET HOLE AND COVER FOR RECEPTACLE ACCESS. TENANT TO LOCATE IN FIELD PRIOR TO INSTALLATION.
- PROVIDE FIRE RETARDANT TREATED BLOCKING IN THIS WALL FOR TENANT PROVIDED WALL MOUNTED PC. VERIFY LOCATION AND HEIGHT WITH TENANT IN FIELD. COORDINATE SPECIFICATION WITH TENANT.
- PROVIDE RING AND STRING FOR TENANT PROVIDED CARD READER.
- PROVIDE FIRE RETARDANT TREATED BLOCKING IN WALL FOR BABY CHANGING STATION. SEE EQUIPMENT SCHEDULE FOR SPECIFICATION.
- CONTRACTOR TO PROVIDE FLOOR CORE DRILL IN THIS ROOM. GC TO VERIFY EXACT LOCATION WITH TENANT / TENANT'S FURNITURE VENDOR. PROVIDE POWER AND CONDUIT / RING & STRING FOR VENDOR PROVIDED DATA, CABLE & HDMI IN WALL AT 66" A.F.F. FOR TENANT PROVIDED FLAT SCREEN TELEVISION. CENTER ON WALL. POWER AND CABLE TO RUN FROM WALL IN 1/2" CONDUIT TO FLOOR CORE DRILL.
- SERVER ROOM TO HAVE 24/7 COOLING. SEE ENGINEER DRAWINGS FOR MORE INFORMATION.
- CONTRACTOR TO PROVIDE AND INSTALL NEW 2" DEEP PLASTIC LAMINATE COUNTERTOP WITH SELF EDGE AT 2-9/16" A.F.F. SCRIBE TO WALL FINISH ALL EXPOSED SIDES. SUPPORT WORK TOP WITH SPECIFIED L-BRACKETS RAKKS COUNTER SUPPORT BRACKET. EH1818FM RECESSED MOUNTED. CENTER ON EVERY OTHER STUD. MAXIMUM DISTANCE BETWEEN SUPPORTS = 32" COUNTERTOP SURFACE. SEE PLAN FOR MORE INFORMATION.
- CONTRACTOR TO PROVIDE AND INSTALL NEW 2" DEEP PLASTIC LAMINATE COUNTERTOP WITH SELF EDGE AT 2-9/16" A.F.F. SCRIBE TO WALL FINISH ALL EXPOSED SIDES. SUPPORT WORK TOP WITH SPECIFIED L-BRACKETS RAKKS COUNTER SUPPORT BRACKET. EH1818FM RECESSED MOUNTED. CENTER ON EVERY OTHER STUD. MAXIMUM DISTANCE BETWEEN SUPPORTS = 32" COUNTERTOP SURFACE. SEE PLAN FOR MORE INFORMATION.
- CONTRACTOR TO INSTALL NEW TENANT PROVIDED LOCKERS. CONTRACTOR TO COORDINATE WITH TENANT.
- PROVIDE NEW ADA DRINKING FOUNTAIN WITH BOTTLE FILL.
- COORDINATE EXACT UPS LOCATION AND PLUG IN THIS ROOM WITH CLIENT IN FIELD.

GENERAL NOTES:

- PROTECT ALL EXISTING / ADJACENT AREAS FROM DUST AND DEBRIS DURING DEMOLITION / CONSTRUCTION. PROVIDE A DUST / SOUND BARRIER BETWEEN AREAS STILL IN OPERATION AND CONSTRUCTION AREAS. CONTRACTOR TO INFORM / CONSULT WITH LANDLORD / OWNER WHEN DEMOLITION / CONSTRUCTION MAY DISTURB SURROUNDING TENANTS.
- PATCH, REPAIR AND PREPARE EXISTING SURFACES TO RECEIVE NEW FINISHES. REFER TO FINISH SHEET FOR NEW FINISH MATERIALS AND LOCATIONS.
- ALL NEW WALLS ARE WALL TYPE P1 U.N.O. SEE PARTITION DETAILS.
- MATCH EXISTING ADJACENT CONSTRUCTION - CONTRACTOR TO DECREASE STUD SIZE AND/OR DRYWALL THICKNESS TO ACCOMMODATE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING WALLS THROUGHOUT. ENSURE WALL STILL MEETS PROPER INSTALLATION CRITERIA.
- REFER TO REFLECTED CEILING PLAN FOR EXTENT OF CEILING WORK.
- REFER TO ELEVATIONS AND DETAILS FOR DIMENSIONS AND OTHER INFORMATION NOT INDICATED ON PLAN.
- DETAIL DRAWINGS, SECTIONS AND ELEVATIONS ARE FOR DESIGN INTENT ONLY. SUBMIT SHOP DRAWINGS OF ALL MILLWORK TO NFD FOR APPROVAL PRIOR TO ORDERING MATERIALS AND FABRICATION. NFD WILL NOT BE HELD RESPONSIBLE IF SHOP DRAWINGS / MILLWORK SUBMITTALS ARE NOT SUBMITTED.
- PROVIDE FIRE TREATED BLOCKING IN WALL FOR ALL NEW MILLWORK SHOWN ON PLAN. SEE ELEVATIONS FOR FURTHER INFORMATION.
- ENGINEERING DRAWING(S) SUPERCEDE INTERIOR DESIGN DRAWING(S) U.N.O. NOTIFY NFD IF THERE ARE DISCREPANCIES PRIOR TO CONSTRUCTION.
- THIS DRAWING HAS NOT BEEN FIELD VERIFIED. THIS DRAWING IS MEANT FOR INFORMATIONAL AND REFERENCE PURPOSES ONLY. ALL SITE CONDITIONS, INCLUDING FIELD DIMENSIONS, MUST BE FIELD VERIFIED BY YOU OR ANY OTHER PARTIES CONCERNED.
- SQUARE FOOTAGE SIZES AND DIMENSIONS ARE APPROXIMATE.
- GENERAL CONTRACTOR WILL PROVIDE AS BUILT DRAWINGS AND ALL FINAL INSPECTION CERTIFICATES, INCLUDING FIRE MARSHAL INSPECTIONS AND REPORTS TO THE LANDLORDS CONSTRUCTION PROJECT MANAGER UPON COMPLETION OF THE TENANT BUILD OUT.
- DIMENSIONS LOCATING DOORS ARE TO INSIDE EDGE OF JAMB. DOOR FRAMES TO BE SET 6" FROM ADJACENT WALL U.N.O. OR DIMENSIONED.
- ALL UNMARKED DOORS ON PLAN ARE EXISTING TO REMAIN OR NOT IN THE SCOPE OF WORK. U.N.O.
- ALL SPECIFIED WATERLINES ARE TO BE APPROVED BY THE TENANT AND ARE TO BE MOUNTED IN THE WALL, NOT COUNTERS.
- COORDINATE INSTALLATION OF ITEMS AND EQUIPMENT SUPPLIED BY OWNER.
- EJECTOR PUMPS ARE NOT TO BE USED IN THE SUITE UNLESS WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE TENANT.
- PER KARI'S LAW, CONTRACTOR TO COORDINATE WITH TENANT'S PHONE VENDOR TO PROVIDE ONE (1) PRE CONFIGURED PHONE LINE AT THE RECEPTION DESK ABLE TO DIAL 911 WITHOUT ANY PREFIX OR CODE PRIOR TO FINAL INSPECTION.
- CONTRACTOR TO REPLACE EXISTING WINDOW BLINDS SHADES. SEE SPECIFICATION ON FINISH PLAN.
- CONTRACTOR TO COORDINATE NEW EXISTING PTAC UNIT LOCATIONS WITH ENGINEERING DRAWINGS. PATCH REPAIR WALLS AND FLOORS AT ALL UNITS BEING REMOVED AS REQUIRED.
- ALL PENETRATIONS TO BE FIRE CALKED.
- REUSE EXISTING DOORS AND FRAMES IF POSSIBLE.
- BASE BID: ALL EXISTING WALLS TO INSULATED, TO MATCH PARTITION TYPE P1. ADD ALTERNATE #2A. ALL EXISTING WALLS TO MATCH PARTITION TYPE P2.
- BASE BID: ALL NEW WALLS TO BE PARTITION TYPE P1. ADD ALTERNATE #2B. ALL NEW WALLS TO BE PARTITION TYPE P2.
- ADD ALTERNATE #3: REPLACE ALL NEW AND EXISTING DOORS WITH SOLID CORE STAIN GRADE PRE-FINISHED DOORS BY MASONITE OR EQUAL. STAIN T.B.D.

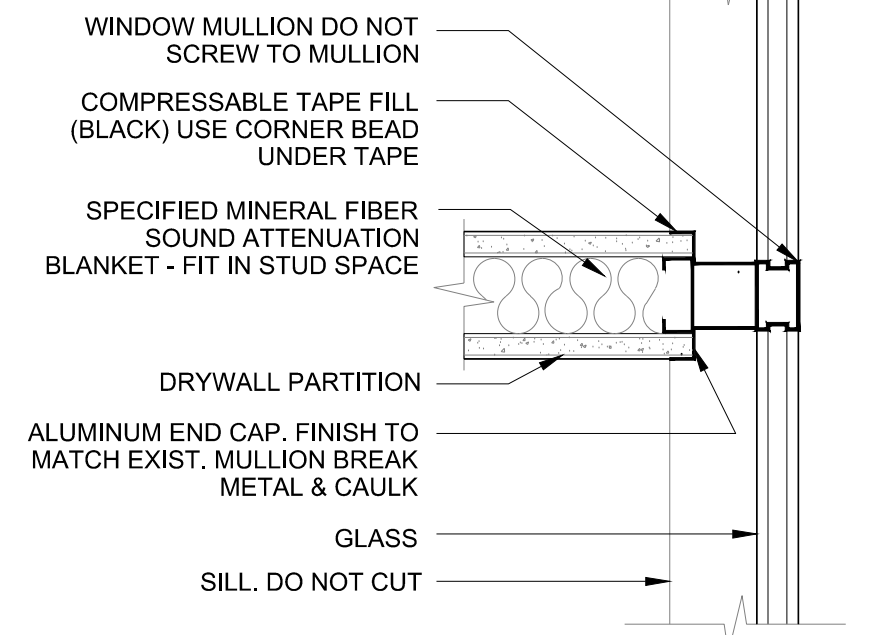
DOOR AND FRAME SCHEDULE

TYPE	MATERIAL	DOOR	FRAME	REMARKS
A	EXISTING TO REMAIN	3'-0" 7'-0"	PAINT H.M. PAINT	EXISTING DOOR AND INTEGRAL FRAME AND SIDELIGHT TO REMAIN- SEE ADD. ALT. #3
B	RELOCATED	3'-0" 7'-0"	PAINT H.M. PAINT	RELOCATE EXISTING DOOR AND HOLLOW METAL FRAME-SEE ADD. ALT. #3
C	RELOCATED	3'-0" 7'-0"	PAINT H.M. PAINT	RELOCATED DOOR AND INTEGRAL FRAME AND SIDELIGHT-SEE ADD. ALT. #3
D	SC. WOOD	3'-0" 7'-0"	PAINT H.M. PAINT	NEW SOLID CORE, PAINT GRADE WOOD DOOR AND HOLLOW METAL FRAME
E	EXISTING TO REMAIN	3'-0" 7'-0"	PAINT H.M. PAINT	EXISTING DOOR AND HOLLOW METAL FRAME TO REMAIN- SEE ADD. ALT. #3
F	SC. WOOD	(2) 3'-0" 7'-0"	PAINT H.M. PAINT	NEW SOLID CORE PAINT GRADE DOOR(S) AND HOLLOW METAL FRAME
G	SC. WOOD	(2) 2'-0" 7'-0"	PAINT H.M. PAINT	NEW SOLID CORE, PAINT GRADE WOOD SLIDING DOUBLE DOORS & FRAME
H	HERCULITE	(2) 3'-0" 8'-0"	PAINT H.M. PAINT	NEW CLEAR, TEMPERED HERCULITE GLASS AND ALUMINUM DOUBLE DOOR SYSTEM W/ MATCHING SIDELIGHTS, SEE FINISH PLAN FOR MORE INFORMATION.
J	HERCULITE	3'-0" 8'-0"	PAINT H.M. PAINT	NEW CLEAR, TEMPERED HERCULITE GLASS AND ALUMINUM DOUBLE DOOR SYSTEM W/ MATCHING SIDELIGHTS, SEE FINISH PLAN FOR MORE INFORMATION.
K	SC. WOOD	(2) 2'-0" 7'-0"	PAINT H.M. PAINT	NEW SOLID CORE, PAINT GRADE WOOD DOOR AND HOLLOW METAL FRAME WITH 1/4" THICK CLEAR, TEMPERED FULL LIGHT GLASS KIT
L	SC. WOOD	(1) 3'-0" 7'-0" (1) 1'-0" 7'-0"	PAINT H.M. PAINT	NEW SOLID CORE, UNEVEN LEAVES, PAINT GRADE WOOD DOOR AND HOLLOW METAL FRAME
M	SC. WOOD	3'-6" 7'-0"	PAINT H.M. PAINT	NEW SOLID CORE, PAINT GRADE WOOD DOOR AND HOLLOW METAL FRAME

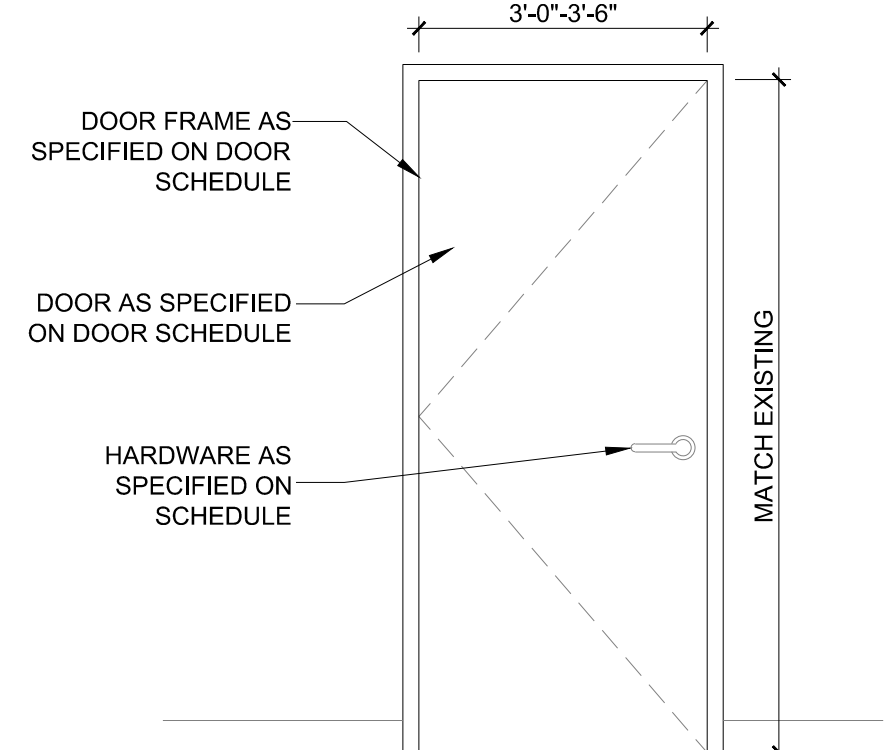
DOOR HARDWARE SCHEDULE

NO.	HARDWARE DESCRIPTION
1	BUILDING STANDARD ADA COMPLIANT LEVER PRIVACY LOCK, SATIN NICKEL FINISH, PROVIDE COAT HOOK ON THE INTERIOR SIDE OF DOOR.
2	BUILDING STANDARD ADA COMPLIANT LEVER PASSAGE SET, SATIN NICKEL FINISH
3	BUILDING STANDARD ADA COMPLIANT LEVER OFFICE LOCKSET (OPERABLE FROM INTERIOR), SATIN NICKEL FINISH.
4	BUILDING STANDARD ADA COMPLIANT LEVER STOREROOM LOCKSET, SATIN NICKEL FINISH.
5	LEVER LOCKSET ON OPERABLE DOOR (PLAN EAST) AND DUMMY LEVER ON INOPERABLE LEAF. PROVIDE FLUSH BOLTS IN FLOOR AND CEILING ON INOPERABLE LEAF
6	CONTRACTOR TO INSTALL INDICATOR LOCK LUNAPARK C5FN LBNM BRUSHED NICKEL PUSH BUTTON LOCK WHICH DISPLAYS "IN USE" WHEN LOCKED FROM INTERIOR
7	LEVER PASSAGE SET ON OPERABLE DOOR (PLAN EAST) AND DUMMY LEVER ON INOPERABLE LEAF. PROVIDE FLUSH BOLTS IN FLOOR AND CEILING ON INOPERABLE LEAF
8	BUILDING STANDARD ADA COMPLIANT SLIDING DOOR TRACK. PROVIDE & INSTALL ROCKWOOD MEGATECK 1" DIA., 1/4" LONG STRAIGHT PULL WITH FLAT ENDS, SATIN STAINLESS STEEL FINISH. PROVIDE STOPS IN FRAME. TRACK TO BE HAGER 9875 SERIES HEAVY DUTY ALUMINUM BOX TRACK & HARDWARE.
9	CONTRACTOR TO INSTALL ROCKWOOD MEGATECK 1" DIA., HRMS3000 5'-0" LONG ANSI STRAIGHT PULL WITH SQUARE ENDS MATCH SATIN NICKEL FINISH ON EACH SIDE OF DOOR. TENANT'S SECURITY VENDOR TO PROVIDE (2) MAG LOCKS, (1) CARD READER, (1) PUSH TO EXIT BUTTON, (1) MOTION SENSOR WITH ELECTROMAGNETICALLY LOCKSET TIED INTO FIRE ALARM SYSTEM, EQUIPPED WITH LISTED HARDWARE THAT INCORPORATES A BUILT-IN SWITCH AND MEET THE REQUIREMENTS BELOW. INSTALL CLOSER THAT WORKS WITH HERCULITE DOOR AND SYSTEM. CONTRACTOR TO COORDINATE WITH TENANT'S SECURITY VENDOR. 1. THE LISTED HARDWARE THAT IS AFFIXED TO THE DOOR LEAF HAS AN OBVIOUS METHOD OF OPERATION THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. 2. THE LISTED HARDWARE IS CAPABLE OF BEING OPERATED WITH ONE HAND. 3. OPERATION OF THE LISTED HARDWARE DIRECTLY INTERRUPTS THE POWER TO THE ELECTROMAGNETIC LOCK AND UNLOCKS THE DOOR IMMEDIATELY. 4. DOOR SHALL UNLOCK UPON ACTIVATION OF FIRE ALARM OR LOSS OF POWER.
10	CONTRACTOR TO INSTALL ROCKWOOD MEGATECK 1" DIA., HRMS3000 5'-0" LONG ANSI STRAIGHT PULL WITH SQUARE ENDS MATCH SATIN NICKEL FINISH ON EACH SIDE OF DOOR. TENANT'S SECURITY VENDOR TO PROVIDE (1) MAG LOCK, (1) CARD READER, (1) PUSH TO EXIT BUTTON, (1) MOTION SENSOR WITH ELECTROMAGNETICALLY LOCKSET TIED INTO FIRE ALARM SYSTEM, EQUIPPED WITH LISTED HARDWARE THAT INCORPORATES A BUILT-IN SWITCH AND MEET THE REQUIREMENTS BELOW. INSTALL CLOSER THAT WORKS WITH HERCULITE DOOR AND SYSTEM. CONTRACTOR TO COORDINATE WITH TENANT'S SECURITY VENDOR. 1. THE LISTED HARDWARE THAT IS AFFIXED TO THE DOOR LEAF HAS AN OBVIOUS METHOD OF OPERATION THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. 2. THE LISTED HARDWARE IS CAPABLE OF BEING OPERATED WITH ONE HAND. 3. OPERATION OF THE LISTED HARDWARE DIRECTLY INTERRUPTS THE POWER TO THE ELECTROMAGNETIC LOCK AND UNLOCKS THE DOOR IMMEDIATELY. 4. DOOR SHALL UNLOCK UPON ACTIVATION OF FIRE ALARM OR LOSS OF POWER.
11	TENANT'S SECURITY VENDOR TO PROVIDE ELECTRIC STRIKE LEVER SET WITH ELECTROMAGNETIC LOCKSET TIED INTO FIRE ALARM SYSTEM & CARD READER SIDE. EQUIPPED WITH LISTED HARDWARE THAT INCORPORATES A BUILT-IN SWITCH AND MEET THE REQUIREMENTS BELOW. CONTRACTOR TO COORDINATE WITH TENANT'S SECURITY VENDOR. 1. THE LISTED HARDWARE THAT IS AFFIXED TO THE DOOR LEAF HAS AN OBVIOUS METHOD OF OPERATION THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. 2. THE LISTED HARDWARE IS CAPABLE OF BEING OPERATED WITH ONE HAND. 3. OPERATION OF THE LISTED HARDWARE DIRECTLY INTERRUPTS THE POWER TO THE ELECTROMAGNETIC LOCK AND UNLOCKS THE DOOR IMMEDIATELY. 4. DOOR SHALL UNLOCK UPON ACTIVATION OF FIRE ALARM OR LOSS OF POWER.
12	CONTRACTOR TO INSTALL BUILDING STANDARD ADA COMPLIANT LEVER PASSAGE SET MATCH SATIN NICKEL FINISH ON EACH SIDE OF DOOR. TENANT'S SECURITY VENDOR TO PROVIDE (2) MAG LOCKS, (1) CARD READER, (1) PUSH TO EXIT BUTTON, (1) MOTION SENSOR WITH ELECTROMAGNETICALLY LOCKSET TIED INTO FIRE ALARM SYSTEM, EQUIPPED WITH LISTED HARDWARE THAT INCORPORATES A BUILT-IN SWITCH AND MEET THE REQUIREMENTS BELOW. INSTALL CLOSER THAT WORKS WITH HERCULITE DOOR AND SYSTEM. CONTRACTOR TO COORDINATE WITH TENANT'S SECURITY VENDOR. 1. THE LISTED HARDWARE THAT IS AFFIXED TO THE DOOR LEAF HAS AN OBVIOUS METHOD OF OPERATION THAT IS READILY OPERATED UNDER ALL LIGHTING CONDITIONS. 2. THE LISTED HARDWARE IS CAPABLE OF BEING OPERATED WITH ONE HAND. 3. OPERATION OF THE LISTED HARDWARE DIRECTLY INTERRUPTS THE POWER TO THE ELECTROMAGNETIC LOCK AND UNLOCKS THE DOOR IMMEDIATELY. 4. DOOR SHALL UNLOCK UPON ACTIVATION OF FIRE ALARM OR LOSS OF POWER.

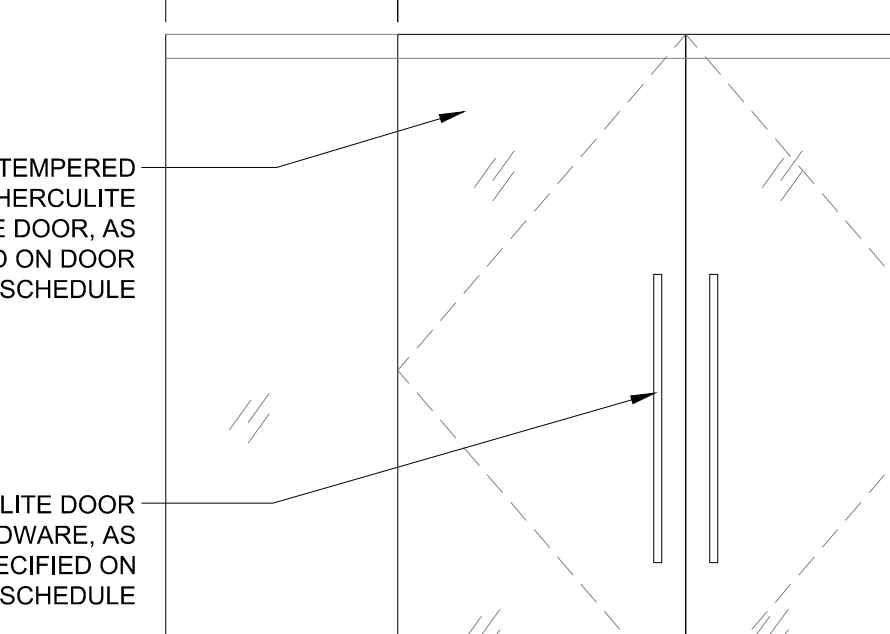
GENERAL SPECIFICATIONS:
 * CLOSER: DORMA T592 SERIES BRUSHED SILVER WITH SIDE ARM OR APPROVED EQUAL. CLOSER TO BE LOCATED ON NON-PUBLIC SIDE OF DOOR, UNLESS NOTED OTHERWISE
 * FLOOR STOP: MATCH EXISTING IN SUITE / MCKETT DS6A 1-1/16" CYLINDRICAL DOOR STOP, SATIN CHROME FINISH
 * WALL STOP: MATCH EXISTING IN SUITE
GENERAL HARDWARE NOTES:
 * ALL EXIT DOOR HARDWARE SHALL BE SO ARRANGED AS TO BE READILY OPENED WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE FROM THE EGRESS SIDE OF DOOR.
 * ALL EXISTING AND NEW HARDWARE TO MEET ADA REQUIREMENTS.
 * ALL HARDWARE TO HAVE FLOOR STOPS. SEE GENERAL SPECIFICATIONS
 * DOOR HANDLES TO BE MOUNTED AT EXISTING LOCATION (IF REPLACED), 38" A.F.F. AND ROCKWOOD PULLS TO BE CENTERED ON DOORS.
 * PROVIDE MASTER KEYING FOR ALL INTERIOR ROOMS AND SUITE ENTRY. CONSULT WITH TENANT FOR SPECIFIC KEYING HIERARCHY.



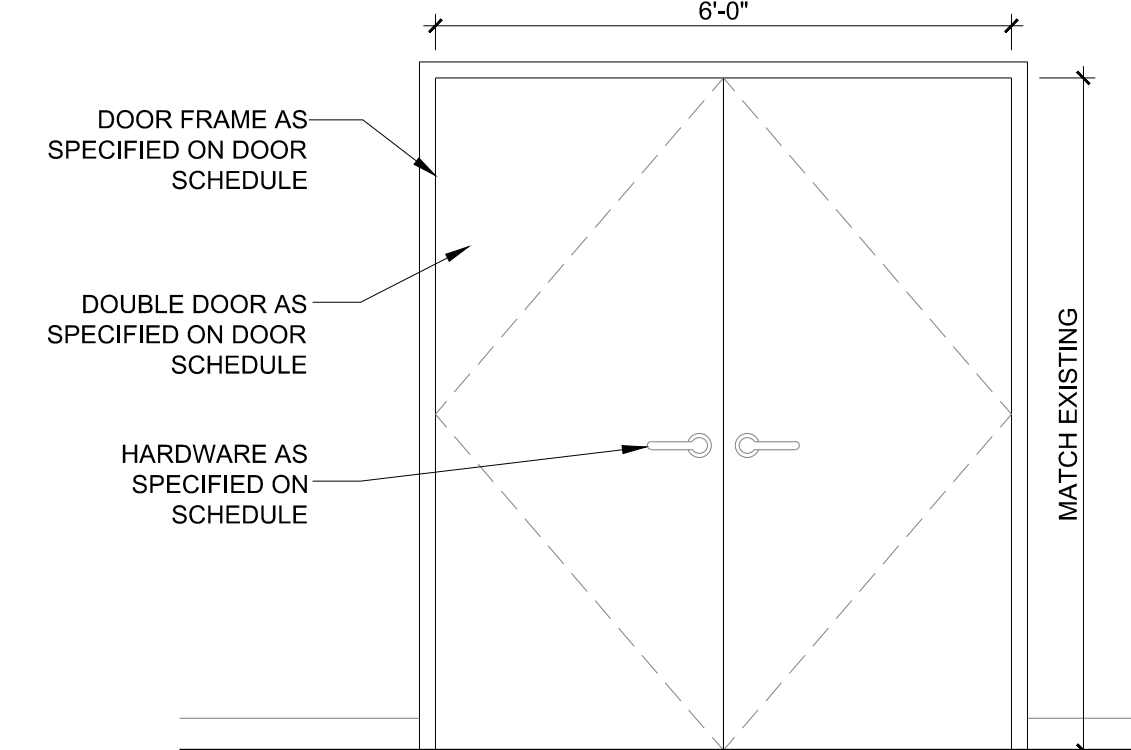
2 MULLION DETAIL
1/8" 1/8" x 1'-0"



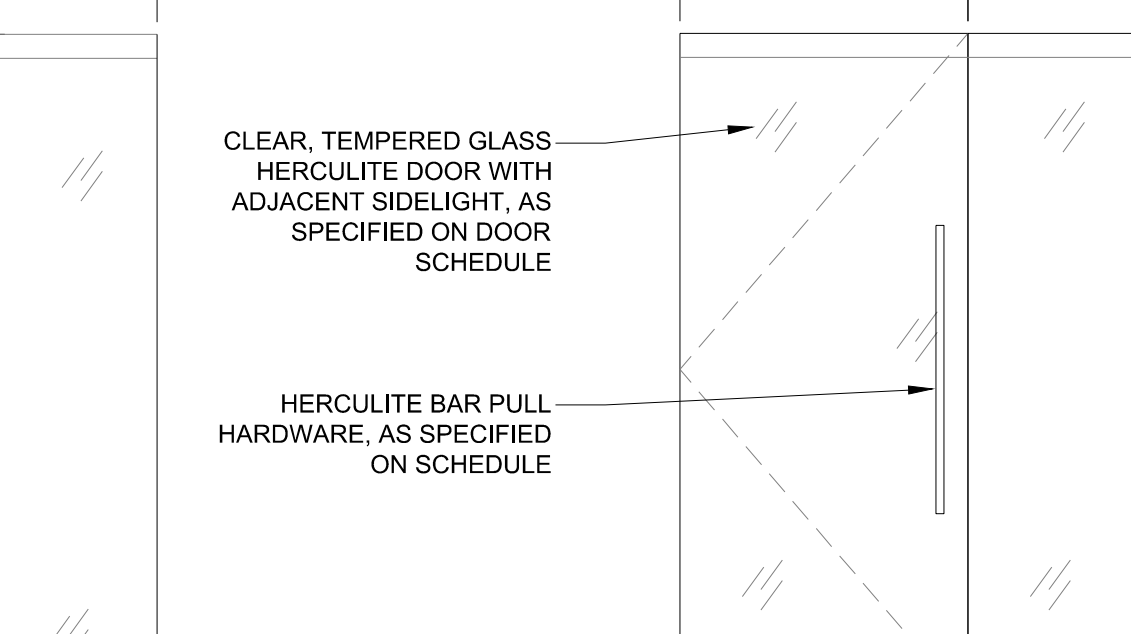
3 DOOR TYPE D & M
1/8" 1/2" x 1'-0"



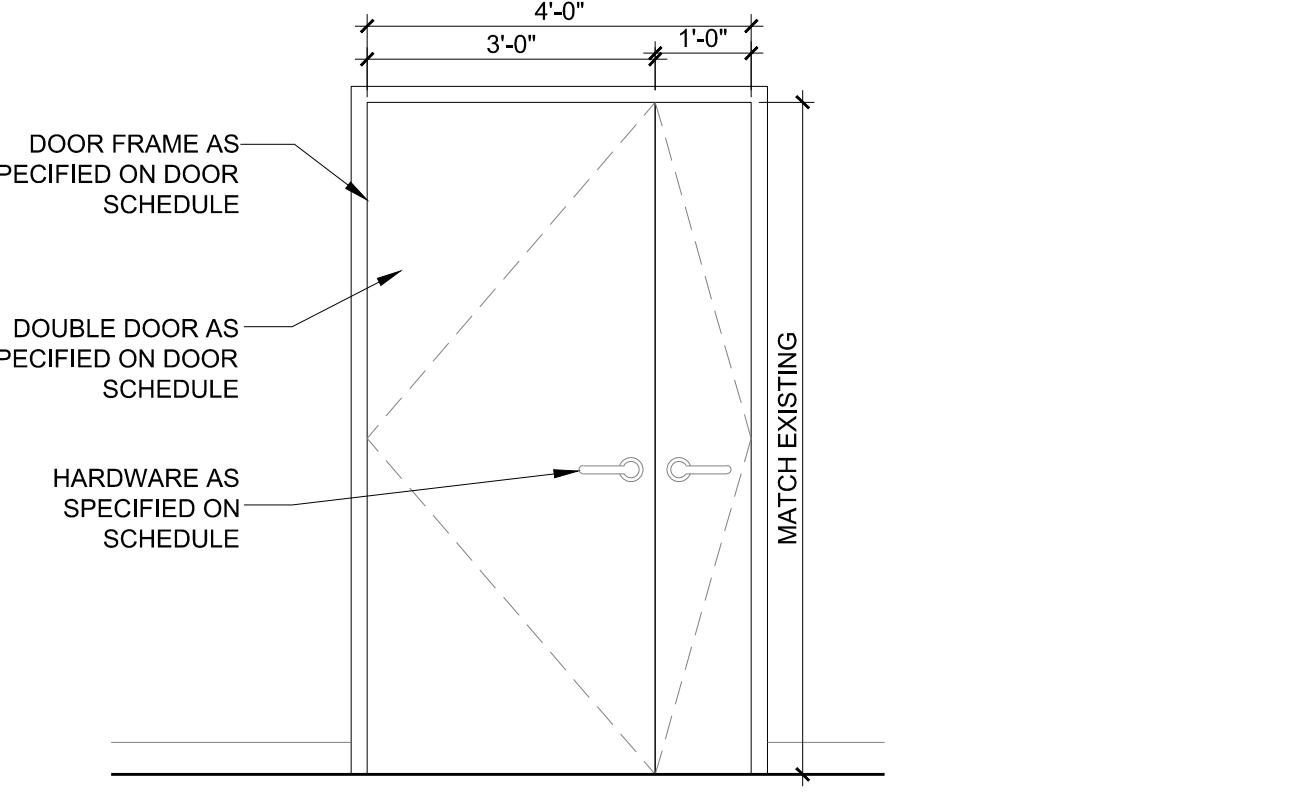
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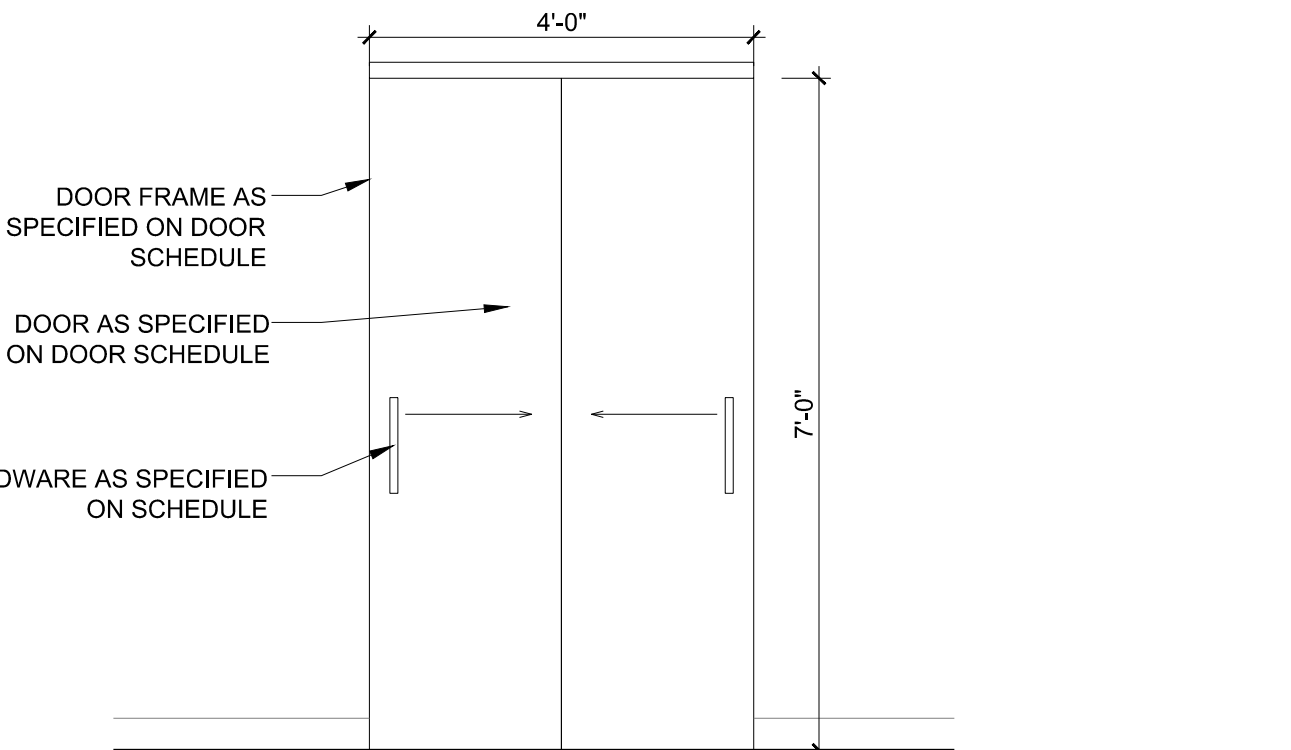
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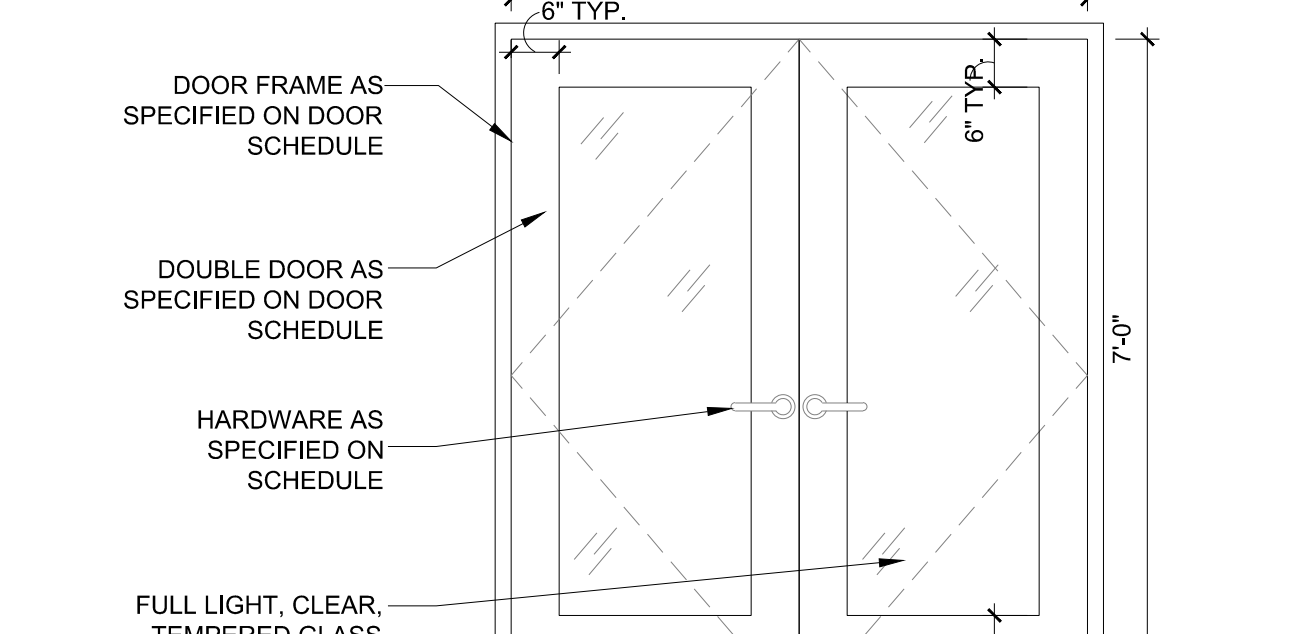
8 DOOR TYPE J
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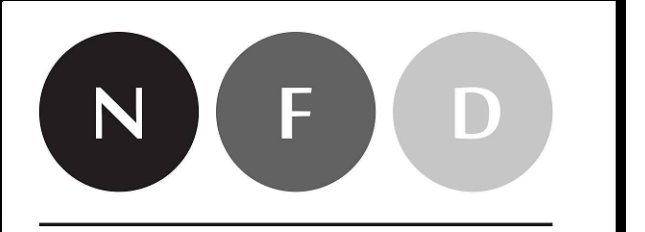
5 DOOR TYPE L
1/8" 1/2" x 1'-0"



6 DOOR TYPE G
1/8" 1/2" x 1'-0"



9 DOOR TYPE K
1/8" 1/2" x 1'-0"



interior planning
+ design
124 lakefront drive
hunt valley, md 21030
410.785.7795

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 12986. EXPIRATION DATE 2022-12-14. BRIAN CHRISTOPHER OLSEN

UMMS PEDIATRICS
1104 KENILWORTH DRIVE
SUITE 400
TOWSON, MD 21204

APPROVALS:

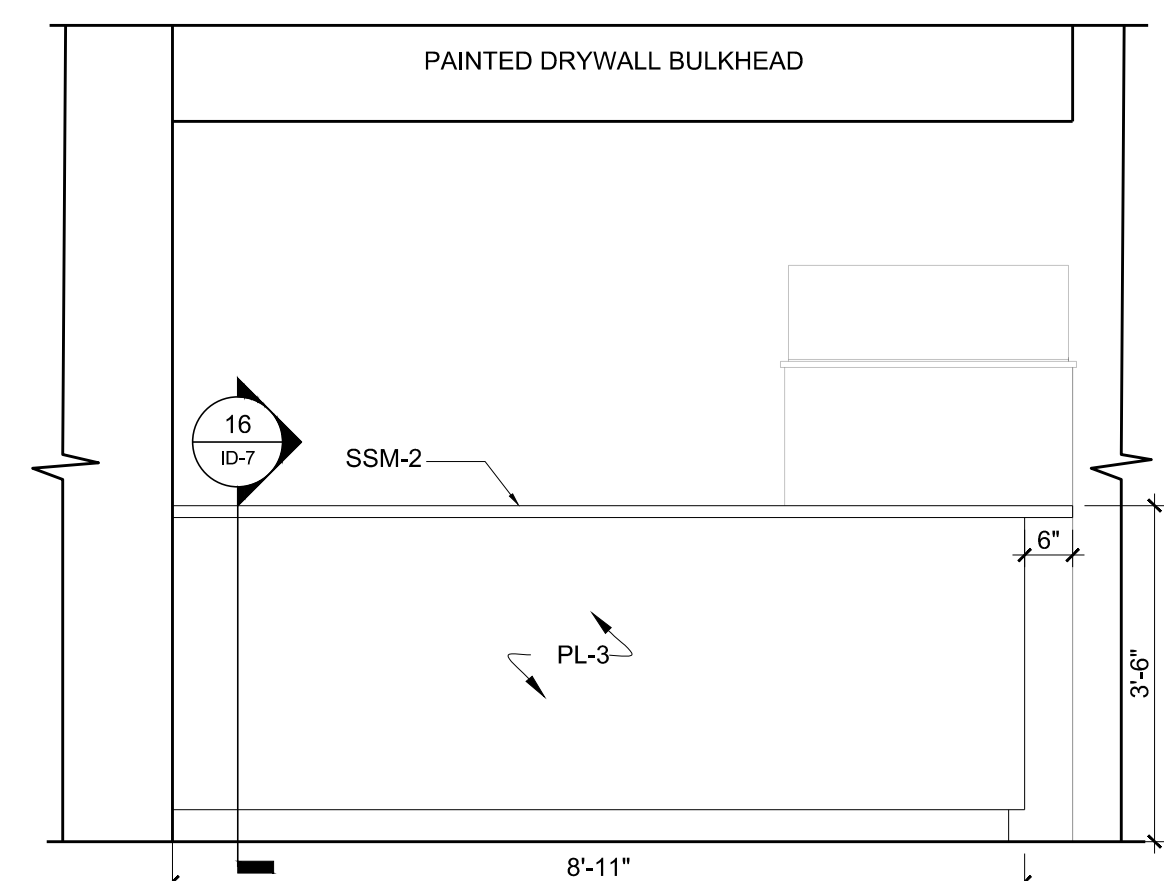
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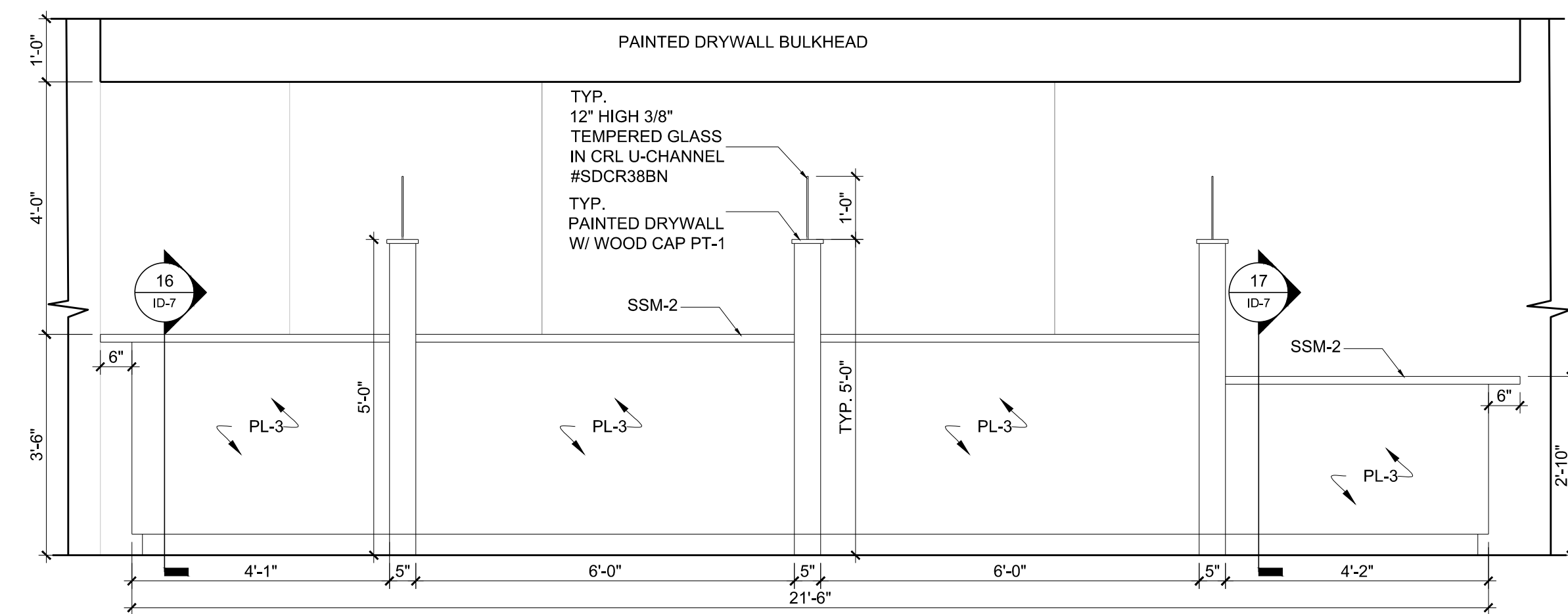
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DATE: 3/2/2026
SCALE: AS NOTED
DRAWN BY: JA
DESIGN BY: EP
CHECKED BY: EP
PROJECT #: U2065

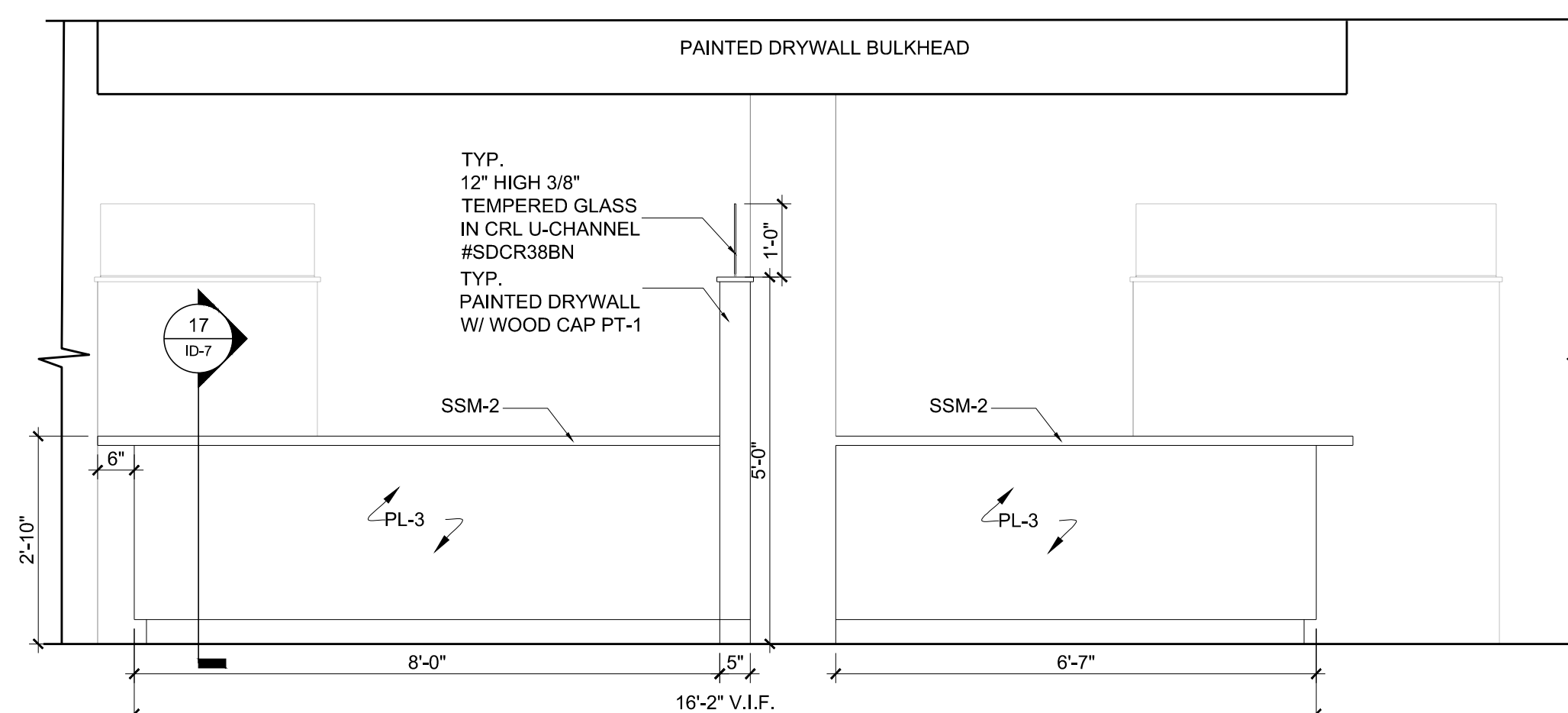
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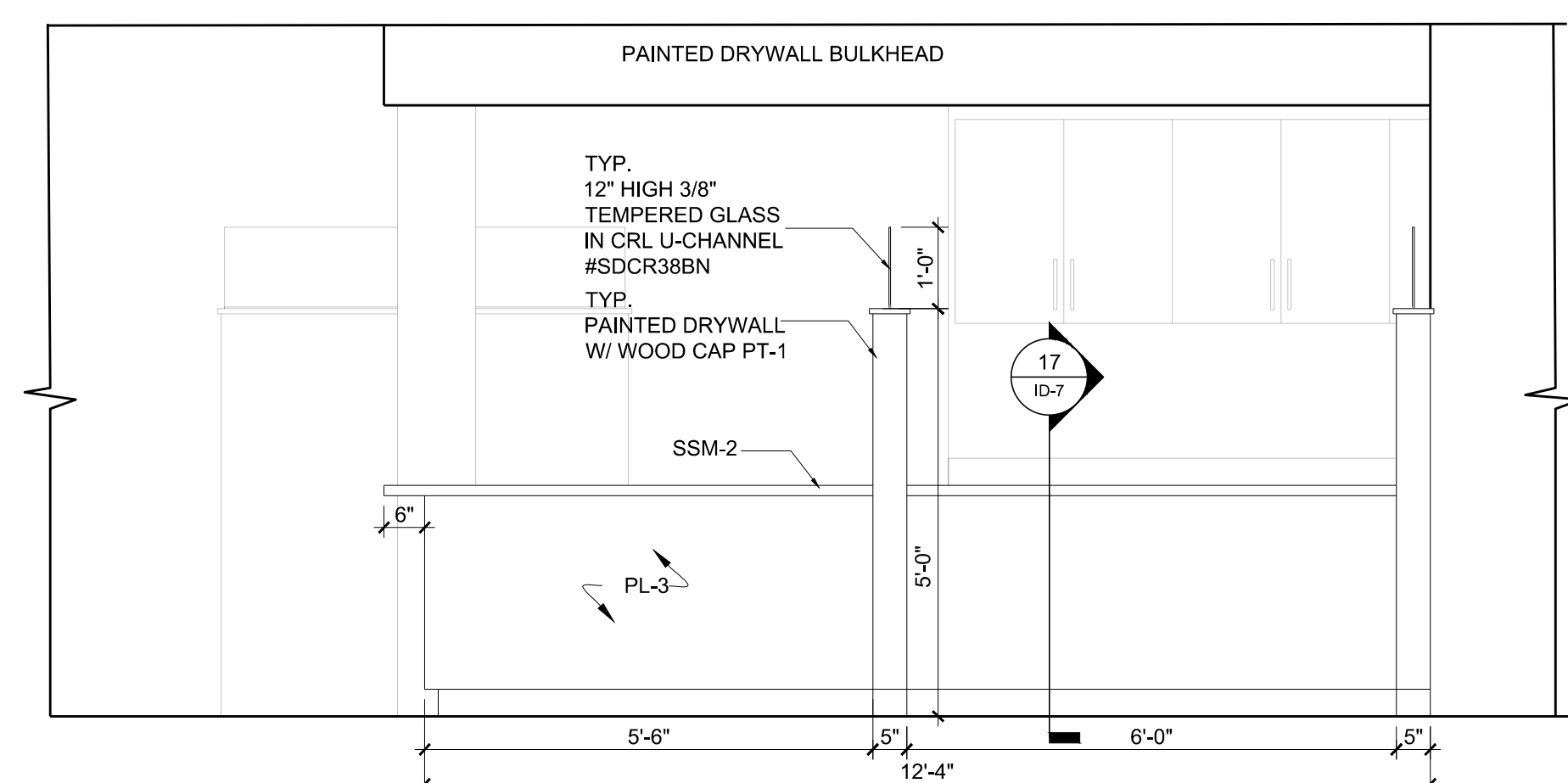
1 ELEVATION AT RECEPTION
ID-5 1/2" = 1'-0"



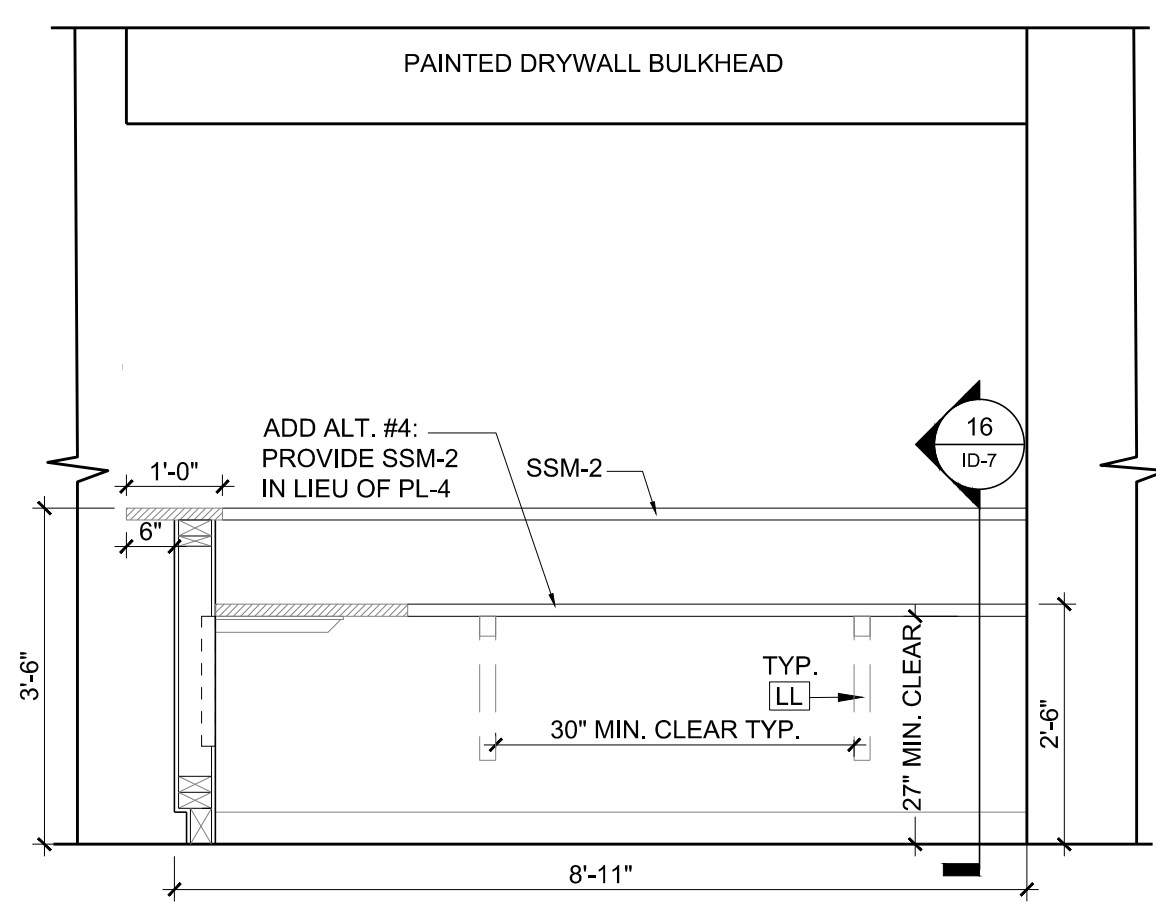
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ID-5 1/2" = 1'-0"



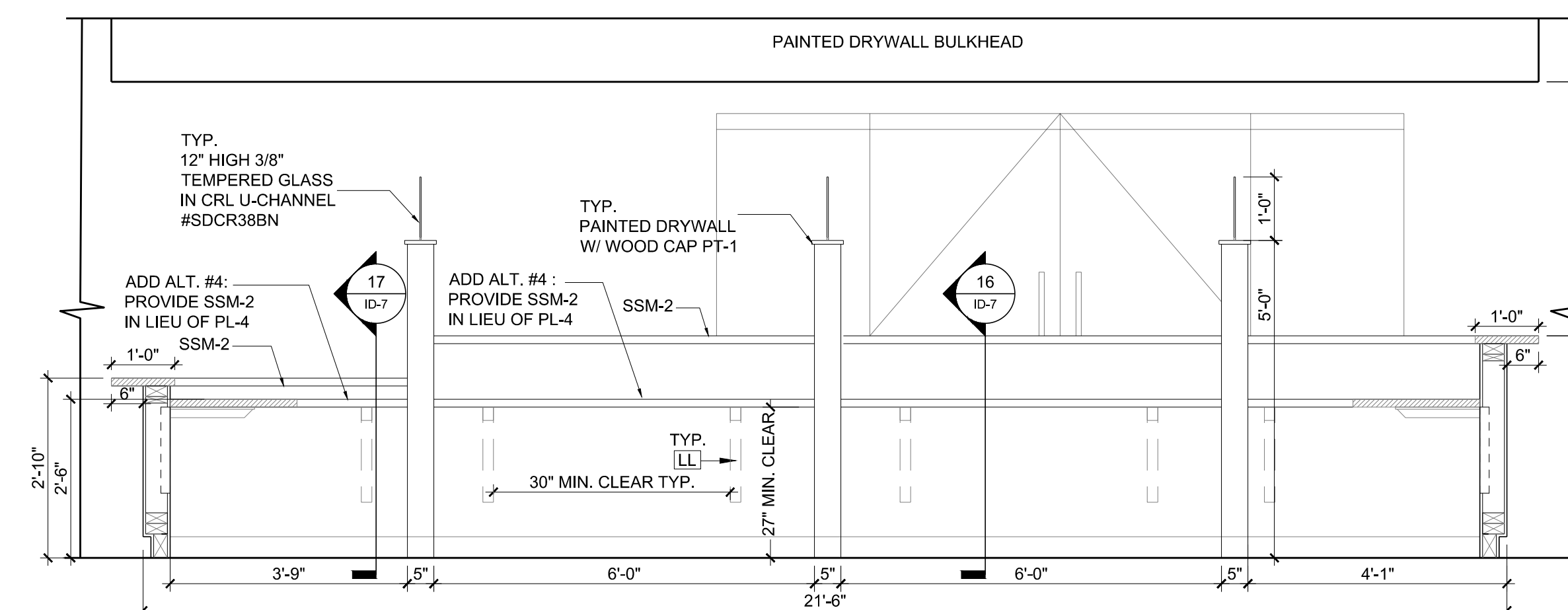
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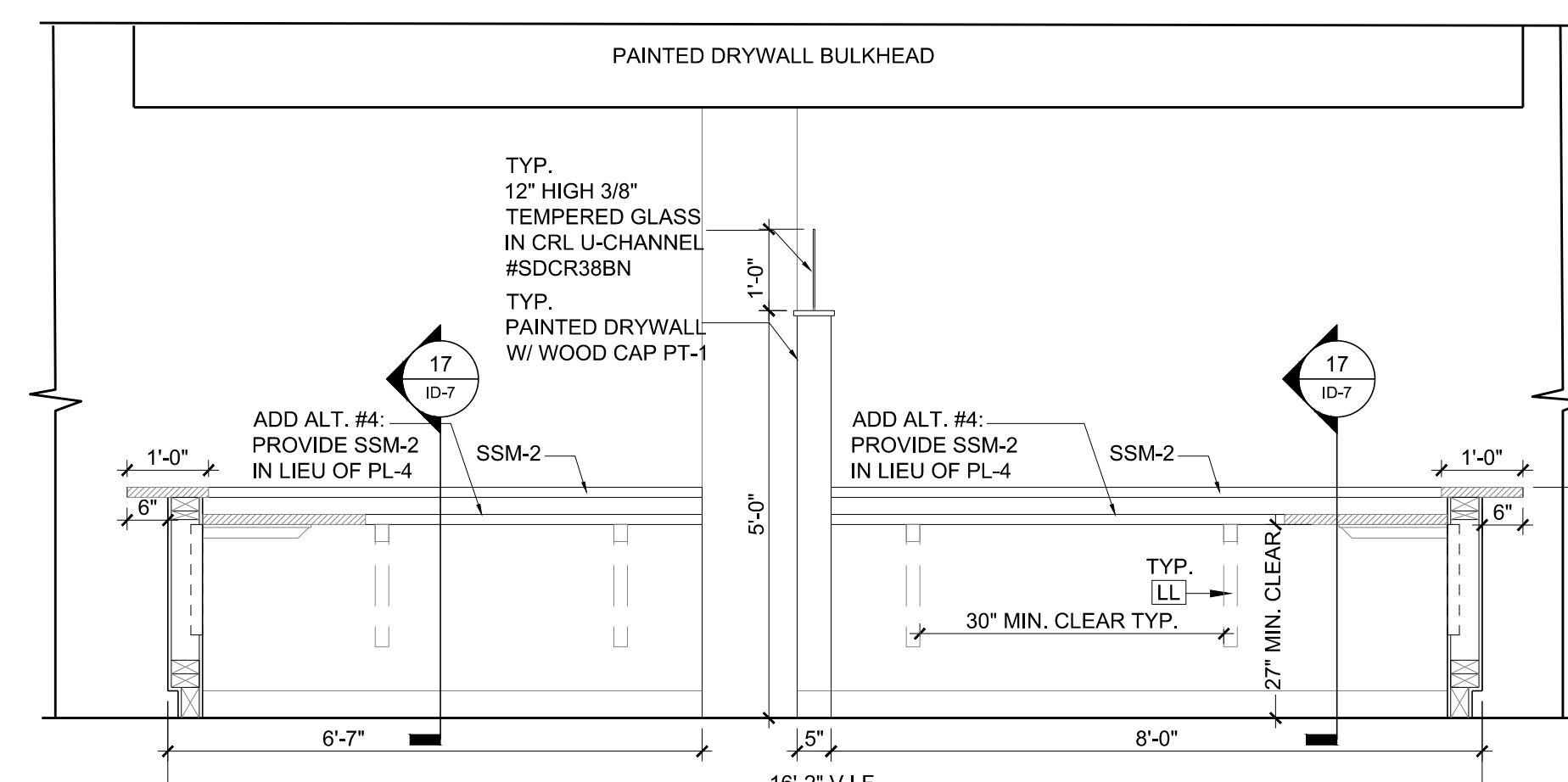
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ID-5 1/2" = 1'-0"



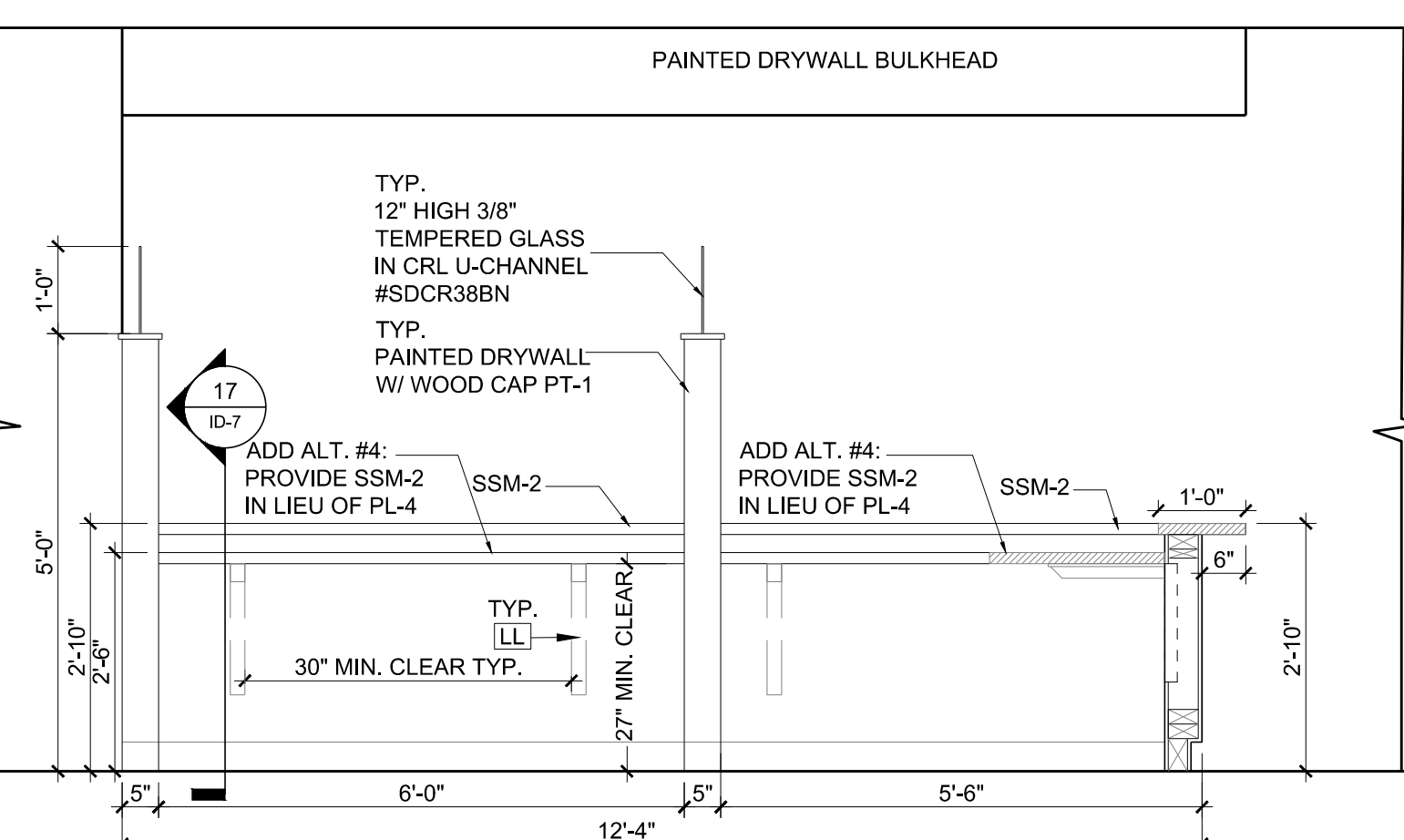
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ID-5 1/2" = 1'-0"



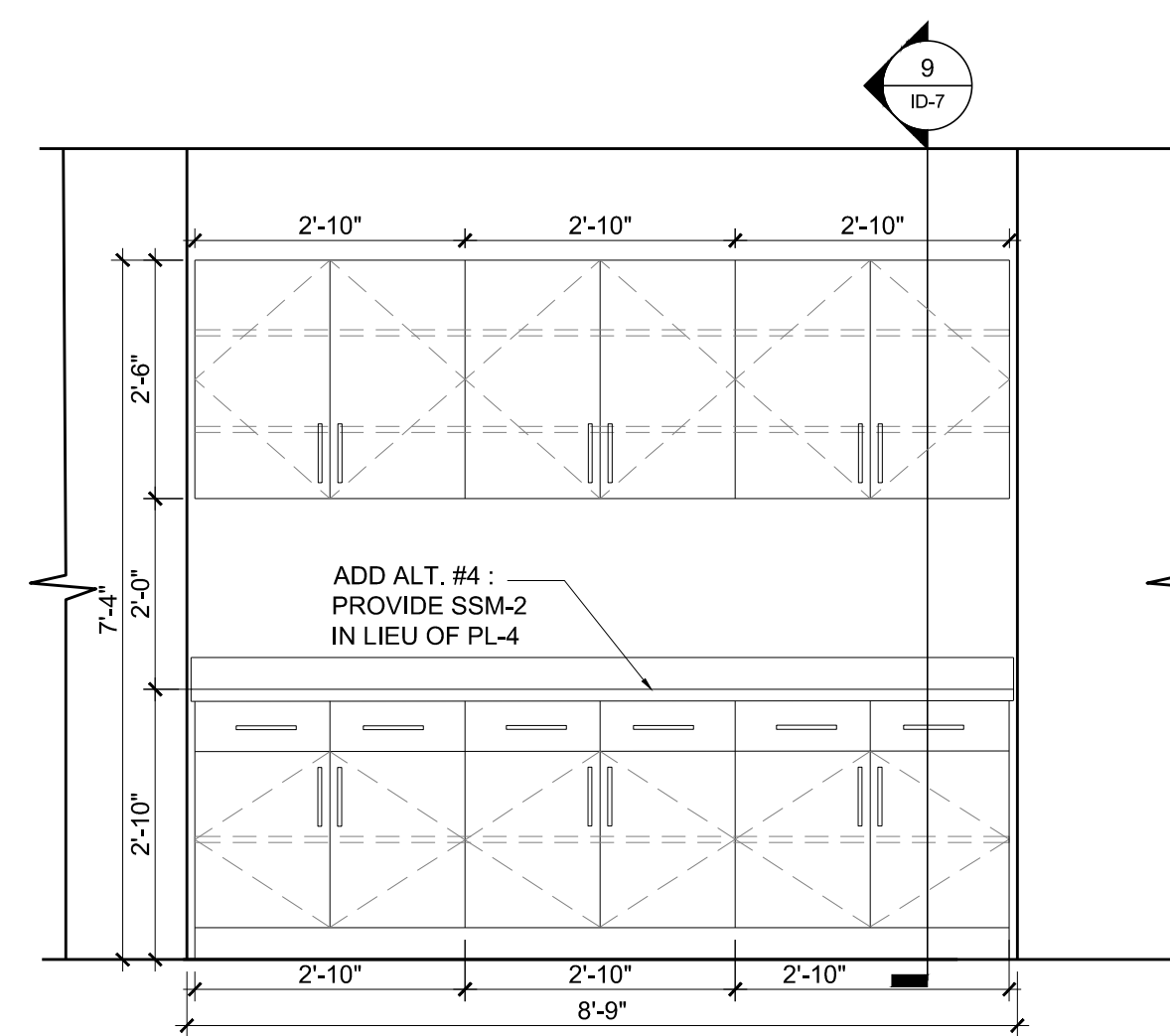
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ID-5 1/2" = 1'-0"



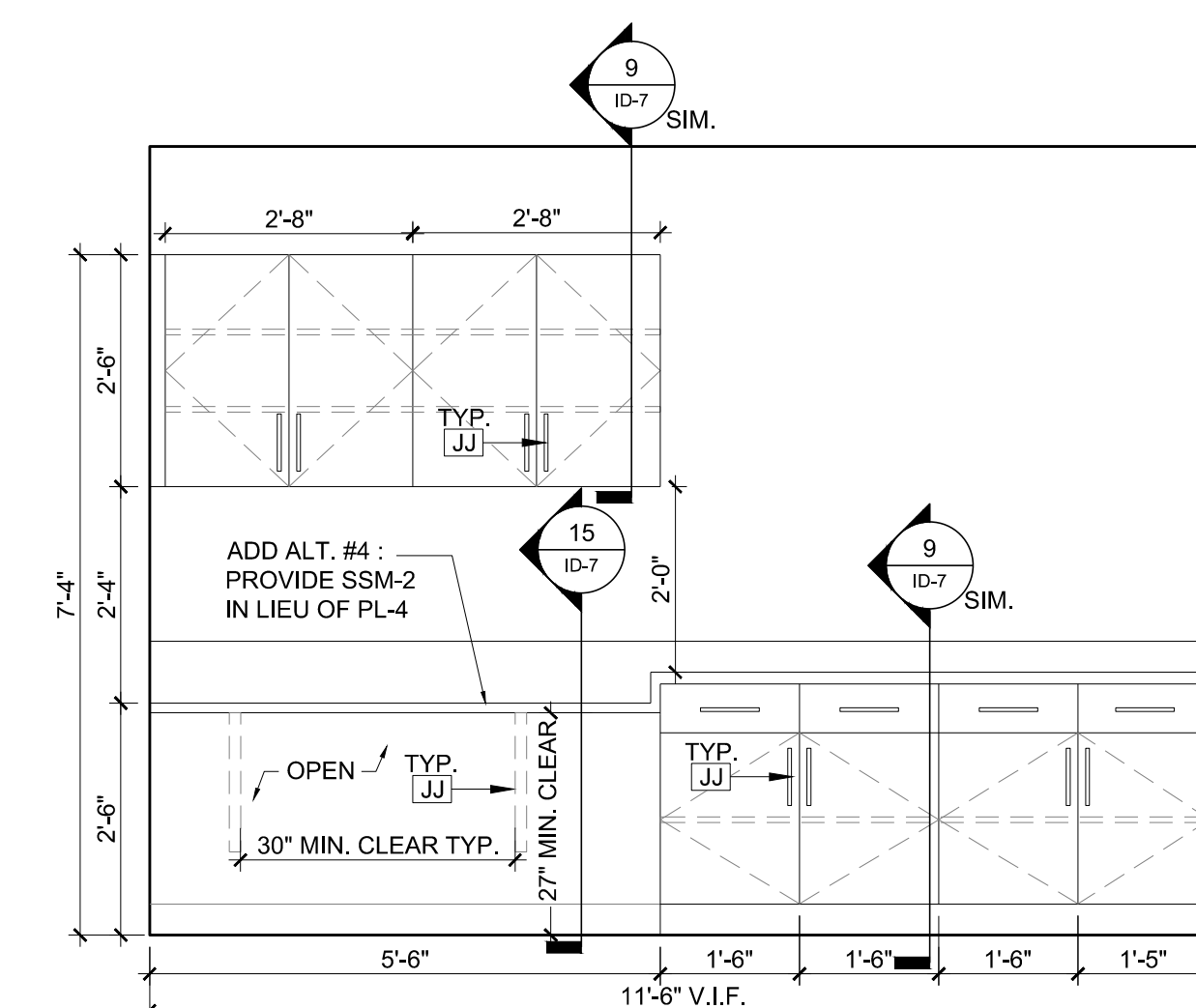
7 ELEVATION AT RECEPTION
ID-5 1/2" = 1'-0"



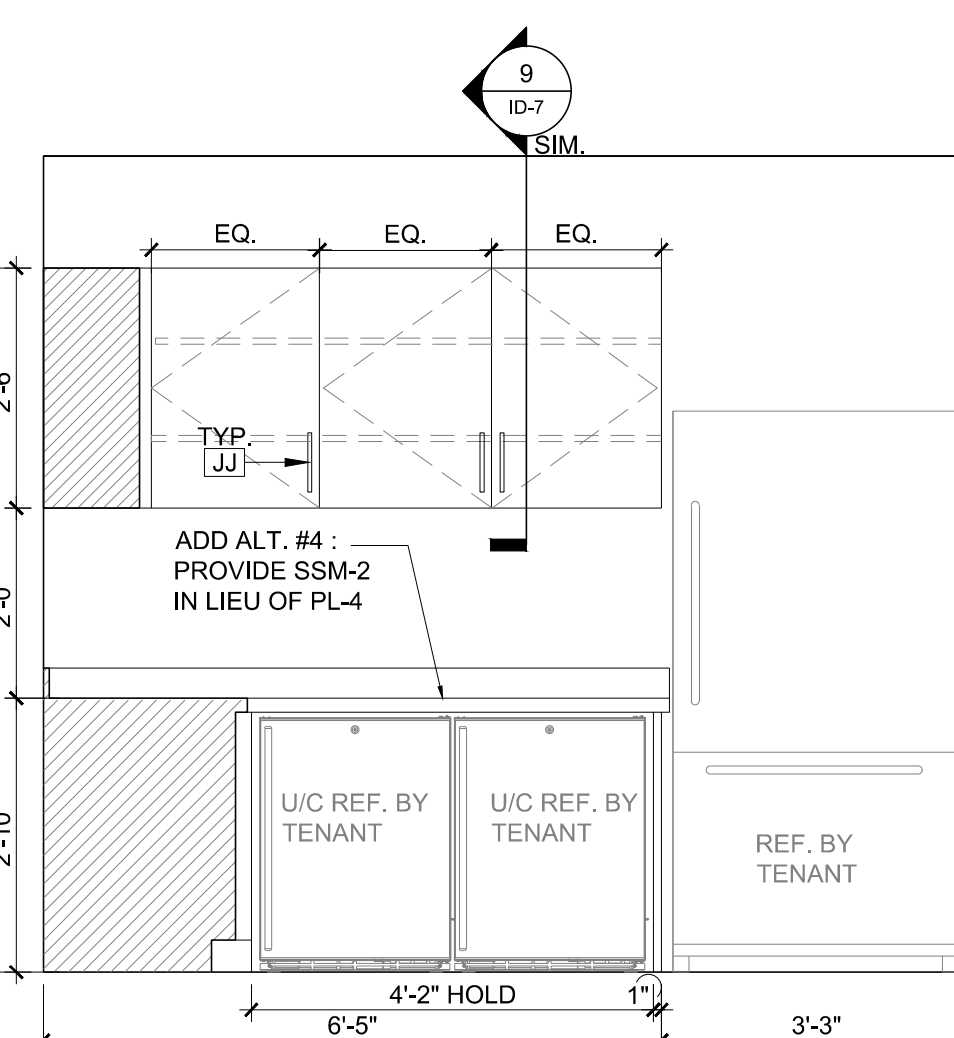
8 ELEVATION AT RECEPTION
ID-5 1/2" = 1'-0"



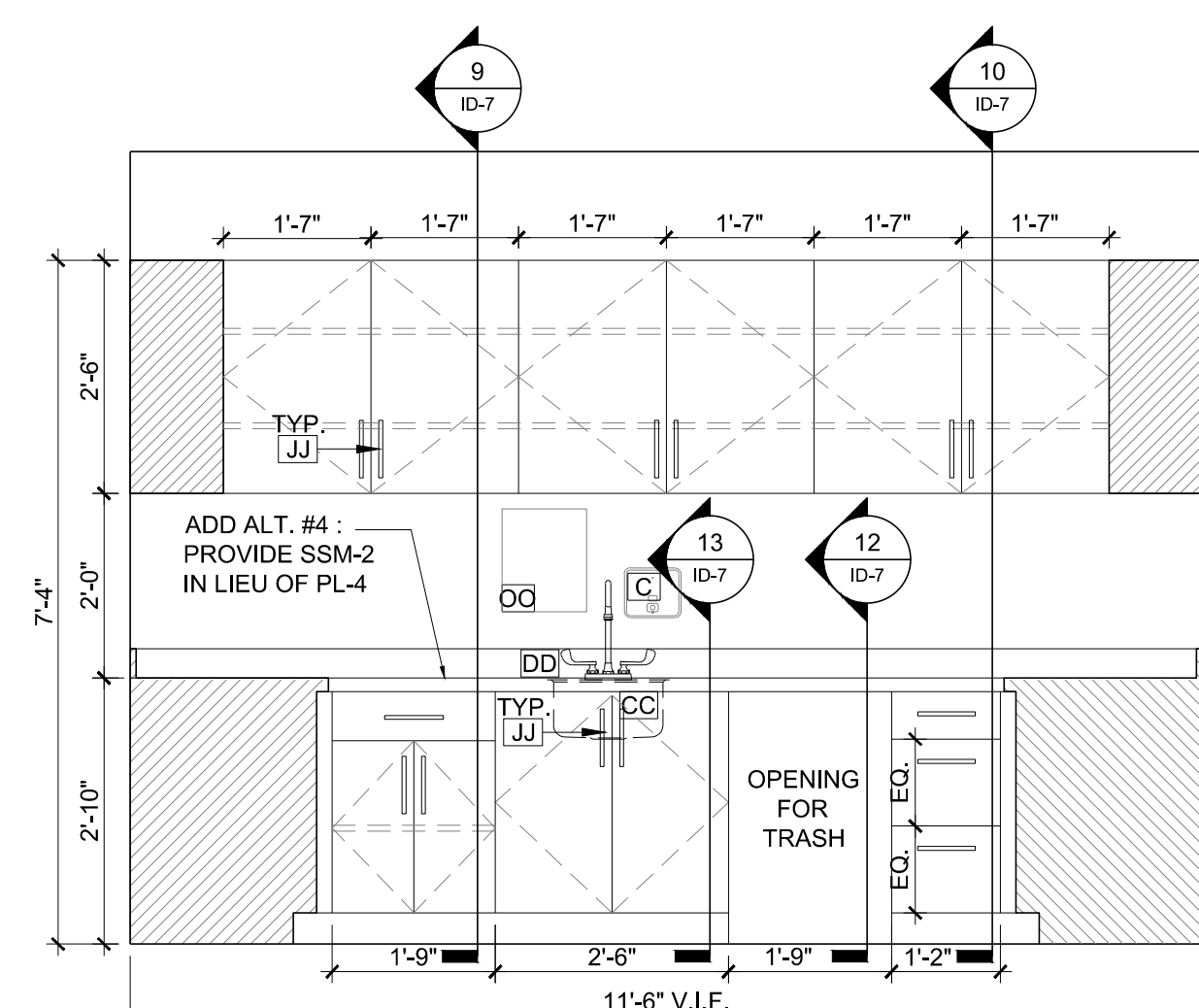
9 ELEVATION AT RECEPTION
ID-5 1/2" = 1'-0"



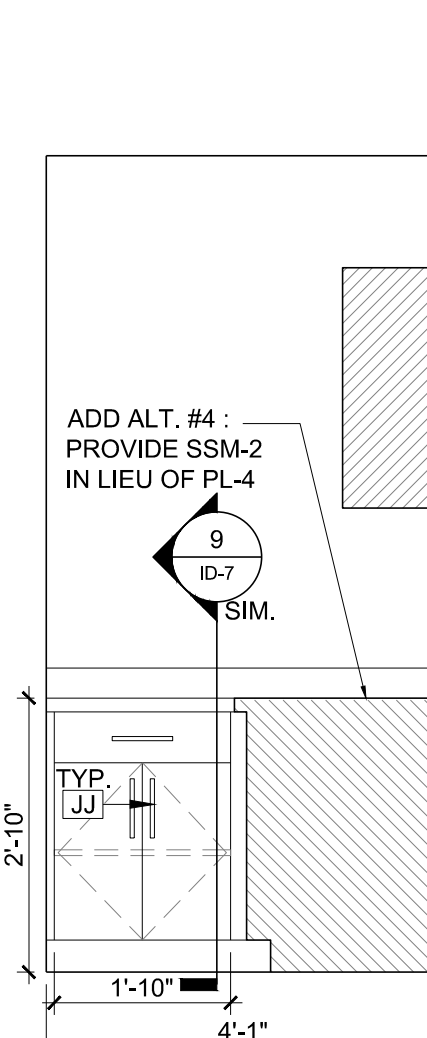
10 ELEVATION AT TRIAGE 412
ID-5 1/2" = 1'-0"



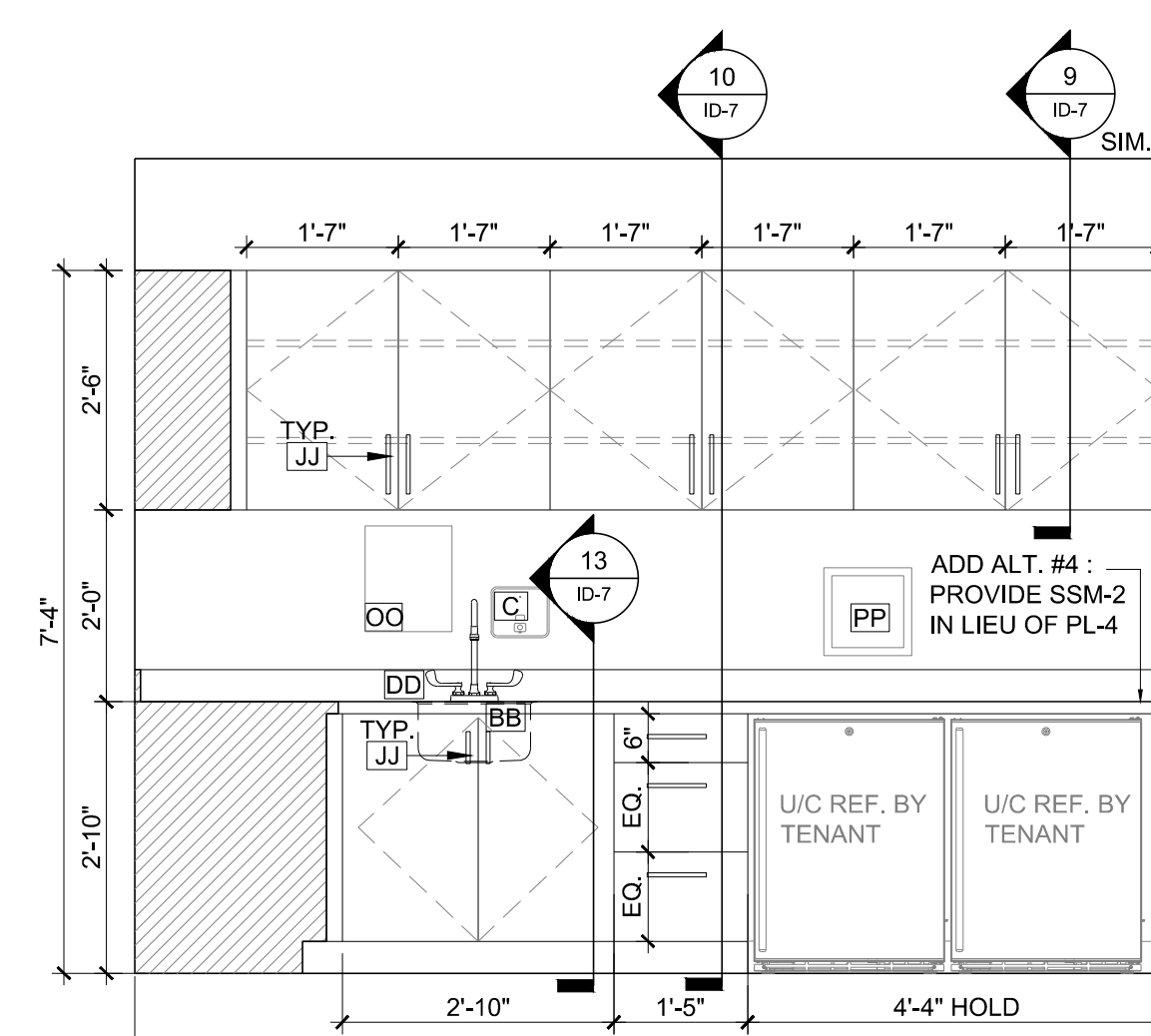
11 ELEVATION AT 422
ID-5 1/2" = 1'-0"



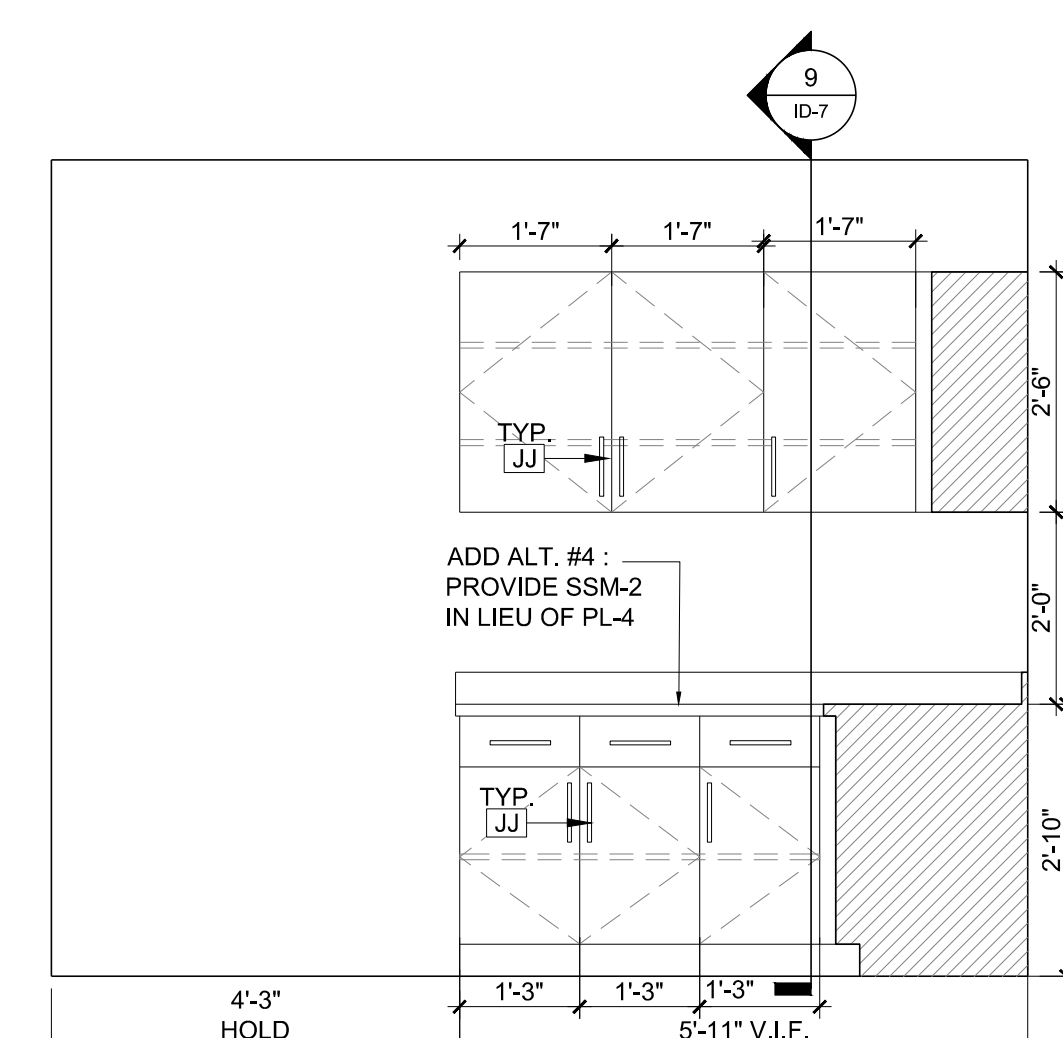
12 ELEVATION AT 422
ID-5 1/2" = 1'-0"



13 ELEVATION AT 422
ID-5 1/2" = 1'-0"



14 ELEVATION AT LAB
ID-5 1/2" = 1'-0"



15 ELEVATION AT LAB
ID-5 1/2" = 1'-0"

UMMS PEDIATRICS
1104 KENILWORTH DRIVE
SUITE 400
TOWSON, MD 21204

ELEVATIONS & DETAILS

APPROVALS:

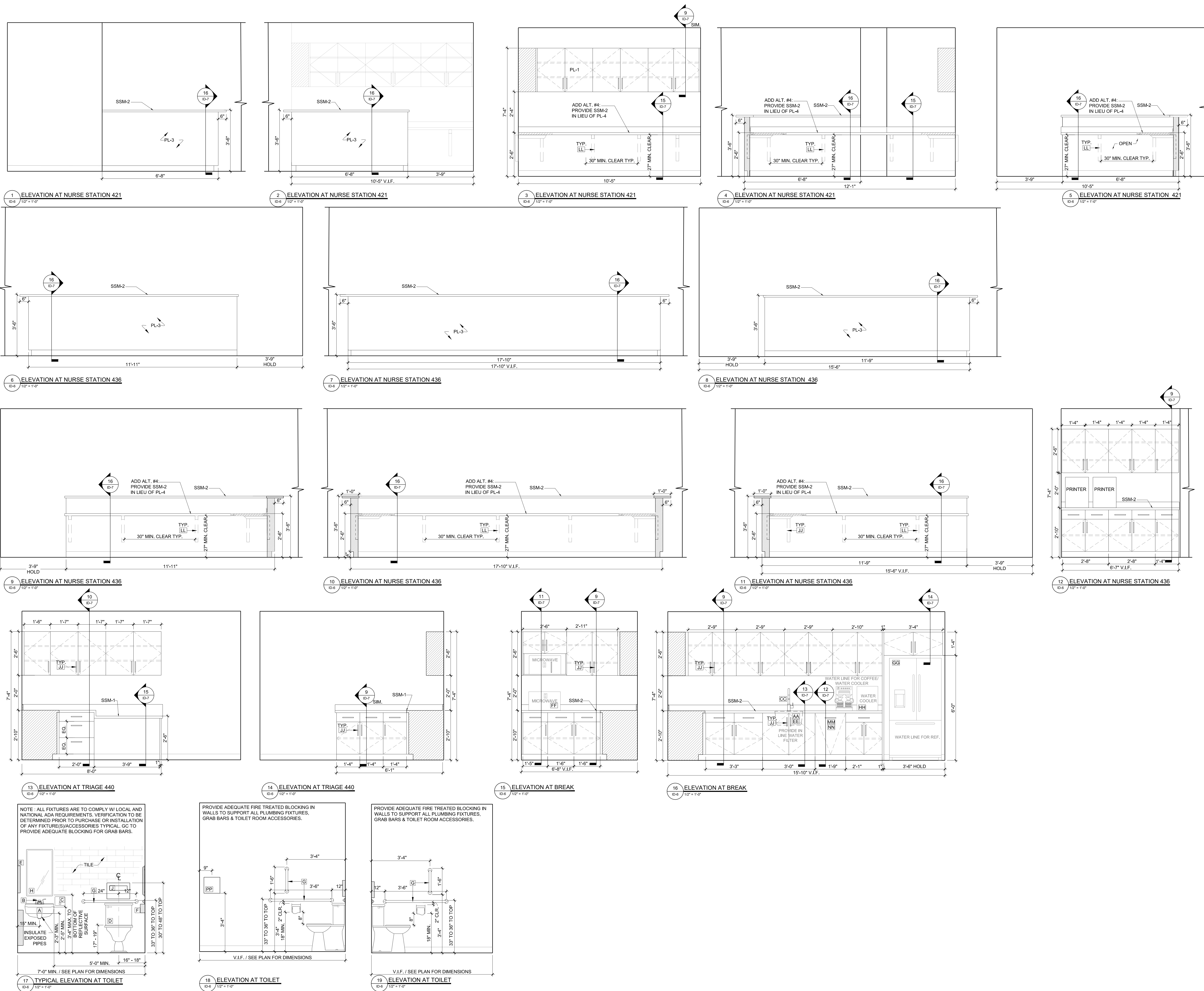
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DATE: 3/2/2026
SCALE: AS NOTED
DRAWN BY: JA
DESIGN BY: EP
CHECKED BY: EP
PROJECT #: UZ065



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1104 KENILWORTH DRIVE
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TOWSON, MD 21204

ELEVATIONS & DETAILS

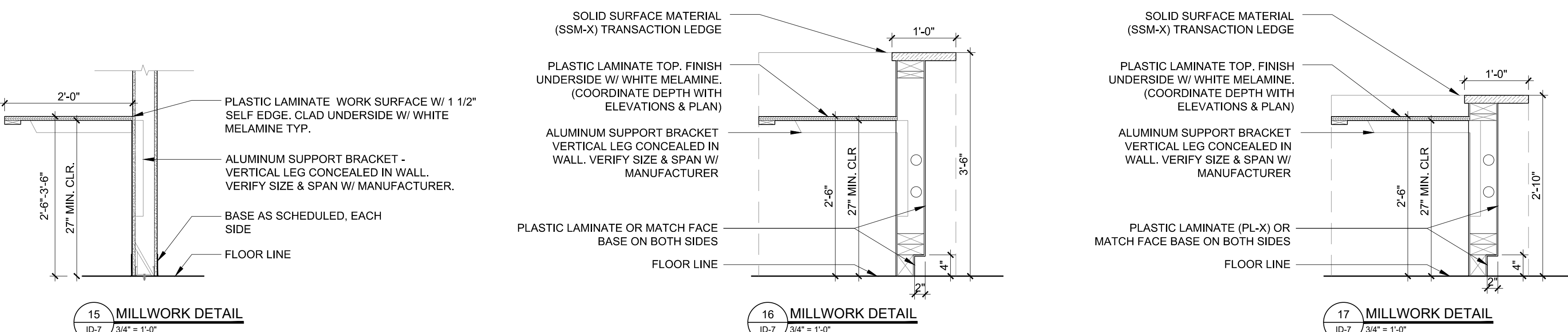
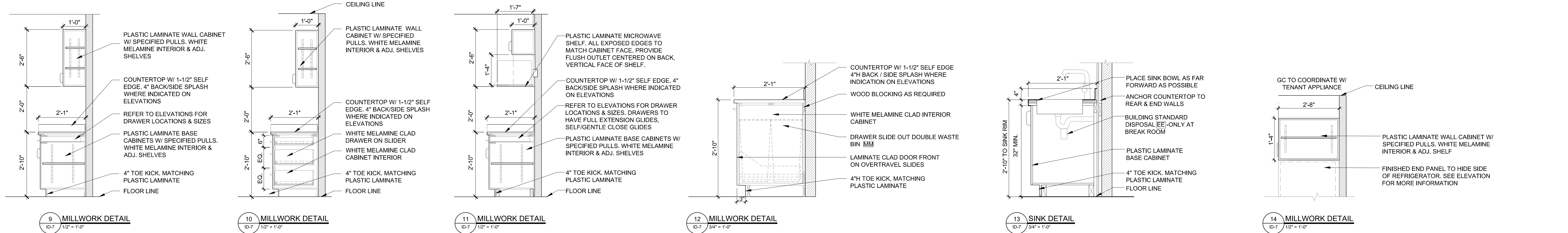
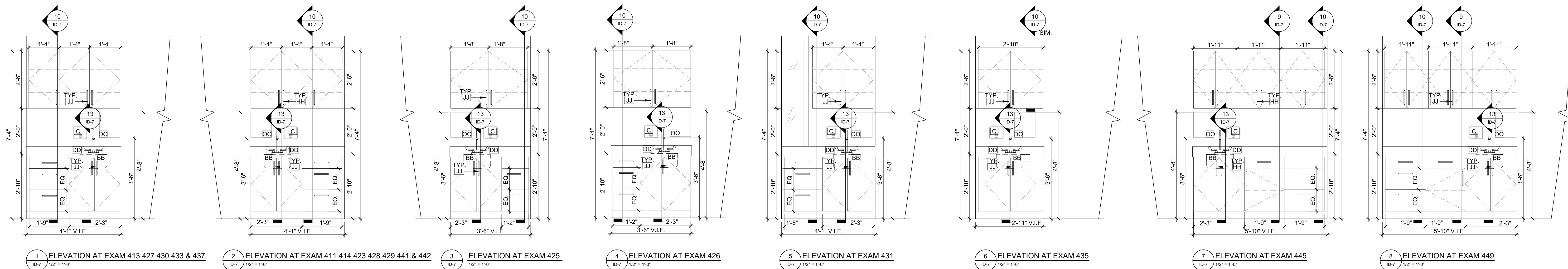
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DESIGN BY: EP
CHECKED BY: EP
PROJECT #: UZ065



GC PROVIDED TOILET ROOM EQUIPMENT SCHEDULE

KEY	DESCRIPTION	SPECIFICATION
A	VANITY SINK - WALL HUNG	GERBER 12-692 (ONE HOLE) ADA COMPLIANT, WICKER PARK WALL HUNG LAVATORY, COLOR: WHITE, 24 3/8" W X 19" D X 7" H
B	FAUCET - MANUAL	KOHLER JULY K-97283-4-CP CHROME FINISH, SINGLE-HOLE ADA FAUCET
C	SOAP DISPENSER - WALL MTD	BOBRICK 818615 WALL SURFACE MOUNTED SOAP DISPENSER, SATIN STAINLESS STEEL, 7"W X 6-1/8"H X 3-5/16"D
D	ADA TOILET WITH TANK (MANUAL)	AMERICAN STANDARD ADA CADET PRO ELONGATED, MANUAL VALVE, 215AA.104 COLOR: WHITE, SEAT: #5901.110, COLOR: WHITE
E	PAPER TOWEL DISPENSER AND TRASH	BOBRICK B-43944 CANTURA SERIES RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE WITH TOWEL MATE, STAINLESS STEEL-OA SURFACE SIZE: 56 1/4"H X 17 1/4"W X 5"D (RECESSED DEPTH 4"D)
F	TOILET TISSUE DISPENSER	BOBRICK B-3888 RECESSED MULTI-ROLL TOILET OR EQUAL, STAINLESS STEEL, 7-9/16"W X 12-1/2"H X 2-3/16"D (RECESSED 3")
G	GRAB BARS	BOBRICK 6806 SERIES WITH SNAP FLANGE OR EQUAL, STAINLESS STEEL, (1) 36" MIN. (1) 42" MIN. (1) 18" VERTICAL
H	FRAMED MIRROR - ADA TILTED	BOBRICK B-293-(1830), 18"W X 30"H TILT MIRROR MIRROR WITH STAINLESS STEEL FRAME, TEMPERED GLASS
J	SEAT-COVER DISPENSER - SURFACE MOUNTED	BOBRICK B-221 CLASSIC SERIES SURFACE MOUNTED SEAT-COVER DISPENSER, OR EQUAL, STAINLESS STEEL, 11"H X 15-3/4"W X 2"D
K	BABY CHANGING STATION	KOALA KARE KB301-01SS GREY WITH STAINLESS STEEL VENEER VERTICAL BABY CHANGING STATION BABY CHANGING STATION.

GC PROVIDED EQUIPMENT SCHEDULE, U.N.O.

KEY	DESCRIPTION	SPECIFICATION
AA	BREAK SINGLE SINK	KOHLER UNDERTONE PRESERVE K-3325-HCF SINGLE BOWL UNDER-MOUNT, STAINLESS STEEL SINK, 23" WIDE X 17-1/2" DEEP X 9.5" H (27" WIDE MIN BASE CABINET)
BB	EXAM SINK	KOHLER UNDERTONE, K-3331 UNDER-MOUNT BAR STAINLESS STEEL, ADA SINK, 15 3/4" WIDE X 17 1/2" DEEP X 7-5/8" H (21" WIDE MIN BASE CABINET)
CC	BREAK FAUCET	DELTA TRINISC 9159-DST SINGLE HANDLE PULL-DOWN FAUCET, ARCTIC STAINLESS, BLACK STAINLESS, CHAMPAGNE BRONZE, CHROME, MATTE BLACK FINISH, 15-11/16" HIGH
DD	EXAM FAUCET	TRITON BOVE K-400770-5AKL, CENTER SET, POLISHED CHROME FINISH, 12 -1/8"W X 12-13/16" HIGH
EE	GARBAGE DISPOSAL	INSINKERATOR BADGER 6XP 3/4 HORSEPOWER CONTINUOUS FEED GARBAGE DISPOSAL OR EQUAL, PROVIDE WALL SWITCH AT SINK LOCATION ABOVE COUNTER
FF	MICROWAVE	PROFILE 1.6 CUBIC FT. COUNTERTOP MICROWAVE JES1657SMSS, STAINLESS STEEL FINISH, 13"H X 17-3/4" D X 21-3/4" W (NOTE: RECOMMENDED CLEARANCES-3" ON EACH SIDE & TOP& 1" @ REAR)
GG	REFRIGERATOR (FRENCH DOOR)	WHIRLPOOL 26 CUBIC FT. FRENCH DOOR REFRIGERATOR, STAINLESS STEEL FINISH, MODEL #: WRF5555DF, 70 1/8" H X 35 5/8" W X 35 1/4" D, (ALLOW 1" @ BACK & 3-3/4" ON HINGE SIDE @ WALL)
HH	COUNTER WATER COOLER WITH COLD/HOT WATER	OASIS AQUARIUS POU COUNTERTOP COOLER, MODEL # POU1ACTHSC, 16.9" H X 14.4" W X 13.2" D
JJ	BAR PULLS	LIBERTY HARDWARE, BRAINERD MODERN 5-1/16" CENTER TO CENTER BAR PULL, STAINLESS STEEL FINISH OR EQUAL, #P01026-SS-B
KK	B-LEVEL DRINKING FOUNTAIN W/ BOTTLE FILLING STATION	ELKAY ENHANCED E2H20 BOTTLE FILLING STATION & SINGLE ADA COOLER FILTERED @ GPH, LIGHT GRAY, MODEL # LZ3TLW6SLP, 18-3/8" L X 19" W X 39-1/2" H REQUIRES ELECTRICAL OUTLET
LL	ALUMINUM L SUPPORT: COUNTERS UP TO 25" DEEP	RAKKS COUNTER SUPPORT BRACKET, RECESSED IN WALL, CENTER ON EVERY OTHER STUD, MAXIMUM DISTANCE BETWEEN SUPPORTS = 32" DEPTH: UP TO 25" EH-1818 FM RECESSED
MM	PULL-OUT WASTE CONTAINER	REV-A SHELF DOUBLE 50 QT. FULL HEIGHT WASTE CONTAINER WITH ALUMINUM BOTTOM MOUNT TRACK HARDWARE W/ REV-A-MOTION, ITEM # 5149-2150DM-211/WHITE, (DESIGNED FOR 15", 18" & 21" CABINET WIDTH)
NN	TRASH LOGO	ARCH HARDWARE: TRASH LOGO - ANODIZED ALUMINUM AND BLACK FILLED - PRODUCT CODE TR1010-2, 2" ALUMINUM ROUND TRASH LOGO (REFER TO CUT SHEET, IDENTIFY INSTALL LOCATION)
OO	PAPER TOWEL DISPENSER	T.B.D. COORDINATE WITH JANITORIAL AND STANDARD
PP	SPECIMEN PASS-THROUGH	BOBRICK B-505 RECESSED SPECIMEN PASS-THROUGH CABINET

APPROVALS:

DATE	BY

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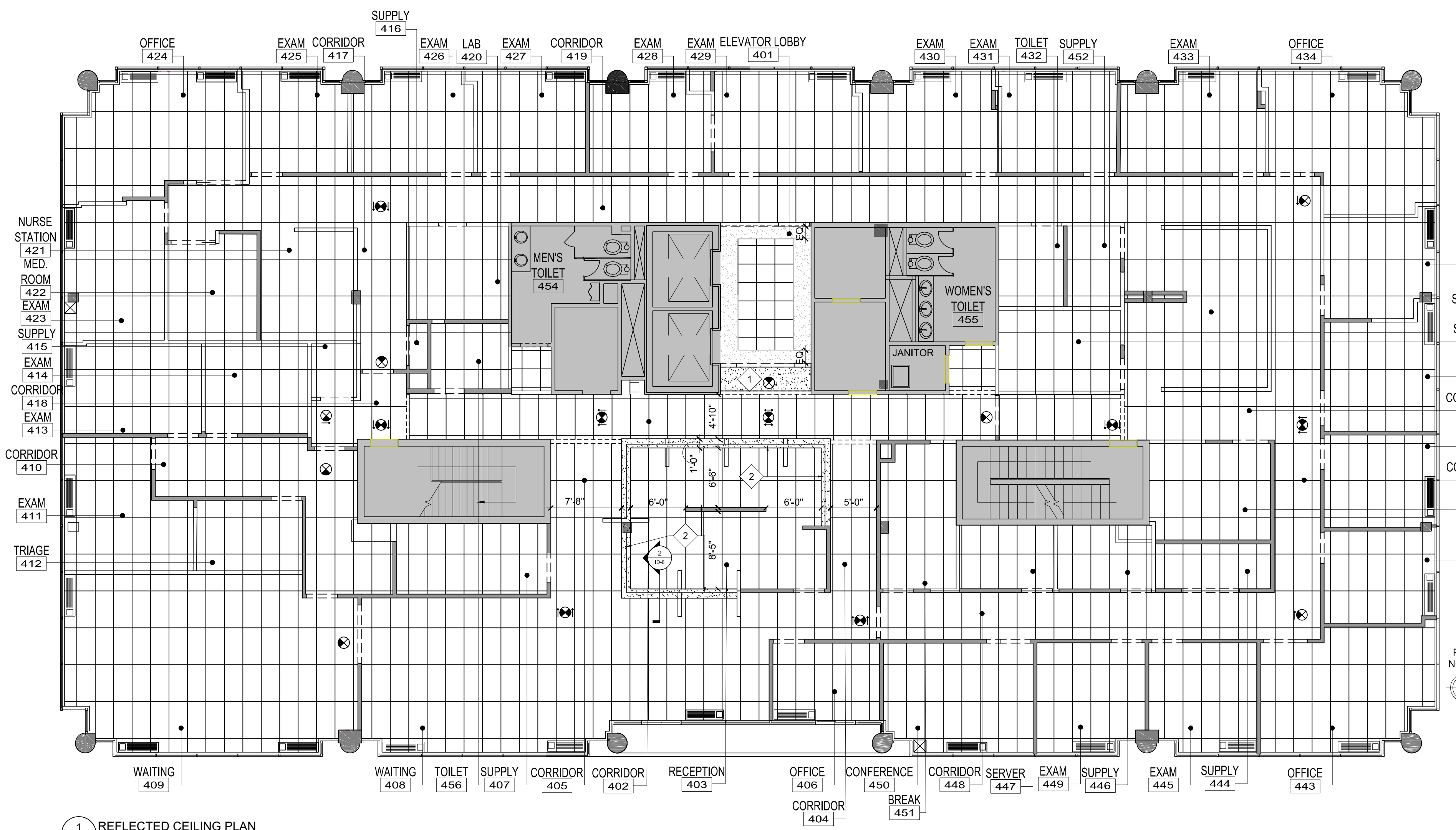
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UMMS PEDIATRICS
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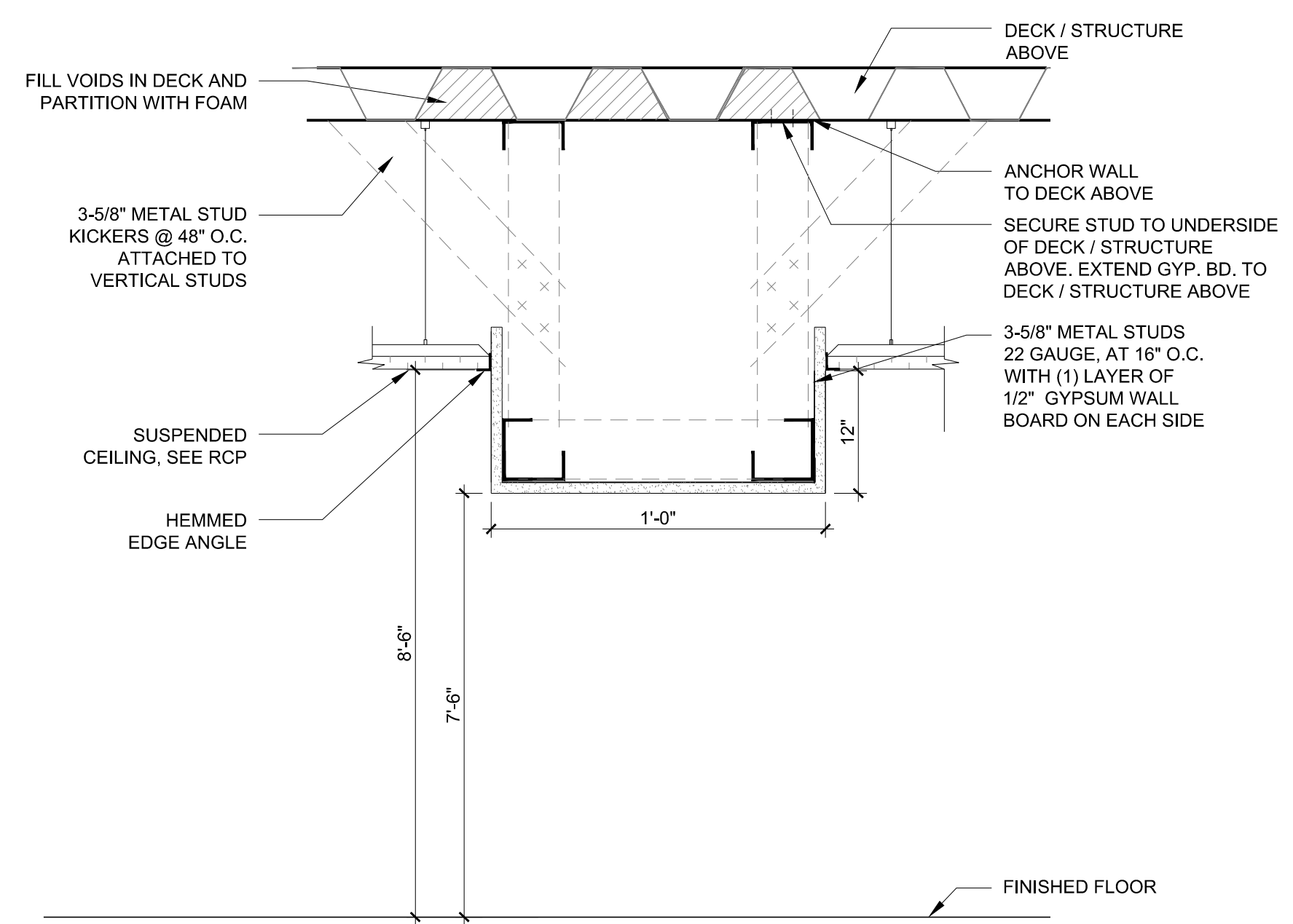
ELEVATIONS & DETAILS



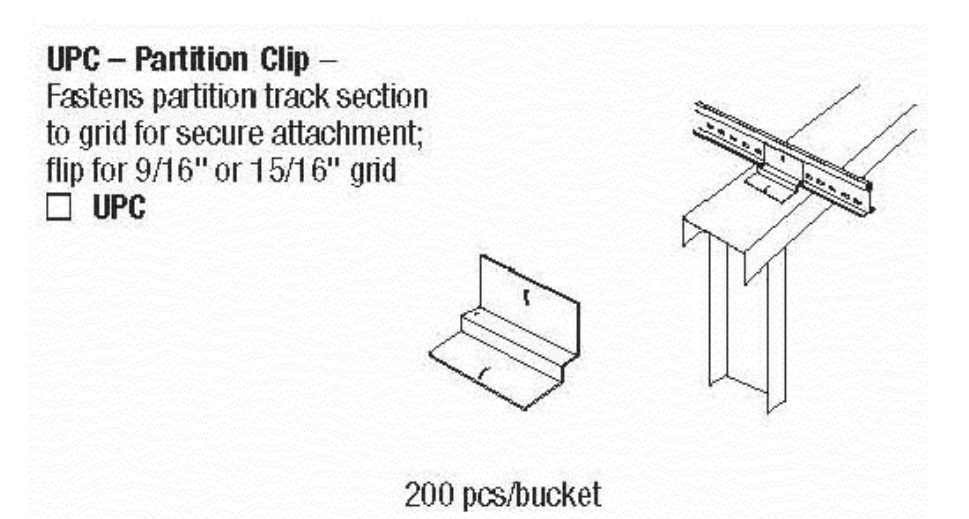
1 REFLECTED CEILING PLAN
10-8 1/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
	ALL ITEMS ARE NEW U.N.O.
	2'X2' METALUX CRUZE ST 24C22 LED FIXTURE, WITH TENMAT -2X2 FIRE RATED LIGHT COVER. SEE ENGINEER DRAWINGS FOR LOCATION.
	2'X4' METALUX CRUZE ST 24C22 LED FIXTURE, WITH TENMAT FF130-2X4 FIRE RATED LIGHT COVER. SEE ENGINEER DRAWINGS FOR LOCATION.
	BUILDING STANDARD EXIT LIGHT - HATCH & ARROWS INDICATE LIGHTED SIDE & DIRECTION OF TRAVEL. EXIT SIGN TO BE: CHLORIDE BY SIGNIFY, 45VL CEILING MOUNTED, WHITE HOUSING WITH GREEN OR RED LETTERS (SINGLE OR DOUBLE FACED AS INDICATED ON PLAN). LIGHT CONTROL RELAYS: BODINE, GTC-20
	NEW DRYWALL CEILING, PAINT COLOR(S) SPECIFIED ON FINISH MATERIAL LEGEND. SEE PLAN FOR LOCATIONS, DIMENSIONS AND HEIGHTS
	NEW DRYWALL BULKHEAD, PAINT COLOR(S) SPECIFIED ON FINISH MATERIAL LEGEND. SEE PLAN FOR LOCATIONS, DIMENSIONS AND HEIGHTS
	NEW ARMSTRONG DUNE #1851 2'X4' SQUARE LAY-IN CEILING TILES, AND 15/16" PRELUDE FIREGUARD GRID SUSPENSION SYSTEM. ALL LIGHTS TO BE TENTED.
	NEW ARMSTRONG DUNE #1850 2'X2' SQUARE LAY-IN CEILING TILES, AND 15/16" PRELUDE FIREGUARD GRID SUSPENSION SYSTEM. ALL LIGHTS TO BE TENTED.



2 BULKHEAD DETAIL
10-8 1/2" = 1'-0"



3 PARTITION CLIP
10-8 1/8" = 1'-0"

GENERAL NOTES:

- REFLECTED CEILING PLAN
- ADD AND RELOCATE SPRINKLER HEADS AS REQUIRED BY CODE. SPRINKLER CONTRACTOR TO LAYOUT ALL REQUIRED HEADS PER NEW LAYOUT AND PROVIDE TO NFD FOR APPROVAL. SPRINKLER HEAD LOCATION SUPERSEDES LIGHT FIXTURE LOCATION. SPRINKLER WORK TO BE COMPLETED UNDER A SEPARATE PERMIT. NOTIFY NFD OR ENGINEER IF SPRINKLER HEAD LOCATION INTERFERES WITH LIGHT FIXTURE LOCATION.
 - NEW CEILING HEIGHT TO BE AT SAME HEIGHT AS REMOVED.
 - CONTRACTOR TO FASTEN WALLS TO EXISTING CEILING GRID USING ARMSTRONG PARTITION CLIP, DO NOT PENETRATE GRID. SELECT CLIP FOR FIRE GUARD.
 - ALL EXISTING EXIT SIGNS, SPRINKLER HEADS AND OTHER CEILING APPURTENANCES ARE TO REMAIN.
 - CENTER LIGHT FIXTURES WITHIN CEILING TILES AS INDICATED GRAPHICALLY U.N.O.
 - LIGHT FIXTURE LOCATIONS AND QUANTITIES ARE INTENDED TO PROVIDE GENERAL OVERALL ILLUMINATION ONLY.
 - LIGHT FIXTURES IN A DEFINED SPACE WHICH ARE NOT KEYED ARE OPERATED BY THE SWITCH LOCATED NEAREST TO THE DOORWAY.
 - CONTRACTOR SHALL NOTIFY NFD IF MECHANICAL OR STRUCTURAL MEMBERS INHIBIT PROPOSED LOCATION OF RECESSED FIXTURES.
 - DESIGN INTENT IS FOR CEILING HEIGHTS INSTALLED AT SAME HEIGHT AS EXISTING.
 - FIRE MARSHAL TO LOCATE ALL EMERGENCY EQUIPMENT AND LIGHTING IN FIELD. EQUIPMENT/ LIGHTING TO BE BUILDING STANDARD.
 - ELECTRICIAN TO DETERMINE EMERGENCY BATTERY LIGHTING PER PLAN AND COUNTY CODE.
 - CONTRACTOR TO REPLACE ANY STAINED OR DAMAGED CEILING TILES THROUGHOUT TO MATCH EXISTING IN ALL RESPECTS. DO NOT MIX AND MATCH NEW AND EXISTING TILES IN THE SAME SPACE.
 - ENGINEERING DRAWING(S) SUPERCEDE INTERIOR DESIGN DRAWING(S) U.N.O. NOTIFY NFD IF THERE ARE DISCREPANCIES PRIOR TO CONSTRUCTION. COORDINATE ALL LIGHT FIXTURE LOCATIONS WITH ENGINEER DRAWINGS.
 - PROVIDE NEW MOTION SENSORS AS REQUIRED TO ACCOMMODATE NEW TENANT LAYOUT. SEE ENGINEER PLANS FOR SWITCH/ MOTION SENSOR QUANTITY AND LOCATIONS.
 - PROVIDE TENMAT OR EQUAL FIRE RATED LIGHT COVERS ON TOP OF ALL RECESSED AND TROFFER TYPICAL LIGHTING IN SUITE. RATING TO BE EQUAL TO 1HR. RATING.

DRAWING NOTES:

- REFLECTED CEILING PLAN
- EXTEND EXISTING DRYWALL CEILING AT THIS LOCATION. ALIGN WITH EXISTING.
 - ALIGN BULKHEAD WITH RECEPTION TRANSACTION LEDGE BELOW.

UMMS PEDIATRICS
 1104 KENILWORTH DRIVE
 SUITE 400
 TOWSON, MD 21204
 REFLECTED CEILING PLAN & NOTES

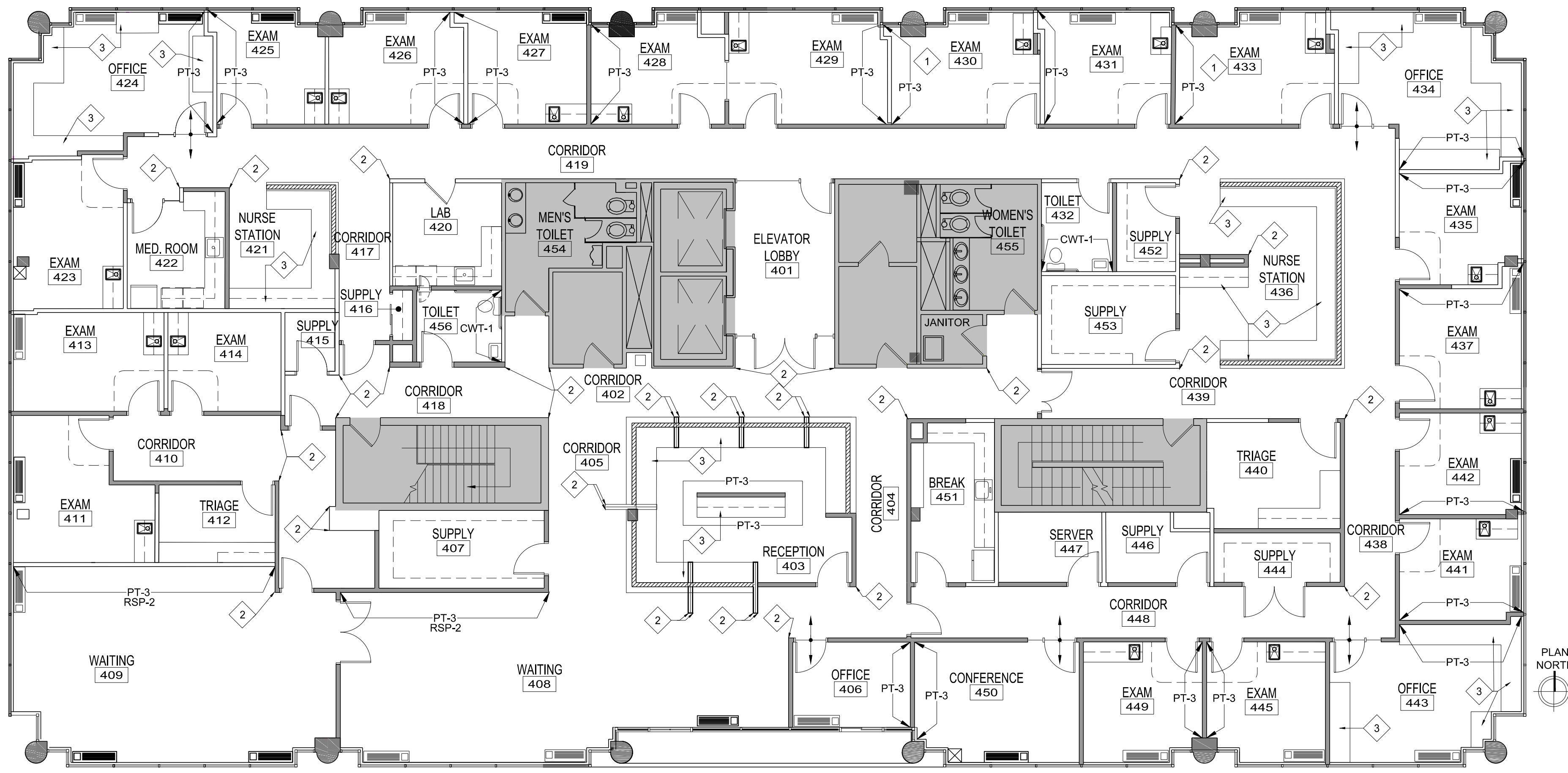
APPROVALS:

DATE	BY

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ISSUE DESCRIPTION:			
#	DATE	DESCRIPTION	BY
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DATE:	3/2/2026
SCALE:	AS NOTED
DRAWN BY:	JA
DESIGN BY:	EP
CHECKED BY:	EP
PROJECT #	UZ065



DRAWING NOTES:

- FINISH PLAN**
- 1 PROVIDE AND INSTALL BLACKOUT ROLLER SHADES (WT-2) IN THIS ROOM ONLY. SEE MATERIAL LEGEND FOR SPECIFICATION. PENDING LANDLORD APPROVAL.
 - 2 INSTALL CG-1 AT THIS LOCATION FROM ABOVE BASE TO 48" A.F.F.
 - 3 **BASE BID:**
PROVIDE PLASTIC LAMINATE PL-4
ALTERNATE #1:
PROVIDE SSM-2 IN LIEU OF PLASTIC LAMINATE PL-4.

GENERAL NOTES:

- FINISH PLAN**
- A. EXISTING BUILDING STANDARD WINDOW BLINDS TO REMAIN THROUGHOUT SUITE. REPAIR AS NECESSARY.
 - B. CREATE A LEVEL TRANSITION BETWEEN FLOOR FINISHES. ALL TRANSITIONS TO BE SMOOTH AND ADA COMPLIANT.
 - C. ENSURE WALLS AND FLOORS HAVE BEEN PROPERLY PREPARED PRIOR TO INSTALLING NEW FINISHES. WHERE FLOOR FINISHES ARE NOT AT SAME HEIGHT, CONTRACTOR TO FEATHER FLOOR UP TO CREATE A LEVEL TRANSITION.
 - D. REFER TO CONSTRUCTION PLAN FOR ELEVATION REFERENCE SYMBOLS. ELEVATIONS PROVIDE MORE DETAILED WALL FINISH LOCATIONS.
 - E. REMOVE ALL ACCESSORIES, PICTURES AND OTHER ITEMS FROM WALLS PRIOR TO APPLYING NEW FINISHES. EXIT SIGNS TO REMAIN AT ALL TIMES.
 - F. ENSURE FLOORING MATERIAL AND/OR COLOR CHANGE OCCURS UNDER CENTERLINE OF DOOR.
 - G. PROVIDE SPECIFIED TRANSITION STRIP TO ENSURE TRANSITION OCCURS AT CENTERLINE OF DOOR/ OPENING AND IS SMOOTH AND ADA COMPLIANT. SEE MATERIAL LEGEND FOR SPECIFICATION.
 - H. CREATE A LEVEL TRANSITION BETWEEN FLOOR FINISHES. ALL TRANSITIONS TO BE ADA COMPLIANT. CONTRACTOR TO FIELD VERIFY THAT TRANSITION STRIPS SPECIFIED ARE APPROPRIATE AND WILL ACCOMMODATE CONDITIONS / MATERIALS PRIOR TO ORDERING MATERIALS.
 - I. DOORS, FRAMES AND RESTROOMS ARE TO BE PAINTED USING SEMI-GLOSS PAINT FINISH. ALL OTHERS AREAS TO BE PAINTED USING SATIN FINISH U.N.O.
 - J. SEE PLAN FOR ACCENT WALL LOCATION(S).
 - K. SOFFIT AND BULKHEAD FACE TO MATCH THE IMMEDIATE, ADJACENT WALL FINISHES U.N.O.
 - L. PROVIDE FINAL CLEANING PRIOR TO OWNER OCCUPANCY.
 - M. **BASE BID:**
EXISTING BLINDS TO REMAIN. PROVIDE NEW ROLLER SHADES ON THE INTERIOR SIDE OF EXISTING BLINDS.
ADD ALTERNATE #1:
REMOVE ALL EXISTING BLINDS AND PROVIDE NEW ROLLER SHADES (WT-1) THROUGHOUT U.N.O. SEE FINISH SCHEDULE FOR MORE INFORMATION. PENDING LANDLORD'S APPROVAL.

2 FINISH PLAN
ID-9 1/8" = 1'-0"

MATERIAL LEGEND

CODE	MATERIAL	MANUFACTURER	STYLE	COLOR	DESCRIPTION	REPRESENTATIVE
FLOORING						
LVT-1	LUXURY VINYL TILE (PLANK)	SHAW CONTRACT	INLET II - 4372V	THATCH- 72720	9" X 48", 5 MIL THICKNESS SEE PLAN FOR DIRECTION, BRICK INSTALL, 20 MIL WEAR LAYER, SQUARE EDGE	LAURA KERRIS 301-529-6346
CPT-1	CARPET TILE	SHAW CONTRACT	DAYDREAMER TILE - 57959	CULTIVATE - 93580	24" X 24" MONOLITHIC INSTALLATION	LAURA KERRIS 301-529-6346
BASE						
VB-1	VINYL BASE	JOHNSONITE	TH3	INKWELL	4" H X 1/8" THICK, CONTINUOUS COVE BASE, ROLL GOODS	MARIA ORTIZ 202-525-9819
CEILING & WALLS						
CWT-1	CERAMIC WALL TILE	ARCHITESSA	OVERLOOK	BLUE GLOSSY	2.36" X 9.44 BRICK WALL TILE, BRICK INSTALL	KERSI PRESS 240-676-0097
CWTG-1	CERAMIC WALL TILE GROUT	LATICRETE	09	FROSTY	GROUT TO BE USED WITH CWT-1. INSTALL PER TCNA HANDBOOK FOR INSTALLATION. KEEP GROUT JOINT TO MIN. WIDTH ACCEPTABLE.	T.B.D.
CG-1	CORNER GUARDS	C/S ACROVYN	SSM-20AN	TETON WHITE #517	2" H X 2" W WINGS W/ 3" NOSE RADIUS AND ALUMINUM RETAINER.	WILL BOARDMAN (804) 223-3134 X 105
RSP-1	RIGID SHEET PROTECTION	C/S ACROVYN	0.40" THICKNESS	TETON WHITE #517	PROVIDE WALL PROTECTION (ACROVYN) TO 48" ABOVE FINISHED FLOOR AT ALL CORRIDORS BOTH SIDES. ALL EXAM ROOMS AND WAITING ROOMS, WITH PAINT ABOVE. USE WITH RT-1 (TRIM).	WILL BOARDMAN (804) 223-3134 X 105
RSP-2	RIGID SHEET PROTECTION	C/S ACROVYN	0.40" THICKNESS SUEDE TEXTURE	ASPEN #848	PROVIDE WALL PROTECTION (ACROVYN) TO 48" ABOVE FINISHED FLOOR AT EXAM ROOMS/ ACCENT WALL LOCATIONS AND WAITING ROOMS, WITH PAINT ABOVE. SHEET SIZE 4'X10'. USE WITH RT-2 (TRIM).	WILL BOARDMAN (804) 223-3134 X 105
RT-1	RIGID TRIM	C/S ACROVYN	WCWT-WAINSCOT	TETON WHITE #517	USE WITH RSP-1.	WILL BOARDMAN (804) 223-3134 X 105
RT-2	RIGID TRIM	C/S ACROVYN	WCWT-WAINSCOT	ASPEN #848	USE WITH RSP-2.	WILL BOARDMAN (804) 223-3134 X 105
PT-0	PAINT - CEILING	SHERWIN WILLIAMS	SW-7007	CEILING BRIGHT WHITE	FLAT FINISH, CEILING PAINT @ DRYWALL THROUGHOUT UNO	BROOK ARMBRUSTER 216-904-7393
PT-1	PAINT - GENERAL	SHERWIN WILLIAMS	SW-6126	NAVAJO WHITE	SATIN FINISH, GENERAL PAINT THROUGHOUT	BROOK ARMBRUSTER 216-904-7393
PT-2	PAINT - TRIM AND DOORS	SHERWIN WILLIAMS	SW-6126	NAVAJO WHITE	SEMI-GLOSS FINISH, GENERAL TRIM PAINT THROUGHOUT	BROOK ARMBRUSTER 216-904-7393
PT-3	PAINT - ACCENT	SHERWIN WILLIAMS	SW-8226	LANGUID BLUE	SATIN FINISH ACCENT PAINT, SEE PLAN FOR LOCATION (S)	BROOK ARMBRUSTER 216-904-7393
MILLWORK						
PL-1	PLASTIC LAMINATE	FORMICA FENIX	J0029 STANDARD	BLANCO MALE	INSTALL PER MANUFACTURER'S INSTRUCTIONS.	BERNIE PICKETT 215-997-4565
PL-2	PLASTIC LAMINATE	WILSONART	4942-38 FINE VELVET FINISH	CRISP LINEN	INSTALL PER MANUFACTURER'S INSTRUCTIONS.	MIKE MILLNER 856-866-9400
PL-3	PLASTIC LAMINATE	FORMICA FENIX	J0754 STANDARD	BLU FES	INSTALL PER MANUFACTURER'S INSTRUCTIONS.	BERNIE PICKETT 215-997-4565
PL-4	PLASTIC LAMINATE	WILSONART	4856-60 MATTE FINISH	CLOUD ZEPHYR	INSTALL PER MANUFACTURER'S INSTRUCTIONS.	MIKE MILLNER 856-866-9400
SSM-1	SOLID SURFACE MATERIAL	CORIAN	--	STONIQUE	SEE SCHEDULE & ELEVATIONS FOR MORE INFORMATION	LISA RINE 410-458-1577
SSM-2	SOLID SURFACE MATERIAL	CORIAN	--	LAGUNA TERRAZZO	SEE SCHEDULE & ELEVATIONS FOR MORE INFORMATION	LISA RINE 410-458-1577
MISC						
PC-1	PRIVACY CURTAIN	EYKON	ESSENCE	COOL MIST CES-05	73.5" WIDTH, FABRIC COMES RAILROADED SO WILL NOT NEED TO BE SEAMED WHEN FABRICATED. PROVIDE 18" OF MATCHING MESH AT TOP OF CURTAIN REQUIRED FOR SPRINKLER COVERAGE. USE WITH INPRO OPTICTRAC. TRACK MOUNTED TO CEILING GRID.	KRISTIN EDWARDS 703-795-5018
WT-1	ADD ALT. #5 WINDOW TREATMENT - ROLLER LANDLORD TO APPROVE	MECHO SHADES	EUROVEIL BASKET WEAVE 5% 5300 SERIES	T.B.D.	TYPICAL OFFICE AS SCHEDULED. SELECT FACIA COLOR, MANUAL/ MOTORIZED, ADD DETAIL WHEN NECESSARY. LOOK AT CUT SHEET FOR OPTIONS	DENISE KHOURY 301-574-3840
WT-2	WINDOW TREATMENT - ROLLER LANDLORD TO APPROVE	MECHO SHADES	EUROVEIL BASKET WEAVE 5% 5300 SERIES + EQUINOX BLACKOUT 0100 SERIES	T.B.D.	WT-1 + BLACK SHADE + WT-2. (EXAM 430 & 433). CONFIRM WITH CLIENT.	DENISE KHOURY 301-574-3840

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	DOORS	DOOR FRAMES	MILLWORK			NOTES
							BASE CABINET	OVERHEAD CAB SHELVES	COUNTERTOP AND SPLASHES	
401	ELEVATOR LOBBY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
402	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	--	SSM-2	--
403	RECEPTION	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	PL-1	SSM-2/PL-4	--
404	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	--	SSM-2	--
405	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	--	SSM-2	--
406	OFFICE	CPT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
407	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
408	WAITING	LVT-1	VB-1	PT-1/PT-3	PT-2	PT-2	PL-3	--	SSM-2	--
409	WAITING	LVT-1	VB-1	PT-1/PT-3	PT-2	PT-2	--	--	--	--
410	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
411	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	PL-4	--
412	TRIAGE	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
413	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
414	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
415	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
416	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
417	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
418	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
419	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
420	LAB	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
421	NURSE STATION	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	PL-1	SSM-2/PL-4	--
422	MED. ROOM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
423	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
424	OFFICE	CPT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
425	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
426	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
427	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
428	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
429	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
430	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
431	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
432	TOILET	LVT-1	VB-1	PT-1/ CWT-1	PT-2	PT-2	--	--	--	--
433	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
434	OFFICE	CPT-1	VB-1	PT-1	PT-2	PT-2	PL-4	--	--	--
435	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
436	NURSE STATION	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	PL-1	SSM-2/PL-4	--
437	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
438	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
439	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
440	TRIAGE	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
441	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
442	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
443	OFFICE	CPT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
444	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
445	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
446	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
447	SERVER	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
448	CORRIDOR	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
449	EXAM	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-2	PL-1	SSM-1	--
450	CONFERENCE	CPT-1	VB-1	PT-1/PT-3	PT-2	PT-2	--	--	--	--
451	BREAK	LVT-1	VB-1	PT-1	PT-2	PT-2	PL-3	PL-1	SSM-2	--
452	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
453	SUPPLY	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
454	MEN'S TOILET	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
455	WOMEN'S TOILET	LVT-1	VB-1	PT-1	PT-2	PT-2	--	--	--	--
456	TOILET	LVT-1	VB-1	PT-1/ CWT-1	PT-2	PT-2	--	--	--	--



interior planning + design

124 lakefront drive
hunt valley, md 21030
410.785.7795

PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 12986. EXPIRATION DATE 2022-12-14. BRIAN CHRISTOPHER OLSEN

UMMS PEDIATRICS
 1104 KENILWORTH DRIVE
 SUITE 400
 TOWSON, MD 21204
 FINISH PLAN & SCHEDULES

APPROVALS:
DATE BY

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DATE: 3/2/2026
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ID-9