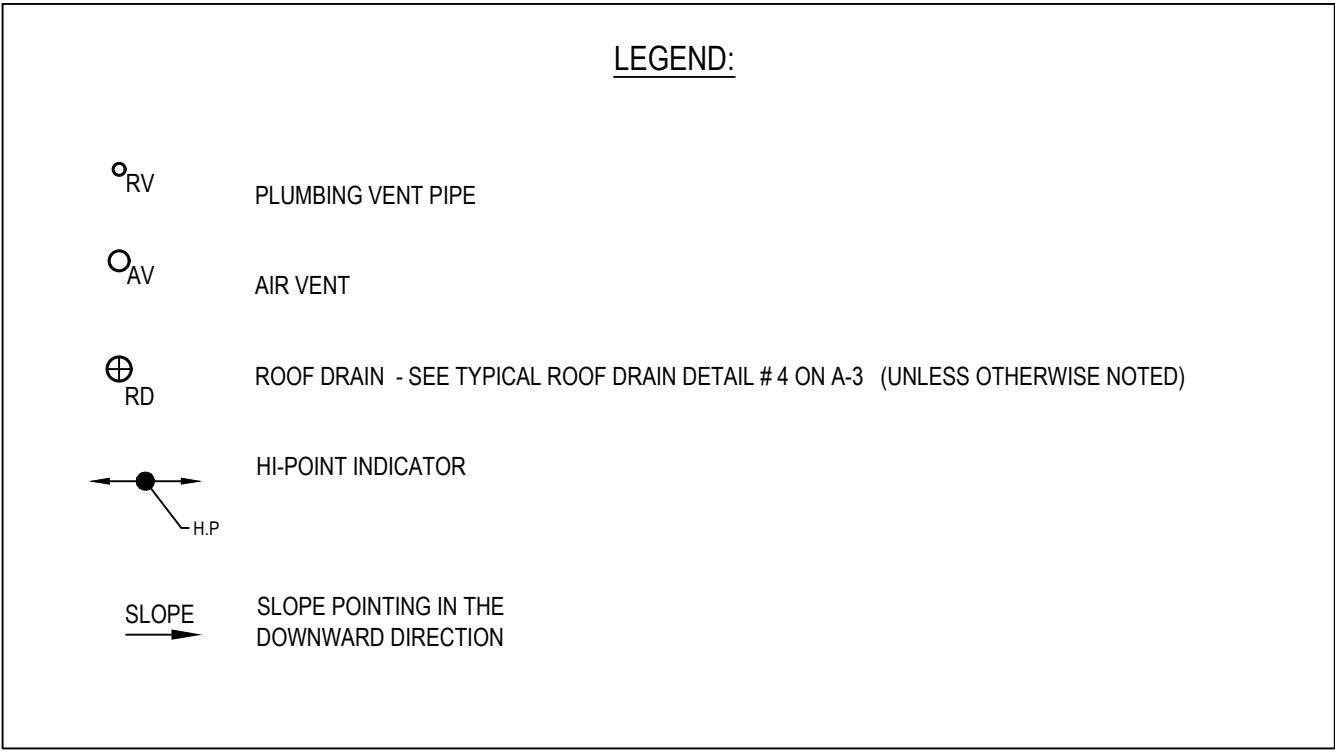


GENERAL NOTES

- IT IS THE INTENT OF THIS CONTRACT THAT THE ROOFING SYSTEM BE SELECTIVELY DEMOLISHED AS OUTLINED ON THE DRAWINGS IN PREPARATION FOR NEW WORK.
- TEMPORARILY ENCLOSE AREAS EXPOSED TO THE ELEMENTS TO ENSURE THE WATER TIGHTNESS OF THE BUILDING.
- PROTECT BUILDING FROM DAMAGE WHILE REMOVING AND STORING ITEMS DESIGNATED TO BE SALVAGED.
- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE SCOPE AND LIMITS OF NEW WORK.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING AND TEMPORARY SUPPORT AS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES TO REMAIN.
- CONTRACTOR SHALL REMOVE ALL EXTRANEIOUS ANCHORS, FASTENERS, AND ACCESSORIES ON EXISTING ROOF DECK TO REMAIN.
- REMOVE ALL TRASH AND DELETERIOUS MATERIALS FROM THE SITE.
- SECURE OPENINGS AGAINST WEATHER, DAMAGE, AND UNAUTHORIZED ENTRY AT THE END OF EACH WORK DAY.
- PROTECT ALL EXISTING STRUCTURE, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
- PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN.
- LEAVE DEMOLISHED AREAS READY TO RECEIVE NEW WORK. AFTER DEMOLITION IS COMPLETE, CONTRACTOR TO REPAIR ALL DAMAGE.
- MAINTAIN TOTAL CONTROL OF DUST, AND BLOWING, AND DROPPING DEBRIS.
- KEEP ALL SURROUNDING TRAFFIC WAYS, BOTH PEDESTRIAN AND VEHICULAR, OPEN AND CLEAN AT ALL TIMES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. RESOLVE ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOT RELY ON MEASUREMENTS SCALED FROM THESE DRAWINGS.
- DIMENSIONS SHOWN ARE TO THE FACE OF FINISH SURFACE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FLUSH ALL ROOF DRAIN PIPING, IN THEIR ENTIRETY, FROM ROOF DRAIN BASIN OUT TO DISCHARGE, OR, STORM WATER TIE-IN. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS IN AN APPROVED MANNER.
- CONTRACTOR SHALL EXTEND ALL PLUMBING VENT PIPES AS NEEDED TO BRING TOP OF PIPE TO A MINIMUM OF 8" ABOVE THE NEW ROOF MEMBRANE AT THE PIPE PENETRATION OF THE ROOF ASSEMBLY.



KEYED DEMOLITION NOTES:

- REMOVE EXISTING SINGLE PLY MEMBRANE ROOF, EXISTING RIGID INSULATION AND EXISTING GRAVEL, BENEATH THE RIGID INSULATION, AND THE ASPHALT BUILT UP ROOFING DOWN TO THE EXISTING WOOD ROOF DECK. REMOVAL SHALL BE ACCOMPLISHED WITHOUT THE USE OF AXES OR CHOPPING OF ANY KIND. CONTRACTOR SHALL PROTECT THE EXISTING WOOD DECK STRUCTURE FROM ANY DAMAGE.
- REMOVE EXISTING METAL COPING, EXISTING SINGLE PLY MEMBRANE ROOFING, AND ASPHALT BUILT-UP ROOF FLASHING BENEATH FROM THE FULL LENGTH AND HEIGHT OF PARAPET WALL.
- REMOVE AND DISPOSE OF EXISTING ROOF MEMBRANE VENT
- REMOVE AND DISPOSE OF EXISTING ATTIC VENT. SAW-CUT AND EXTEND EXISTING OPENING TO CREATE A SQUARE OPENING OVER THE CENTERLINE OF AT LEAST (2) EXISTING ROOF JOISTS. PATCH WOOD DECK OPENING WITH NEW LUMBER FLUSH TO EXISTING DECK.
- REMOVE EXISTING SINGLE PLY ROOF MEMBRANE THE FULL LENGTH AND WIDTH OF THE EXISTING DECK BELOW. PROTECT EXISTING METAL FLASHING ALONG DRIP EDGE OF SLATE SHINGLE ROOF.

GENERAL NOTES

NOTE: EXISTING ASPHALT BUILT UP ROOFING ASSEMBLY FOUND BELOW THE EXISTING LAYER OF RIGID INSULATION AND ON THE SURFACE OF THE PARAPET WALLS ARE ASBESTOS CONTAINING MATERIALS. THE CONTRACTOR SHALL REMOVE ALL OF THE ASPHALT BUILT UP ROOFING MATERIALS IN STRICT COMPLIANCE WITH THE PROCEDURES AND REGULATIONS STIPULATED IN THE CONTRACT DOCUMENTS

PROPERTY ADDRESS:

555 ALLIANCE ST  
HAVRE DE GRACE, MD 21078

BUILDING KNOWN AS: HAVRE DE GRACE COLORED SCHOOL MUSEUM & CULTURAL CENTER

FIRE DISTRICT: HARFORD COUNTY

LAND ZONING DESIGNATION: EC

GENERAL DESCRIPTIONS OF BUILDING USE: MUSEUM

FLOORS: (1) ABOVE GRADE, (1) BELOW GRADE

APPLICABLE BUILDING CODES

INTERNATIONAL EXISTING BUILDING CODE 2018  
INTERNATIONAL BUILDING CODE 2018 (SECTIONS AS SPECIFICALLY REFERENCED IN THE IBC 2018)  
INTERNATIONAL MECHANICAL CODE 2018  
INTERNATIONAL RESIDENTIAL CODE 2018  
INTERNATIONAL PLUMBING CODE 2018  
INTERNATIONAL ENERGY CONSERVATION CODE 2018  
INTERNATIONAL FUEL GAS CODE 2018  
NATIONAL ELECTRIC CODE 2020  
NFPA 101 LIFE SAFETY CODE 2018  
NFPA 1 FIRE PROTECTION CODE 2018  
COMAR 09.12.5  
COMAR 09.12.58

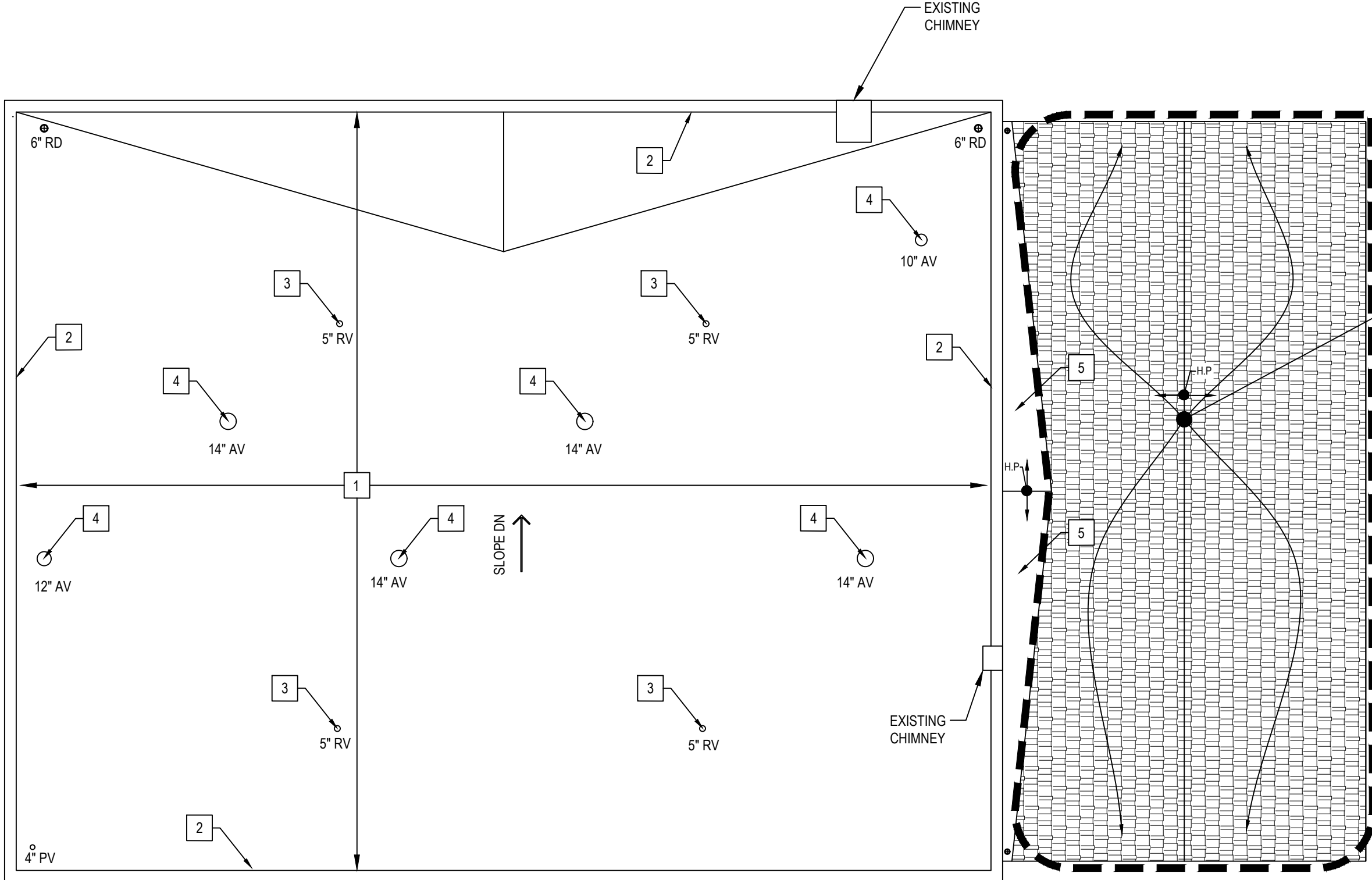
CLASSIFICATION OF WORK

INTERNATIONAL EXISTING BUILDING CODE 2018; COMPLIANCE METHOD "WORK AREA COMPLIANCE"  
WORK AREA CLASSIFICATION: "ALTERATIONS LEVEL 1"

NFPA 101 LIFE SAFETY CODE: CHAPTER 43-EXISTING BUILDING CLASSIFICATION OF THE WORK:  
WORK AREA CLASSIFICATION: "RENOVATIONS"

USE GROUP: A-3 MUSEUM

CONSTRUCTION TYPE II-B PER IBC 2018



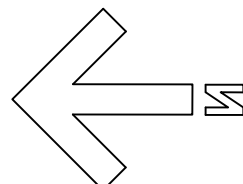
ALTERNATE #1:

REMOVE EXISTING SLATE ROOFING AND UNDERLAYMENT IN THEIR ENTIRETY DOWN TO THE EXISTING WOOD ROOF DECK. PROTECT EXISTING WOOD DECK FROM DAMAGE.

THE EXISTING UNDERLAYMENT BENEATH THE EXISTING SLATE SHINGLES IS ASSUMED TO BE ASBESTOS CONTAINING MATERIAL. THE CONTRACTOR SHALL HAVE THE UNDERLAYMENT SAMPLED AND TESTED BY AEROSOL MONITORING & ANALYSIS, INC. AT THE CONTRACTOR'S EXPENSE, PRIOR TO THE REMOVAL OF THE EXISTING SLATE ROOFING. THE POINT OF CONTACT AT AEROSOL MONITORING & ANALYSIS, INC. IS: GARY URBAN  
PHONE: 410-684-3327  
EMAIL: GARYU@AMACONSULTING.COM  
IF THE SAMPLE TESTS POSITIVE AS AN ASBESTOS CONTAINING MATERIAL, THE CONTRACTOR SHALL REMOVE THE UNDERLAYMENT IN STRICT COMPLIANCE WITH THE PROCEDURES AND REGULATIONS STIPULATED IN THE CONTRACTOR DOCUMENTS.

DEMOLITION ROOF PLAN

SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



3700 Koppers Street, Suite 300  
Baltimore, Maryland 21227-1044  
Telephone Number: 410-234-8444

"PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 21386, EXPIRATION DATE 01/11/2026."

ALL REPRODUCTION IS PROHIBITED

CONSULTANTS:

PROJECT:

HAVRE DE GRACE COLORED SCHOOL  
MUSEUM & CULTURAL CENTER  
555 ALLIANCE STREET  
HAVRE DE GRACE, MD 21078

|           |                 |
|-----------|-----------------|
| PROJ. NO: | 20671           |
| DATE:     | 4/24/24 BID SET |
| SCALE:    | AS NOTED        |
| REVISION: |                 |
|           |                 |
|           |                 |

GENERAL NOTES,  
BUILDING DATA, &  
DEMOLITION  
ROOF PLAN

SHEET NO. 3 OF 5

A-1

BUILDING DATA