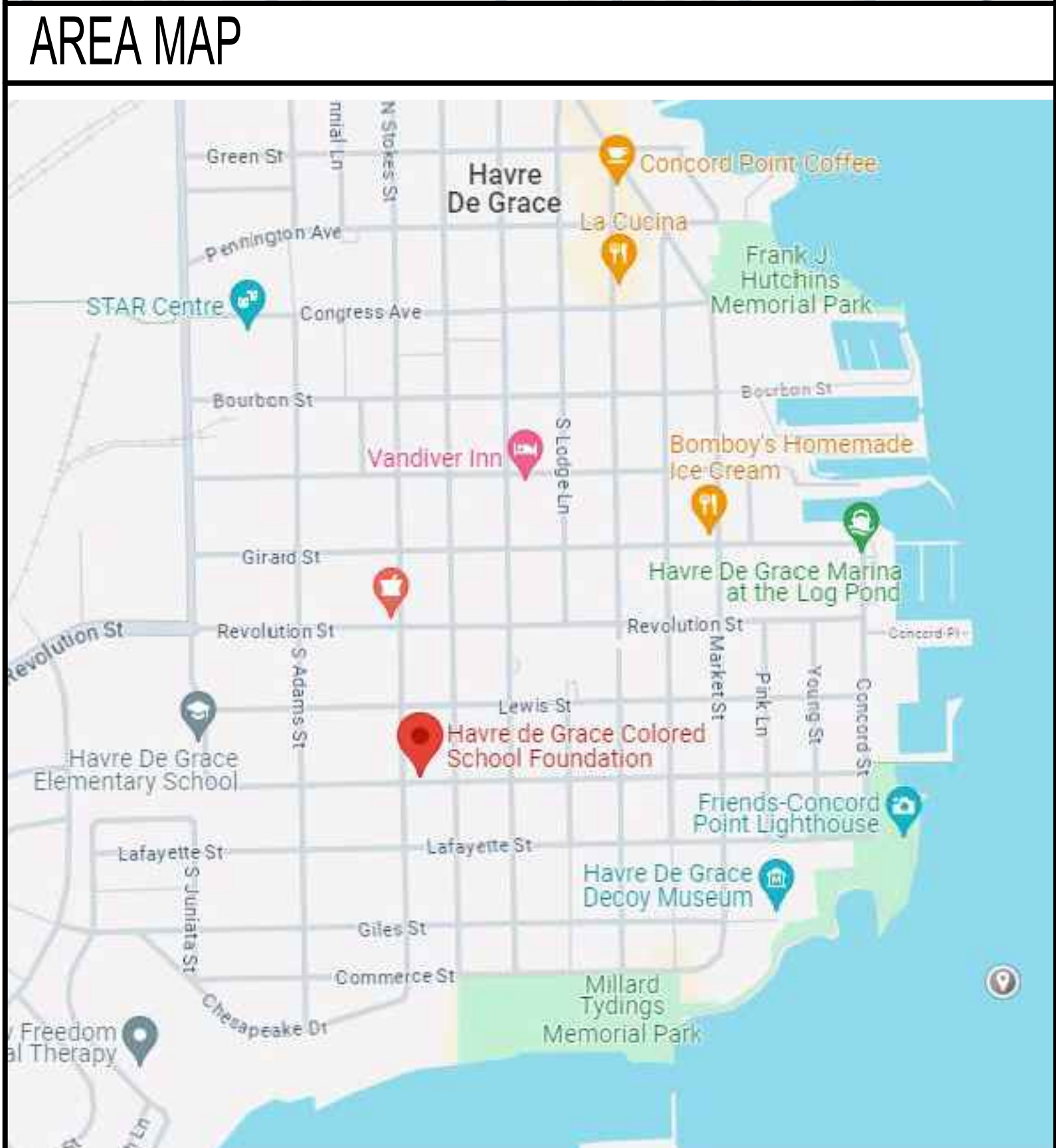
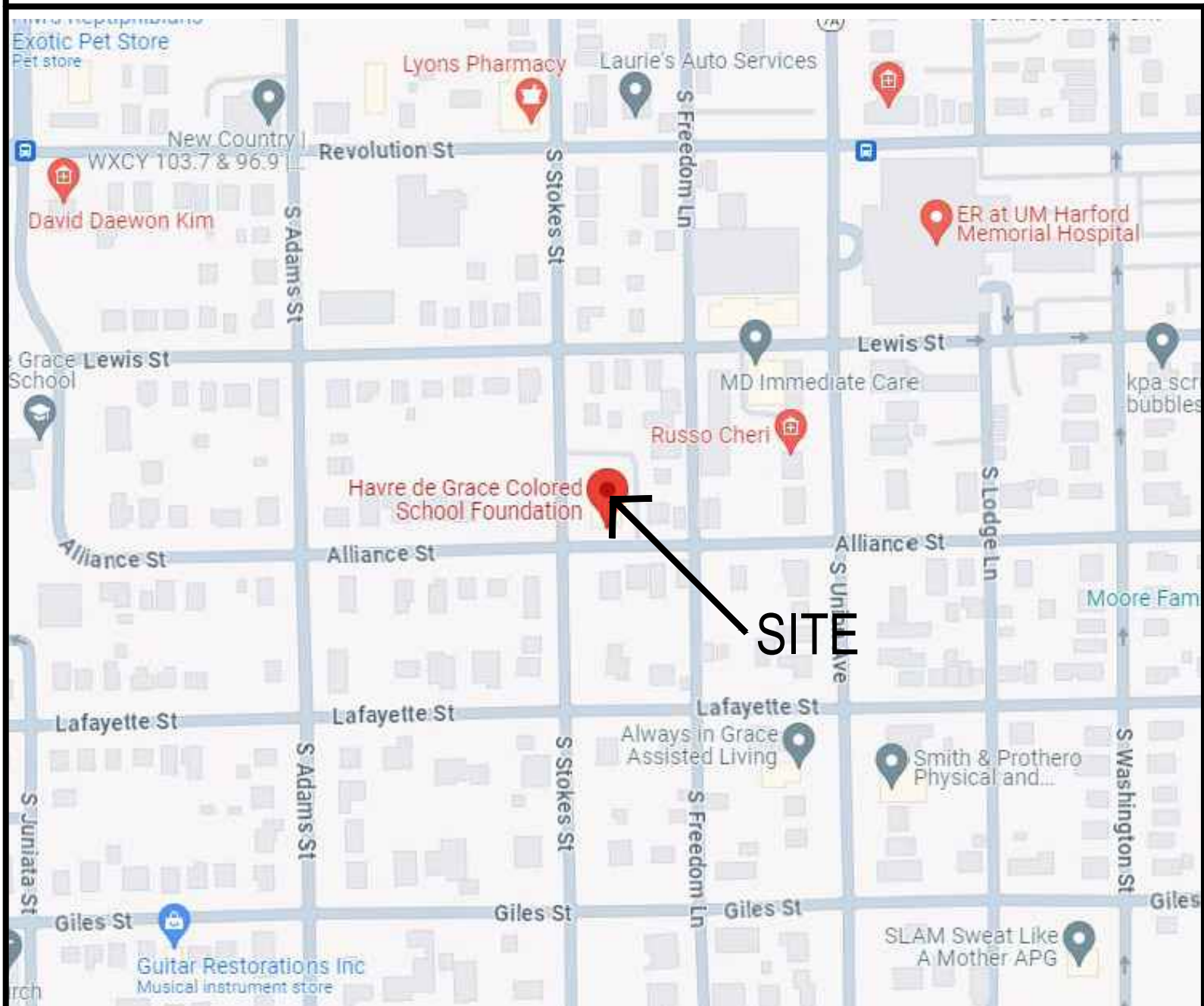


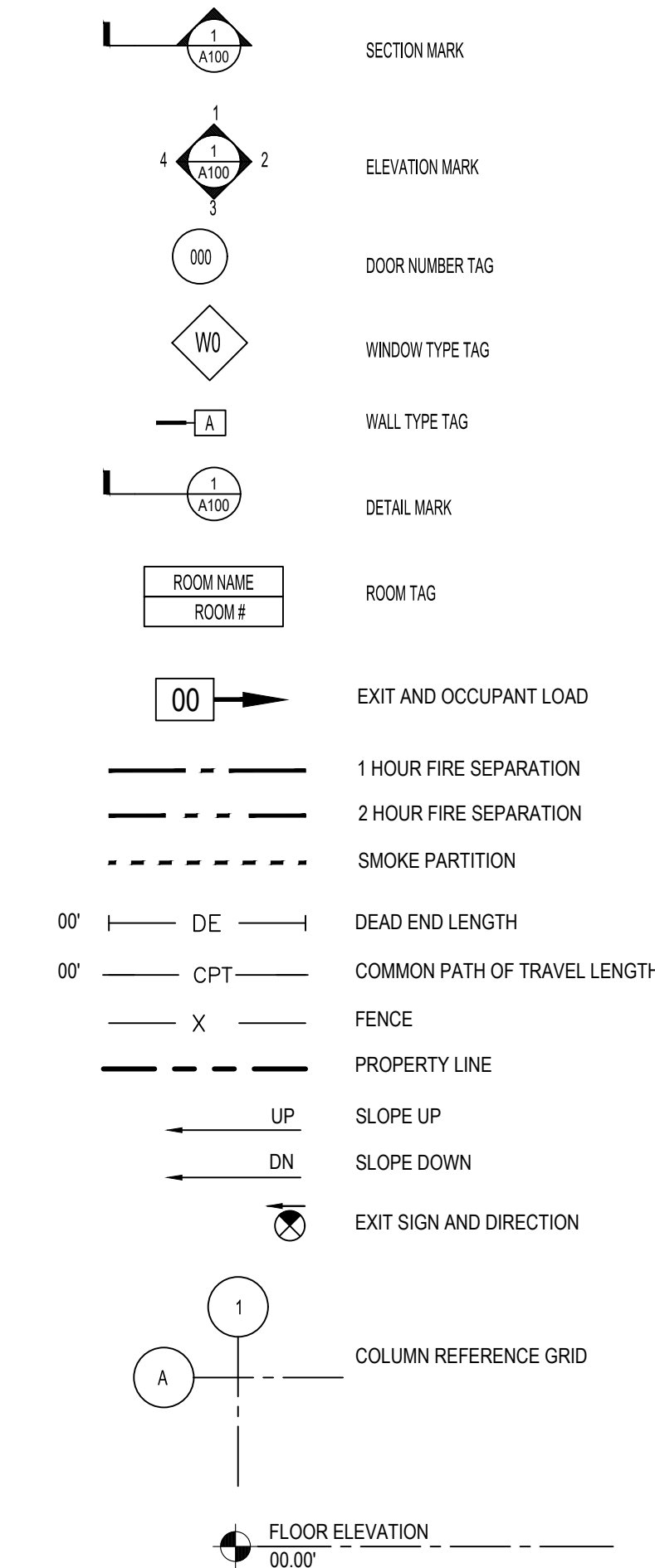
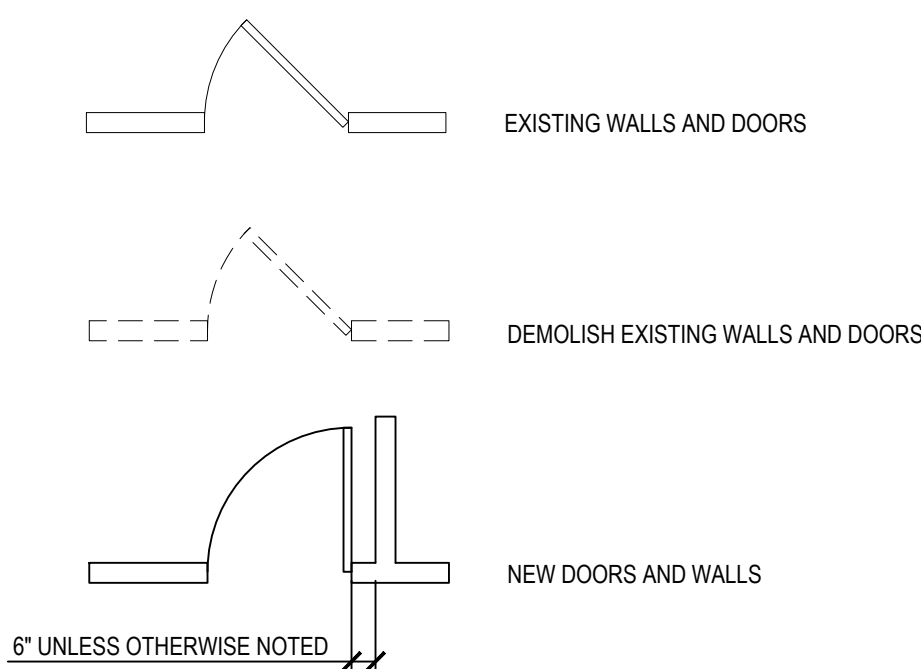
# HARVE DE GRACE COLORED SCHOOL MUSEUM & CULTURAL CENTER

555 ALLIANCE STREET  
HAVRE DE GRACE, MARYLAND 21078



VICINITY MAP

SYMBOL LEGEND



DISCIPLINE	SHEET TITLE	
GENERAL INFO	C-1	COVER SHEET
HAZMAT	H-1	HAZMAT ROOF PLAN
ARCHITECTURAL	A-1	GENERAL NOTES, BUILDING DATA, & DEMOLITION ROOF PLAN
	A-2	ROOF PLAN
	A-3	ROOF DETAILS

OWNER  
HAVRE DE GRACE COLORED SCHOOL  
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ARCHITECT  
RRMM ARCHITECTS  
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INDUSTRIAL HYGIENIST  
AEROSOL MONITORING & ANALYSIS  
1331 ASHTON ROAD, P.O. BOX 646  
HANOVER, MD 21076  
PHONE: 410-684-3327



3700 Koppers Street, Suite 300  
Baltimore, Maryland 21227-1044  
Telephone Number: 410-234-8444

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COVER  
SHEET

SHEET NO. 1 OF 5

C-1



BASE BID

ASBESTOS CONTAINING MATERIALS (ACM) HAVE BEEN IDENTIFIED IN THE BUILT UP ROOFING MATERIALS AND BLACK TAR ASSOCIATED WITH THE FLAT ROOF, PARAPET WALLS, AND CHIMNEYS OF THE 1936 BRICK BUILDING STRUCTURE. AND VALLEY TRANSITION MATERIALS ARE LOCATED UNDER NON-ASBESTOS TPO ROOF COVERING.

CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REMOVAL, HANDLING, PACKAGING AND DISPOSAL OF IDENTIFIED ACM ROOFING AND TAR MATERIALS FROM THE 1936 BRICK BUILDING STRUCTURE AND VALLEY TRANSITION USING EPA ACCREDITED, MARYLAND LICENSED ASBESTOS ABATEMENT CONTRACTOR/ PERSONNEL. ANY ROOF DECKING THAT IS REQUIRED TO BE REPLACED, DUE TO DAMAGE AND SHOWS ASBESTOS CONTAMINATION, MUST BE DISPOSED OF AS SUCH.

CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL INTERIOR AREAS AND EXTERIOR PUBLIC SPACES FREE OF DEBRIS DURING ENTIRE ROOF REMOVAL PROCESS. CARE MUST BE TAKEN IN AREAS WITHIN BUILDING WHERE EXISTING ROOF DAMAGE IS PRESENT.

ALL WORK MUST BE CONDUCTED IN COMPLIANCE WITH EPA 40 CFR PART 61, SUBPART M (NESHAP), OSHA 29 CFR 1926.1101-ASBESTOS IN CONSTRUCTION, COMAR 26.11.21-CONTROL OF ASBESTOS AND SECTION 02 10 00-REMOVAL OF ASEBSTOS CONTAINING ROOFING.

ADDITIONAL ASBESTOS MATERIALS ARE LOCATED WITHIN THE STRUCTURE, WHICH WILL BE ADDRESSED DURING LATER PHASES. REFER TO AMA HAZMAT INSPECTION REPORT(#24185-3/25/2024) FOR ADDITIONAL INFORMATION.

LEAD BASED PAINT (LBP) WAS IDENTIFIED ON METALVENTS LOCATED ON THE ROOF AREA OF1936 BRICK BUILDING STRUCTURE. THESE VENTS WILL BE REPLACED DURING LATER PHASES. IF IMPACTED DURING WORK, CONTRACTOR MUST ADHERE TO OSHA 29 CFR 1926.62-LEAD IN CONSTRUCTION AND EPA 40 CFR 260-268, WASTE CHARACTERIZATION AND DISPOSAL.

ALTERNATE #1

IT IS ASSUMED THAT ASBESTOS ROOFING IS PRESENT UNDER EXISTING SLATE ROOFING OF THE 1912 ORIGINAL WOOD STRUCTURE. CONTRACTOR IS RESPONSIBLE FOR PROVIDING UNIT RATE COST FOR THE REMOVAL AND DISPOSAL OF ASSUMED ASBESTOS ROOFING ASSOCIATED WITH THE 1912 ORIGINAL WOOD STRUCTURE ROOF.

PRIOR TO DISTURBANCE TO THE 1912 ORIGNAL STURCTURE SLATE ROOF, CONTRACTOR SHALL INCLUDE IN THEIR COST FOR AN INDEPENDENT THIRD-PARTY, MARYLAND ACCREDITED AHERA ASBESTOS INSPECTOR TO CONDUCT TESTING OF THE ROOFING MATERIALS ASSOCIATED WITH THE 1912 ORIGINAL STRUCTURE SLATE ROOFING MATERIALS. THE INSPECTOR MUST COLLECT SAMPLES OF ALL SUSPECT ASBESTOS CONTAINING MATERIALS (ACM) TO BE DISTRURBED DURING ALTERNATE 1 WORK: 1912 ORIGNAL STURCTURE SLATE ROOF.

INSPECTOR MUST COLLECT A MINIMUM OF 3 SAMPLES PER SUSPECT MATERIAL ENCOUNTED ON THE ROOF. ALL SAMPLES MUST BE ANALYZED FOLLOWING EPA METHOD 600/R-93/116, BY A NVLAP ACCREDITED LABORATORY. A WRITTEN REPORT SIGNED BY THE MARYLAND ACCREDITED ASBESTOS INSPECTOR WILL BE PROVIDED WITHIN 7 DAYS OF SAMPLE COLLECTION, WITH A DETERMINATION OF ASBESTOS PRESENCE IN THE ROOFING MATERIALS. IF ROOFING IS FOUND TO CONTAIN ASBESTOS, CONTRACTOR MUST REMOVE AND DISPOSE OF AS INDICATED IN BASE BID. IF ROOFING MATERIALS DO NOT CONTAIN ASBESTOS, THE REQUIREMENTS FOR ASBESTOS REMOVAL WILL NOT BE REQUIRED. GENERAL ROOF DEMOLITION AND SAFETY REQUIREMENTS MUST STILL BE ADHERED TO.

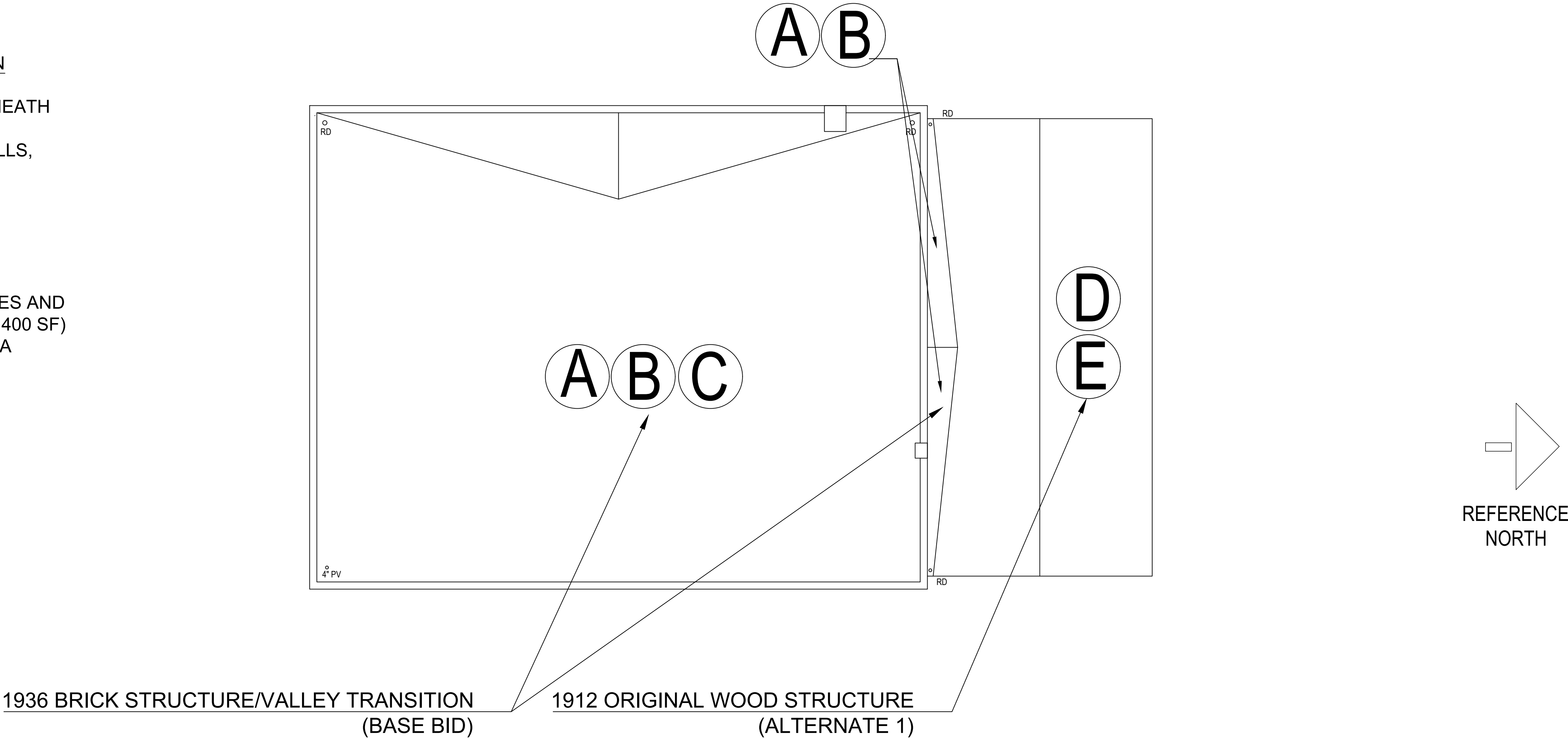
LEAD BASED PAINT (LBP) WAS IDENTIFIED ON WOOD SOFFIT AND FASCIA LOCATED ON THE ROOF AREA OF THE 1912 ORIGINAL WOOD STRUCTURE EXTERIOR. THESE SURFACES WILL BE ADDRESSED DURING LATER PHASES. IF IMPACTED DURING WORK, CONTRACTOR MUST ADHERE TO OSHA 29 CFR 1926.62 - LEAD IN CONSTRUCTION AND EPA 40 CFR 260-268, WASTE CHARACTERIZATION AND DISPOSAL.

1936 BRICK STRUCTURE/VALLEY TRANSITION

- A) ACM - BUILT-UP ROOFING MATERIALS BENEATH EXISTING TPO MEMBRANE (4,400 SF)
- B) ACM - BLACK TAR ON BRICK PARAPET WALLS, ROOF, AND CHIMNEYS (800 SF)
- C) LBP - METAL ROOF VENTS (5 VENTS)

1912 ORIGINAL WOOD STRUCTURE

- D) SUSPECT ASBESTOS ROOFING AND TAR MATERIALS LOCATED UNDER SLATE SHINGLES AND UNDER TPO MEMBRANE AT ROOF VALLEY (2,400 SF)
- E) LBP - EXTERIOR WOOD SOFFIT AND FASCIA BOARDS (~300 SF).



ROOF PLAN  
SCALE: 1/8"=1'-0"



AEROSOL MONITORING  
& ANALYSIS, INC.  
1331 ASHTON ROAD, P.O. BOX 646  
HANOVER, MARYLAND 21076  
WEBSITE: WWW.AMACONSULTING.COM  
PHONE: 410-684-3327  
FAX: 410-684-3384

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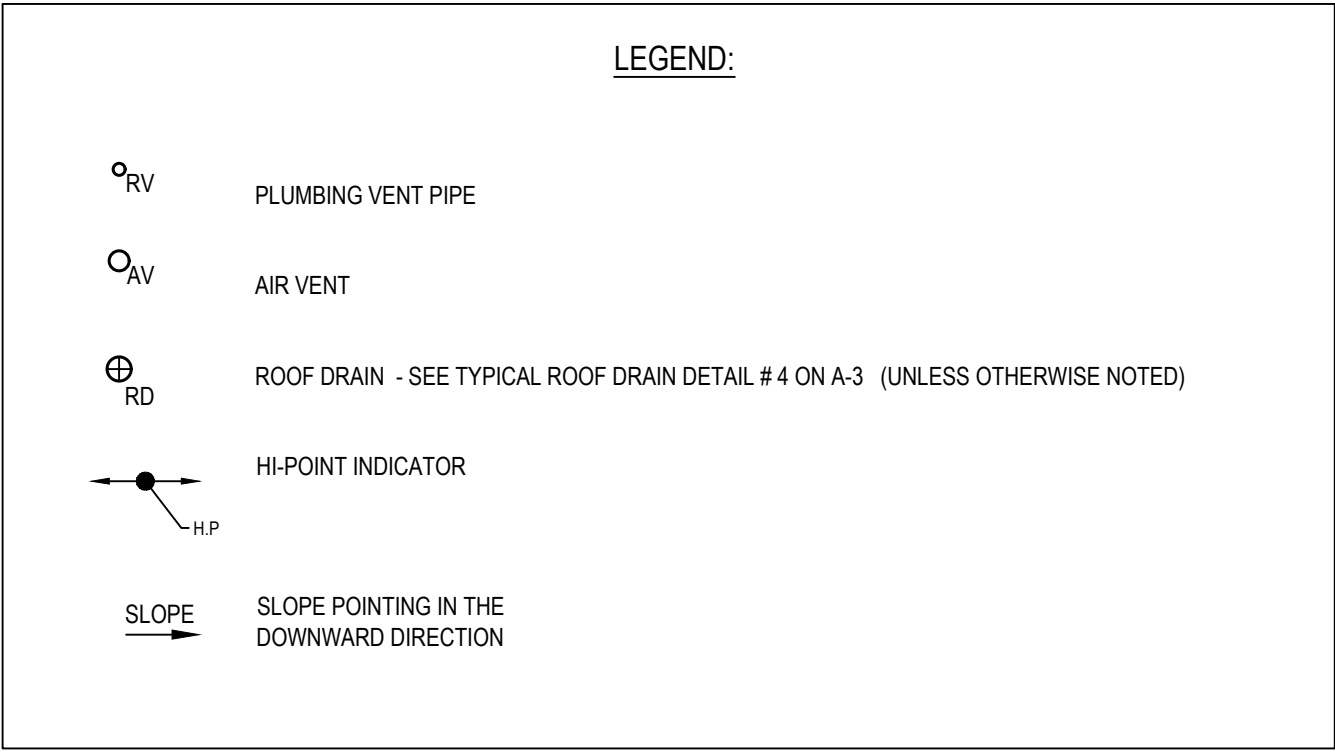
HAZMAT  
ROOF  
PLAN

SHEET NO. 2 OF 5

H-1

GENERAL NOTES

- IT IS THE INTENT OF THIS CONTRACT THAT THE ROOFING SYSTEM BE SELECTIVELY DEMOLISHED AS OUTLINED ON THE DRAWINGS IN PREPARATION FOR NEW WORK.
- TEMPORARILY ENCLOSE AREAS EXPOSED TO THE ELEMENTS TO ENSURE THE WATER TIGHTNESS OF THE BUILDING.
- PROTECT BUILDING FROM DAMAGE WHILE REMOVING AND STORING ITEMS DESIGNATED TO BE SALVAGED.
- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE SCOPE AND LIMITS OF NEW WORK.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING AND TEMPORARY SUPPORT AS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES TO REMAIN.
- CONTRACTOR SHALL REMOVE ALL EXTRANEOUS ANCHORS, FASTENERS, AND ACCESSORIES ON EXISTING ROOF DECK TO REMAIN.
- REMOVE ALL TRASH AND DELETERIOUS MATERIALS FROM THE SITE.
- SECURE OPENINGS AGAINST WEATHER, DAMAGE, AND UNAUTHORIZED ENTRY AT THE END OF EACH WORK DAY.
- PROTECT ALL EXISTING STRUCTURE, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
- PROTECT ALL EXISTING FINISHES SCHEDULED TO REMAIN.
- LEAVE DEMOLISHED AREAS READY TO RECEIVE NEW WORK. AFTER DEMOLITION IS COMPLETE, CONTRACTOR TO REPAIR ALL DAMAGE.
- MAINTAIN TOTAL CONTROL OF DUST, AND BLOWING, AND DROPPING DEBRIS.
- KEEP ALL SURROUNDING TRAFFIC WAYS, BOTH PEDESTRIAN AND VEHICULAR, OPEN AND CLEAN AT ALL TIMES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. RESOLVE ALL DISCREPANCIES PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOT RELY ON MEASUREMENTS SCALED FROM THESE DRAWINGS.
- DIMENSIONS SHOWN ARE TO THE FACE OF FINISH SURFACE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FLUSH ALL ROOF DRAIN PIPING, IN THEIR ENTIRETY, FROM ROOF DRAIN BASIN OUT TO DISCHARGE, OR, STORM WATER TIE-IN. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS IN AN APPROVED MANNER.
- CONTRACTOR SHALL EXTEND ALL PLUMBING VENT PIPES AS NEEDED TO BRING TOP OF PIPE TO A MINIMUM OF 8" ABOVE THE NEW ROOF MEMBRANE AT THE PIPE PENETRATION OF THE ROOF ASSEMBLY.



KEYED DEMOLITION NOTES:

- REMOVE EXISTING SINGLE PLY MEMBRANE ROOF, EXISTING RIGID INSULATION AND EXISTING GRAVEL, BENEATH THE RIGID INSULATION, AND THE ASPHALT BUILT UP ROOFING DOWN TO THE EXISTING WOOD ROOF DECK. REMOVAL SHALL BE ACCOMPLISHED WITHOUT THE USE OF AXES OR CHOPPING OF ANY KIND. CONTRACTOR SHALL PROTECT THE EXISTING WOOD DECK STRUCTURE FROM ANY DAMAGE.
- REMOVE EXISTING METAL COPING, EXISTING SINGLE PLY MEMBRANE ROOFING, AND ASPHALT BUILT-UP ROOF FLASHING BENEATH FROM THE FULL LENGTH AND HEIGHT OF PARAPET WALL.
- REMOVE AND DISPOSE OF EXISTING ROOF MEMBRANE VENT
- REMOVE AND DISPOSE OF EXISTING ATTIC VENT. SAW-CUT AND EXTEND EXISTING OPENING TO CREATE A SQUARE OPENING OVER THE CENTERLINE OF AT LEAST (2) EXISTING ROOF JOISTS. PATCH WOOD DECK OPENING WITH NEW LUMBER FLUSH TO EXISTING DECK.
- REMOVE EXISTING SINGLE PLY ROOF MEMBRANE THE FULL LENGTH AND WIDTH OF THE EXISTING DECK BELOW. PROTECT EXISTING METAL FLASHING ALONG DRIP EDGE OF SLATE SHINGLE ROOF.

GENERAL NOTES

NOTE: EXISTING ASPHALT BUILT UP ROOFING ASSEMBLY FOUND BELOW THE EXISTING LAYER OF RIGID INSULATION AND ON THE SURFACE OF THE PARAPET WALLS ARE ASBESTOS CONTAINING MATERIALS. THE CONTRACTOR SHALL REMOVE ALL OF THE ASPHALT BUILT UP ROOFING MATERIALS IN STRICT COMPLIANCE WITH THE PROCEDURES AND REGULATIONS STIPULATED IN THE CONTRACT DOCUMENTS

PROPERTY ADDRESS:

555 ALLIANCE ST  
HAVRE DE GRACE, MD 21078

BUILDING KNOWN AS: HAVRE DE GRACE COLORED SCHOOL MUSEUM & CULTURAL CENTER

FIRE DISTRICT: HARFORD COUNTY

LAND ZONING DESIGNATION: EC

GENERAL DESCRIPTIONS OF BUILDING USE: MUSEUM

FLOORS: (1) ABOVE GRADE, (1) BELOW GRADE

APPLICABLE BUILDING CODES

INTERNATIONAL EXISTING BUILDING CODE 2018  
INTERNATIONAL BUILDING CODE 2018 (SECTIONS AS SPECIFICALLY REFERENCED IN THE IBC 2018)  
INTERNATIONAL MECHANICAL CODE 2018  
INTERNATIONAL RESIDENTIAL CODE 2018  
INTERNATIONAL PLUMBING CODE 2018  
INTERNATIONAL ENERGY CONSERVATION CODE 2018  
INTERNATIONAL FUEL GAS CODE 2018  
NATIONAL ELECTRIC CODE 2020  
NFPA 101 LIFE SAFETY CODE 2018  
NFPA 1 FIRE PROTECTION CODE 2018  
COMAR 09.12.5  
COMAR 09.12.58

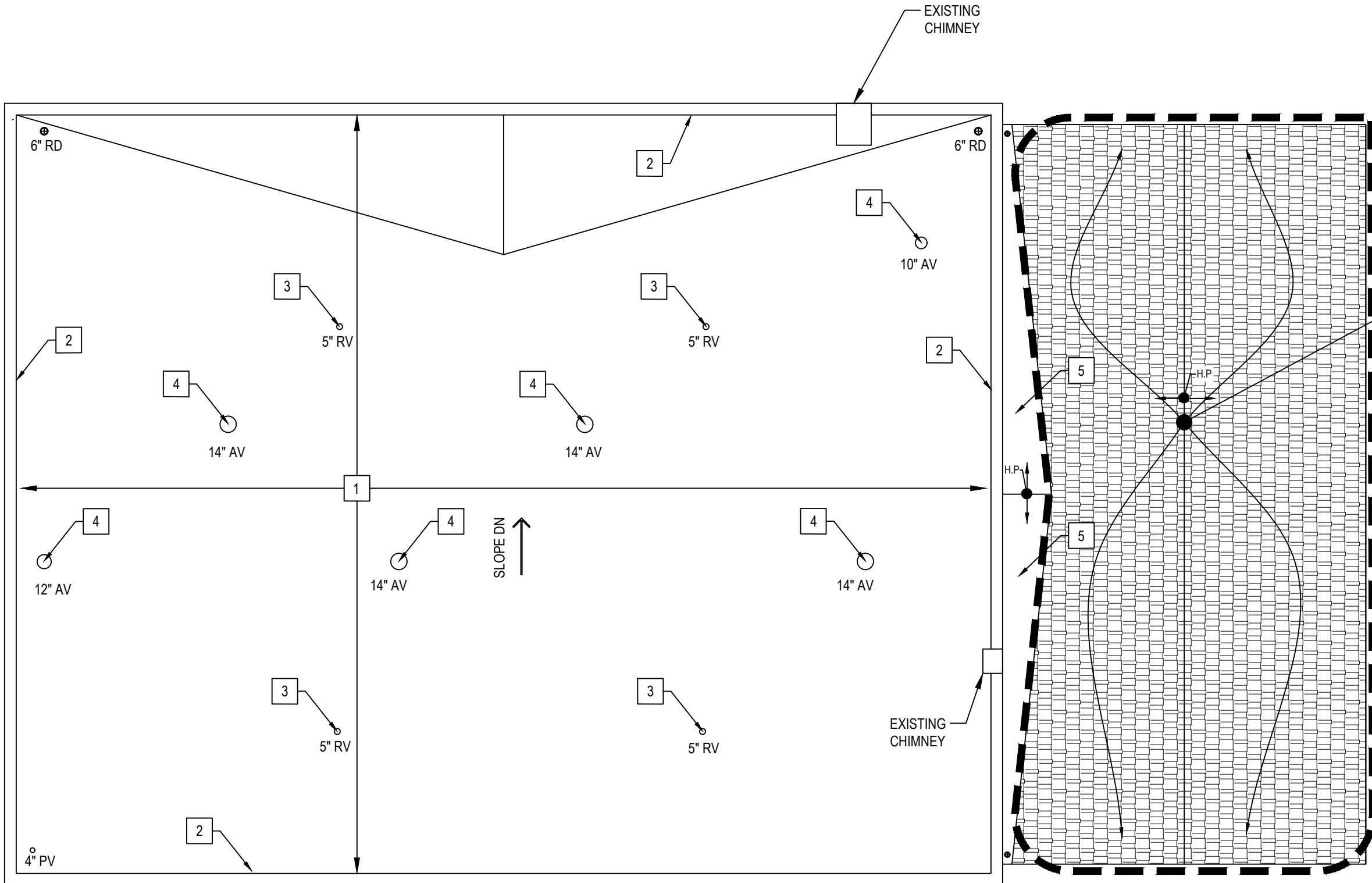
CLASSIFICATION OF WORK

INTERNATIONAL EXISTING BUILDING CODE 2018; COMPLIANCE METHOD "WORK AREA COMPLIANCE"  
WORK AREA CLASSIFICATION: "ALTERATIONS LEVEL 1"

NFPA 101 LIFE SAFETY CODE: CHAPTER 43-EXISTING BUILDING CLASSIFICATION OF THE WORK:  
WORK AREA CLASSIFICATION: "RENOVATIONS"

USE GROUP: A-3 MUSEUM

CONSTRUCTION TYPE II-B PER IBC 2018



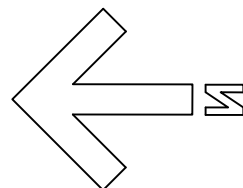
ALTERNATE #1:

REMOVE EXISTING SLATE ROOFING AND UNDERLAYMENT IN THEIR ENTIRETY DOWN TO THE EXISTING WOOD ROOF DECK. PROTECT EXISTING WOOD DECK FROM DAMAGE.

THE EXISTING UNDERLAYMENT BENEATH THE EXISTING SLATE SHINGLES IS ASSUMED TO BE ASBESTOS CONTAINING MATERIAL. THE CONTRACTOR SHALL HAVE THE UNDERLAYMENT SAMPLED AND TESTED BY AEROSOL MONITORING & ANALYSIS, INC. AT THE CONTRACTOR'S EXPENSE, PRIOR TO THE REMOVAL OF THE EXISTING SLATE ROOFING. THE POINT OF CONTACT AT AEROSOL MONITORING & ANALYSIS, INC. IS: GARY URBAN  
PHONE: 410-684-3327  
EMAIL: GARYU@AMACONSULTING.COM  
IF THE SAMPLE TESTS POSITIVE AS AN ASBESTOS CONTAINING MATERIAL, THE CONTRACTOR SHALL REMOVE THE UNDERLAYMENT IN STRICT COMPLIANCE WITH THE PROCEDURES AND REGULATIONS STIPULATED IN THE CONTRACTOR DOCUMENTS.

DEMOLITION ROOF PLAN

SCALE: 1/8"=1'-0"



SCALE: 1/8"=1'-0"



3700 Koppers Street, Suite 300  
Baltimore, Maryland 21227-1044  
Telephone Number: 410-234-8444

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CONSULTANTS:

PROJECT:

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HAVRE DE GRACE, MD 21078

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REVISION:	

GENERAL NOTES,  
BUILDING DATA, &  
DEMOLITION  
ROOF PLAN

SHEET NO. 3 OF 5

A-1

BUILDING DATA

LEGEND:

RV

PLUMBING VENT PIPE

AV

AIR VENT

RD

ROOF DRAIN - SEE TYPICAL ROOF DRAIN DETAIL # 4 ON A-3 (UNLESS OTHERWISE NOTED)

H.P

HI-POINT INDICATOR

SLOPE

SLOPE POINTING IN THE DOWNWARD DIRECTION

The diagram is a roof plan showing a rectangular building footprint. A central point is labeled 'H.P.' (Hi-Point). Arrows radiate from this point to various locations on the roof, indicating slope. A large rectangular area on the right side of the plan is outlined with a dashed border and filled with a cross-hatch pattern, representing an alternate roof section. This area is labeled 'ALTERNATE #1: REMOVE EXISTING SLATE ROOFING AND UNDERLAYMENT IN THEIR ENTIRETY DOWN TO THE EXISTING WOOD ROOF DECK. PROTECT EXISTING WOOD DECK FROM DAMAGE. CONSTRUCT NEW UNDERLAYMENT AND SLATE SHINGLE ROOFING'. Several circular callouts with numbers and 'A-3' are placed around the plan, pointing to specific construction details: '1 SIM A-3' at the top left, '2 A-3' at the bottom center, '3 A-3' at the bottom right, '6 A-3' at the top right, and '3 A-3' at the bottom right. Text annotations include: 'CONSTRUCT NEW TPO SINGLE PLY ROOF WITH NON-TAPERED INSULATION OVER EXISTING SOLID WOOD ROOF DECK IN ACCORDANCE WITH TYPICAL ROOF SECTION DETAIL 5/A-3' pointing to the main roof area, and 'CONSTRUCT NEW TPO ROOF MEMBRANE OVER EXISTING WOOD DECK CRICKET AREA' pointing to two specific locations. A north arrow points towards the top right. A scale bar at the bottom right indicates 0, 4, 8, 16, and 24 feet, with a scale of 1/8"=1'-0".

ROOF PLAN  
SCALE: 1/8"=1'-0"

A north arrow pointing towards the top right. Below it is a scale bar with markings for 0, 4, 8, 16, and 24 feet. The scale is labeled 1/8"=1'-0".

RRMM

ARCHITECTS, PC

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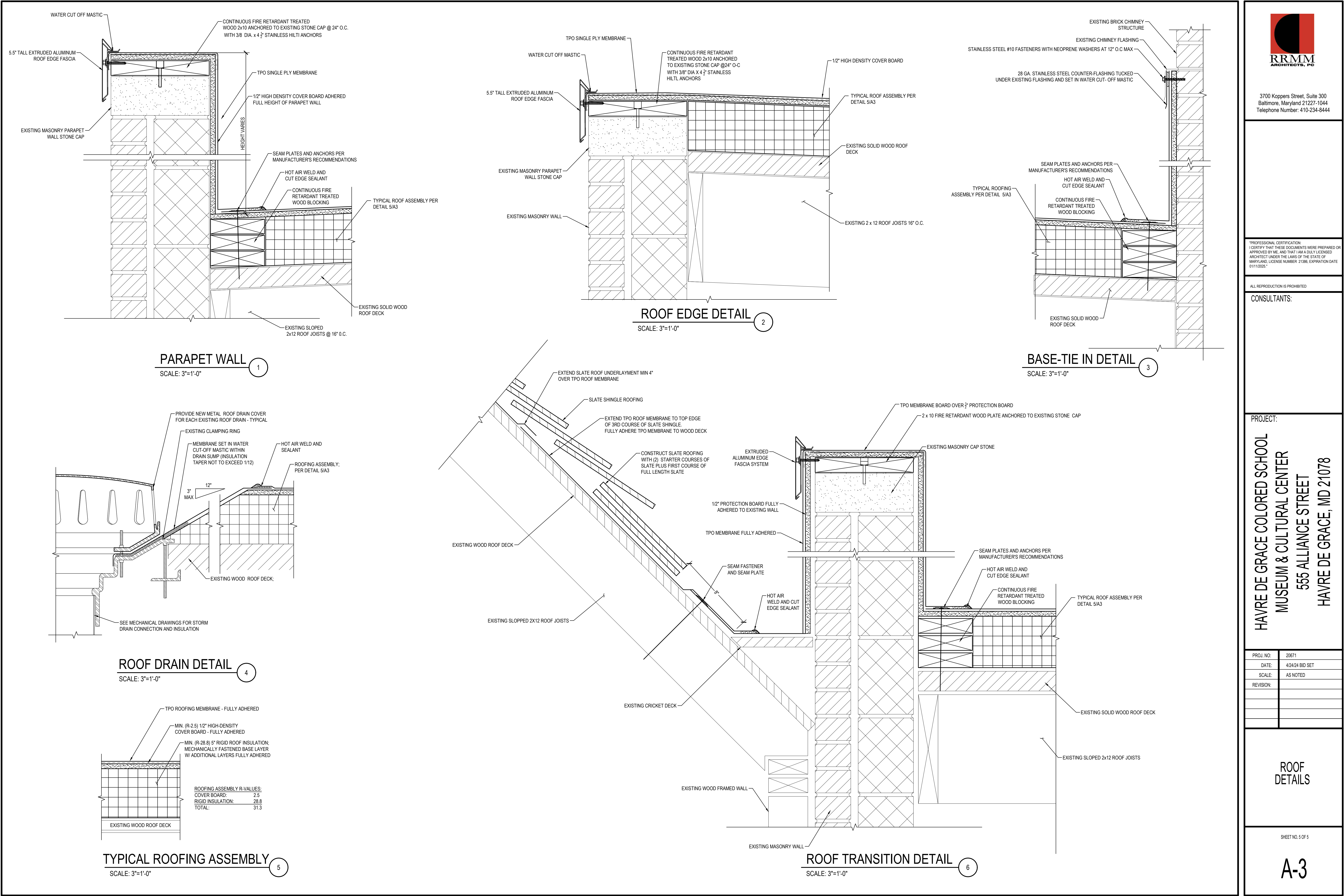
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ROOF  
PLAN

SHEET NO. 4 OF 5

A-2





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ROOF  
DETAILS

SHEET NO. 5 OF 5

A-3